Planning Department
Suzanne Lubar, Director



Richard J. Berry, Mayor

May 31, 2016

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, New Mexico 87108

RE: Clean Machine Car Wash
4200 San Mateo Blvd NE
Grading and Drainage Plan
Engineers Stamp Date 5/5/16 (G18D049)

Dear Mr. Arfman,

Based upon the information provided in your submittal received 5/5/16, this plan is approved for Building Permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

New Mexico 87103

www.cabq.gov

PO Box 1293

Albuquerque

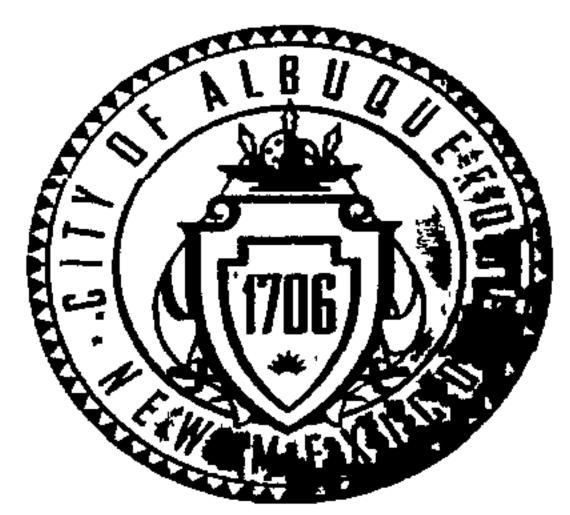
Sincerely

Abiel Carrillo, P.E.

Principal Engineer, Hydrology

Planning Department

RR/AC C: File



Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Clean Machine Car Wash	Building Permit #	City Drainage # G18/D049	
DRB#: EPC#'	W	Vork Order#:	
Legal Description Lot 1A, Block 48, Unit 4, Altamont Addition			
City Address: 4200 San Mateo Blvd NE			
Engineering Firm: Isaacson & Arfman, P.A.	\mathbf{C}	ontact Fred C. Arfman / Bryan Bobrick	
Address 128 Monroe Street NE - Albuquerque, NM 87108			
Phone# (505) 268-8828 Fax#:	E-	-mail bryanb@iacivil.com	
Owner: Clean Machine Car Wash, LLC	C	ontact	
Address	······································	Unitact	
Phone#.	E.	-mail [.]	
	<u> </u>		
Architect:	C	ontact ⁻	
Address	· ·· · · · · · · · · · · · · · · · · ·	···	
Phone#. Fax#.	E	-mail [·]	
Other Contact: The Survey Office, LLC	C	ontact ⁻ Anthony L Harris	
Address 333 Lomas Blvd. NE - Albuquerque, NM 87102			
Phone# (505) 998-0303 Fax#:	E-	-mail	
Check all that Apply			
DEPARTMENT: X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL TYPE OF SUBMITTAL: ENGINEER ARCHITECT CERTIFICATION CONCEPTUAL G & D PLAN X GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) EROSION & SEDIMENT CONTROL PLAN (ESC)	BUILDING PERIOD PRELIMINARY SITE PLAN FOR SITE PLAN FOR SITE PLAN FOR FINAL PLAT AI SIA/ RELEASE	OF OCCUPANCY PLAT APPROVAL R SUB'D APPROVAL R BLDG PERMIT APPROVAL PPROVAL OF FINANCIAL GUARANTEE PERMIT APPROVAL MIT APPROVAL AL IT APPROVAL O CERTIFICATION	
OTHER (SPECIFY)	PRE-DESIGN ME	ETING FY)	
IS THIS A RESUBMITTAL?: X Yes No			
DATE SUBMITTED: May 5, 2016 By Bryan Bobrick			

COA STAFF ELECTRONIC SUBMITTAL RECEIVED ____



Clean Machine Car Wash - San Mateo Blvd. - Hydrology resubmittal

1 message

Bryan Bobrick <bryanb@iacivil.com>

Thu, May 5, 2016 at 1:25 PM

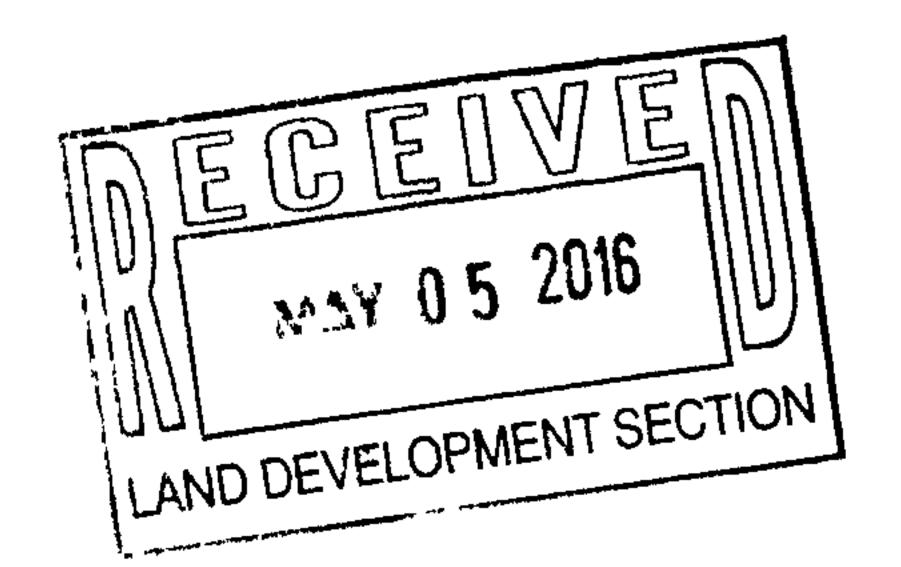
To: COA Planning Development Review Services <PLNDRS@cabq.gov>

Abiel - this project was previously approved (engineer's stamp date 11-05-15).

There were minor revisions to the building entry and exit grades.

Bryan Bobrick Isaacson & Arfman, P.A. 128 Monroe N.E. Albuquerque, NM 87108 (505) 268-8828

2128 BLDG PERMIT SET SIGNED 05-05-16.pdf 3679K



7706)

December 16, 2015

Richard J. Berry, Mayor

Fred C. Arfman, P.E. Isaacson & Arfman, P.A. 128 Monroe Street NE Albuquerque, NM, 87108

RE: Clean Machine Car Wash – 4200 San Mateo NE

Grading and Drainage Plan

Engineer's Stamp Date 11-05-15 (File: G18D049)

Dear Mr. Arfman:

Based upon the information provided in your submittal received 11-16-15, the above referenced submittal is approved for Building Permit (a separate Grading Permit is not needed).

Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

If you have any questions, you can contact me at 924-3986.

PO Box 1293

Sincerely.

Albuquerque

Abiel Carrillo, P.E.

Principal Engineer, Planning Dept.

New Mexico 87103

Development Review Services

www.cabq.gov

Orig: Drainage file



Planning Department

Development & Building Services Division

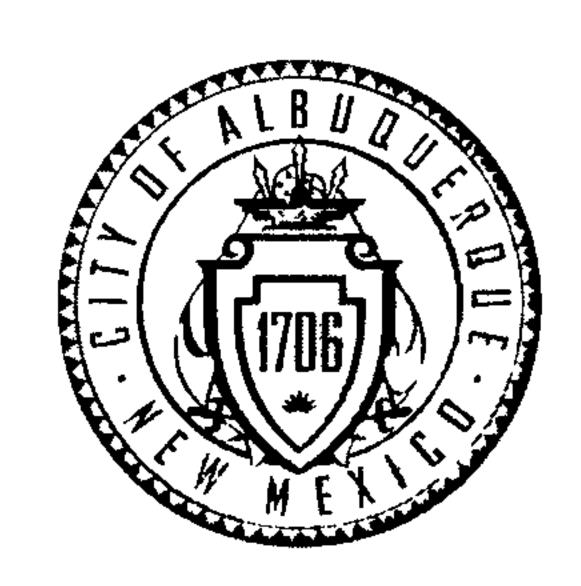
DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Clean Machine Car Wash	Building Permit #:_	City Drainage #: <u>6/8/ D</u> 04
DRB#: EPC#:		Work Order#:
Legal Description: Lot 1A, Block 48, Unit 4, Altamont	Addition, City of Albuquerque, Nev	v Mexico
City Address: 4200 San Mateo Blvd. SE		
Engineering Firm: Isaacson & Arfman, P.A.		Contact: Fred Arfmanm PE, NMPE 7322
Address: 128 Monroe Street NE - Alb	uquerque, NM 87108	
Phone#: (505) 268-8828 Fax#:		E-mail: Freda @iacivil.com
Owner:		Contact:
Address:		
Phone#: Fax#:		E-mail:
Architect:		Contact:
Address:		
Phone#: Fax#:		E-mail:
Surveyor: The Survey Office, LLC		Contact: Anthony L. Harris, NMPS 11463
Address: 333 Lomas Blvd. N.E.		
Phone#: (505) 998-0303 Fax#:		E-mail:
Contractor:		Contact:
Address:		
Phone#: Fax#:		E-mail:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROV	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	
X DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPI	ROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D	APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERM	IT APPROVAL ()
X GRADING PLAN	SECTOR PLAN APPROVAL	
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	UP BUNNAN
ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCCUPA	INCY (RERM)
CLOMR/LOMR	CERTIFICATE OF OCCUPA	NCY (TCL TEMP) 2015
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT AP	PROVAL
ENGINEER'S CERT (TCL)	X BUILDING PERMIT APPRO	WALDEVELOPMENT SECTION
ENGINEER'S CERT (DRB SITE PLAN)	X GRADING PERMIT APPRO	VAL SO-19-APPROVAL
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV	
SO-19	WORK ORDER APPROVAI	
OTHER (SPECIFY)	GRADING CERTIFICATION	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes X No Co	ppy Provided
DATE SUBMITTED: November 5, 2015	By: Bryan Bobrick	
	Isaacson & Afrman, P.A.	re submittal. The particular nature location, and

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- Conceptual Grading and Drainage Plan Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



August 2, 2016

Martin Grummer 331 Wellesley Pl., NE Albuquerque, NM

Re: Clean Machine Carwash

4200 San Mateo Blvd., NE Traffic Circulation Layout

Engineer's/Architect's Stamp 6-9-16 (G18-D049)

Dear Mr. Grummer,

The TCL submittal received 08-01-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to front counter personnel for log in and evaluation by Transportation.

Albuquerque

PO Box 1293

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

New Mexico 87103

www.cabq.gov

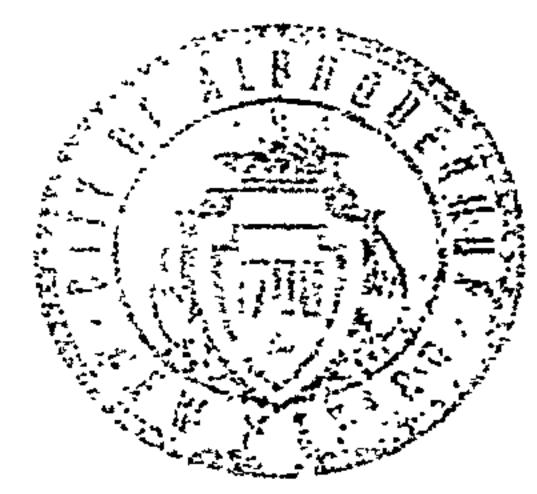
\$hahab Biazar, P.E.

Sincerely

City Engineer, Planning Dept.

Development Review Services

mao via: email C: CO Clerk, File



Planning Department

Development & Building Services Division

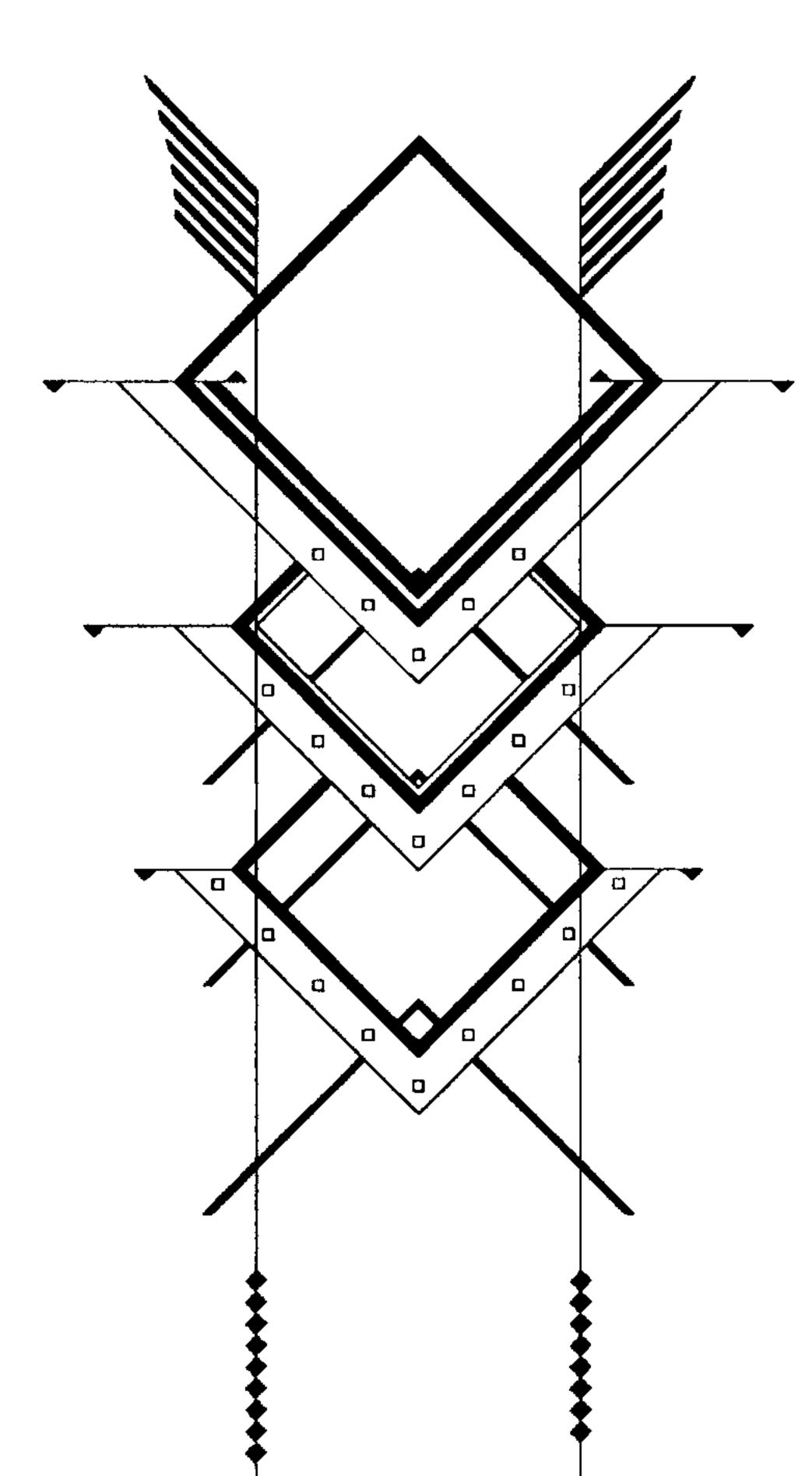
DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2013)

TINEST VERENTES J	CionNIG
Project Title: WACHINE CARWINE Building Permit #:	City Drainage #: 6180049
DRB#:	Work Order#:
Legal Description: LOT 1A, BLOCK DOO, AUTAMO	20000000000000000000000000000000000000
City Address: 4700 SAN MAREO BUID 10	
Engineering Firm: 1500CSBH & ARFMON	Contact: FRS
Address: 129 MODICE 5T NE ALBOS	p)n-
Phone#: 768-8828 Fax#:	E-mail: FREDA @ ACIVIL. Com
Owner: ESE Pour EES	Contact: 65
Address: 4440 EAST FLOWER STREET, F	HOEDK.AZ
Phone#: 400-2325 Fax#:	E-mail: 3053667. 457
Architect: WAGTT2 GB27MMEE	Contact: MARTIA
Address: 531 WEVELESUETPL NE	
Phone#: 265-2607 Fax#:	E-mail: MGBOMMER_B CSATTORY LINDE. 1527
Surveyor: THE SOUTHERD OFFICE, LLC	Contact:
Miress: 333 LOMAS BLOD PE, ALBO	a parameter of the second
Phone4: 466-0203 Fax#:	E-mail: E-mail
	m. in the second
Contractor: In 12 1 2 2 2 2 2	Contact:
Contractor: AUDILLER Address: ATE EDMOND RE	Contact:
Address: 425 # DMON FE Phone#: 345-2654 Fax#:	
Address: 425 # D MON PE Phone#: 345-2654 Fax#:	E-mail: 1601 LEE COLOILEEL, COM
Address: 425 FD MON RE Phone#: 345-2654 Fax#: TYPE OF SUBMITTAL: CHECK TYPE OF APPROV	E-mail: 1601 LEE COLLEGE, COM
Address: 425 # D MON RE Phone#: 345-2554 Fax#: TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE REPORT	E-mail: <u>Lasta Gasilagi</u> e, as: AL/ACCEPTANCE SOUGHT: TEE RELEASE
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Address: 425 - 2554 Fax#: TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN ISI SUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION & SEDIMENT CONTROL PLAN(ESCALIC FINAL PLAT APPROVAL) ENGINEER'S CERT (HYDROLOGY) CLOMIRLOMR TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEER'S CERT (TCL) ENGINEER'S CERT (TCL) ENGINEER'S CERT (ESC) SO-19 OTHER (SPECIFY) WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes 20 CO	E-mail: Judius 20 Committee Committee Release ROVAL APPROVAL IT APPROVAL ANCY (PERM) ANCY (TCI. TEMP) PROVAL OVAL SO-19 APPROVAL AL ESC PERMIT APPROVAL ESC CERT. ACCEPTANCE
Address: 425 Fax#: TYPE OF SUBMITTAL: DRAINAGE REPORT' DRAINAGE PLAN ISI SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION & SEDIMENT CONTROL PLANVESCY ENGINEER'S CERT (HYDROLOGY) CLOMBULOMR TRAFFIC CIRCULATION LAYOUT (TC:) ENGINEER'S CERT (DRB SITE PLAN) ENGINEER'S CERT (ESC) SOLID ACCULATION APPROVAL GRADING PERMIT APPROVAL FOUND TRAFFIC CIRCULATION LAYOUT (TC:) ENGINEER'S CERT (DRB SITE PLAN) ENGINEER'S CERT (ESC) SOLID WORK ORDER APPROVAL WORK ORDER APPROVAL	AL/ACCEPTANCE SOUGHT: TEE RELEASE ROVAL APPROVAL IT APPROVAL OVAL OVAL OVAL SO-19 APPROVAL AL ESC PERMIT APPROVAL ESC CERT. ACCEPTANCE OTHER (SPECIFY)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following.

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

- I Prainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Brainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Ernsion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



1 Aug 2016

Monica Ortiz
City of Albuquerque Building Dept.
Traffic Section
Albuquerque, NM

Re: Traffic Circulation Layout for 4200 San Mateo Blvd 87110

Monica

Attached is the revised TCL for the Clean Machine Carwash #4 located at 4200 San Mateo Blvd NE in Albuquerque, NM. We have addressed the comments dated July 27, 2016:

- 1. Added circulation arrows to plan at entry, Sheet A1.1 and revised the ADA access route to match the new 40' wide drivepad.
- 2. Added dimension plan for bicycle and motorcycle parking spaces on Sheet A1.3, Detail 26.
- 3. Sign note for "Violators are subject to a Fine and/or Towing" shown on Sheet A1.3, Detail 23.
- 4. Added "Do Not Enter" markings to plan shown on A1.1 and A1.3, Detail 27.
- 5. City Standard Drawing Numbers shown on A1.1.

Please let me know if you need any more information.

SINCERELY

Martin FM Grummer

ALIG D 1 2018

LAND DEVELOPMENT SECTION



July 27, 2016

Martin Grummer 331 Wellesley Pl., NE Albuquerque, NM

Re: Clean Machine Carwash
4200 San Mateo Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 6-9-16 (G18-D049)

Dear Mr. Grummer,

Based upon the information provided in your submittal received 7-25-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Clarify circulation of vehicles at the main entrance on San Mateo Blvd. There
 appears to be conflicting vehicle movements. Please add detail of directional
 arrows and signage.
- 2. Detail and dimension bicycle and motorcycle parking spaces, along with appropriate signage.
- 3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs. See attached 2009 NM Accessible Parking Checklist page 3 of 6.
- 4. One-way vehicular paths require pavement directional signage and a posted "Do Not Enter" sign at the point of egress. Please show detail and location of posted signs.
- 5. Please specify the City Standard Drawing Number when applicable.
- 6. Please include two copies of the traffic circulation layout at the next submittal.

LAND DEVELOPMENT SECTION

PO Box 1293

Albuquerque

New Mexico 87103



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.

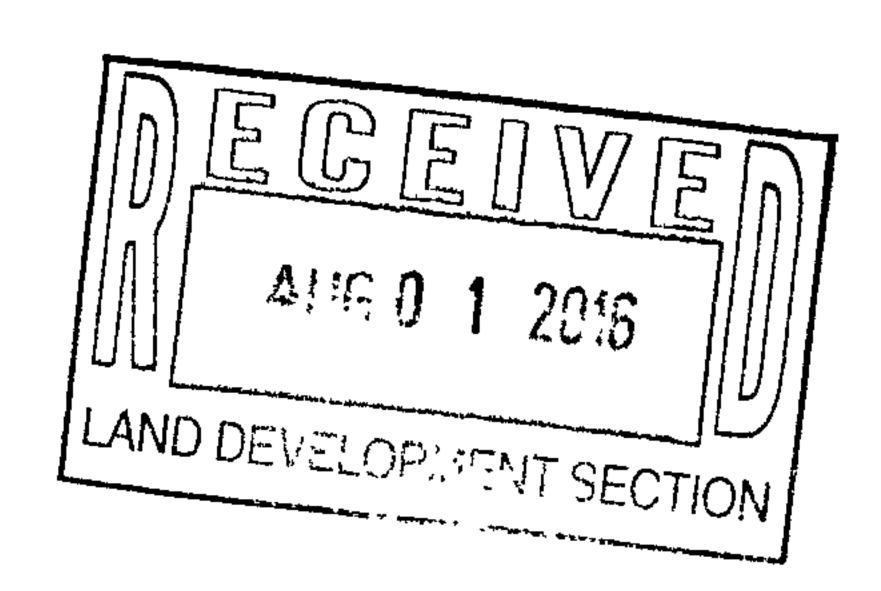
Traffic Engineer, Planning Dept. Development Review Services

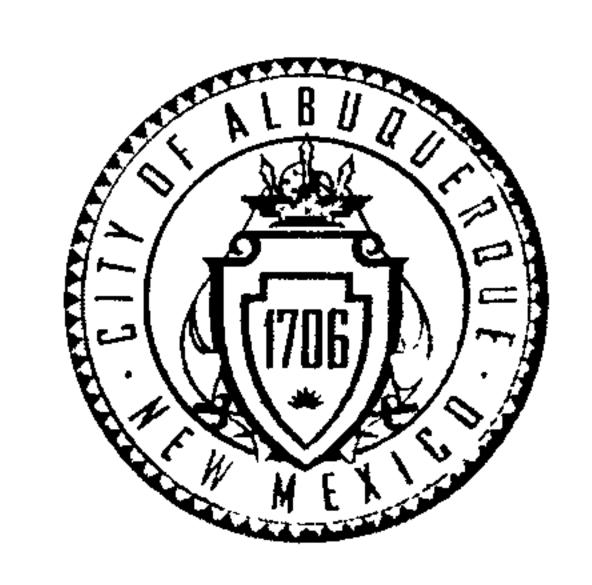
mao via: email C: File

PO Box 1293

Albuquerque

New Mexico 87103





July 20, 2016

Martin Grummer 331 Wellesley Pl., NE Albuquerque, NM

Re: Clean Machine Carwash
4200 San Mateo Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 6-9-16 (G18-D049)

Dear Mr. Grummer,

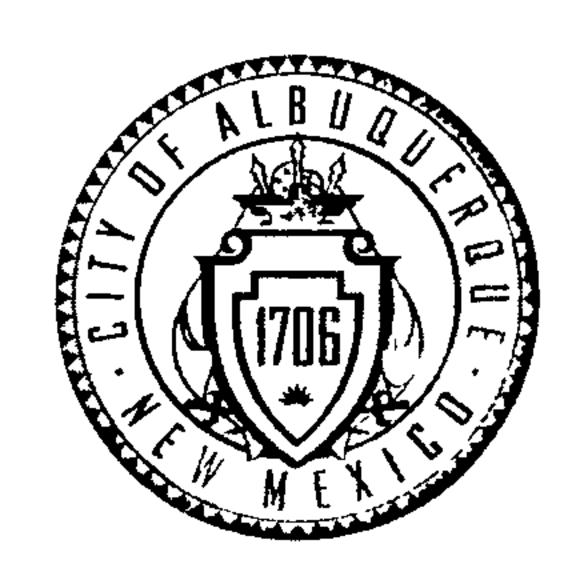
Based upon the information provided in your submittal received 7-19-16-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1/2. Please provide the Detail Sheets labeled on the TCL submittal.
- Clarify circulation of vehicles at the main entrance on San Mateo Blvd. There
 appears to be conflicting vehicle movements. Please add detail of directional
 arrows and signage.
- 3. The curb cut on San Mateo should be a maximum of 40 ft. wide.
- 4. Please identify and dimension all proposed, doors, structures, sidewalks, curbs, drive pads, ADA ramps, walls and anything that influences the parking and circulation on the site.
- 5. Identify the right of way width, medians, curb cuts, and street widths on San Mateo Blvd.
- 6. Detail and dimension bicycle and motor cycling parking spaces, along with appropriate signage.
- 7. Dimension the length of the handicap accessible space.
- 8. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
- 9. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details of ramps from ROW.
- 10. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb. Please call out this detail.
- 11. One-way vehicular paths require pavement directional signage and a posted "Do Not Enter" sign at the point of egress. Please show detail and location of posted signs.

PO Box 1293

Albuquerque

New Mexico 87103



- 12. Please specify the City Standard Drawing Number when applicable.
- 13. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
- 14. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Monica Ortiz (505) 924-3675 or me at 924-3981.

Sincerely,

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

\gs via: email

PO Box 1293 C: CO Clerk, File

Albuquerque

New Mexico 87103



Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: CLED DMACHINE CARIN	Building Permit #: City Drainage #: 618004
DRB#: EPC#:	Work Order#:
Legal Description: LOT IA, BLOCK O	000, AUTAMONT ADD'D WHITH
City Address: 4200 SAA MATE	FO PILUTO ROE
Engineering Firm: 1500/5010 & AC	REMAN Contact: FRED
Address: 128 MODRES	RE 11 BAR DA
Phone#: 268-8828 Fax#:	E-mail: FREDA (DIACIUL, CO)
Owner: BOB POWERS	Contact: 868
Address: 4446 = 255 From =	ER STREET, PHOENH, AZ.
Phone#: 400-2323 Fax#:	E-mail: BOBABOX. UET
Architect: MARTIN GOV MINER Address: 331 WELLESUE	Contact: MARTIN
Address: 331 WEWESLE	1 PL NE
Phone#: 265-2507 Fax#:	E-mail: Maponmer O CEASTOCHUSE. 18
Surveyor: THE SURVEYOR OF	Contact:
Address: 333 LOMAS BLUT	DE ALBUSA, NIM
Phone#: 998-0305 Fax#:	E-mail: FBCT-ACTIVE-CO-
Contractor: Augilea	Contact: 10HP
Contractor: dull-4ER Address: 425 EDMON PE	
Phone#: 34.5-2854 Fax#:	E-mail: Jus (LER Busil ER. C)
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCCUPANCY (PERM)
CLOMR/LOMR	CERTIFICATE OF OCCUPANCY (PERMIT) CERTIFICATE OF OCCUPANCY (TCL TEMP) CERTIFICATE OF OCCUPANCY (TCL TEMP) CERTIFICATE OF OCCUPANCY (PERMIT) CERTIFICATE OF OCCUPANCY (TCL TEMP) CERTIFICATE OF OCCUPANCY (TCL TEMP) CERTIFICATE OF OCCUPANCY (TCL TEMP) FOUNDATION PERMIT APPROVALO LAND DEVELOPMENT SECTION FOUNDATION PERMIT APPROVALO LAND DEVELOPMENT SECTION
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT APPROVAL LAND DE TENTON DE LAND DE L
ENGINEER'S CERT (TCL)	BUILDING PERMIT APPROVAL DELOW TO THE BUILDING PERMIT APPROVAL
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL SO-19 APPROVAL
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROVAL ESC PERMIT APPROVAL
SO-19	WORK ORDER APPROVAL ESC CERT. ACCEPTANCE
OTHER (SPECIFY)	GRADING CERTIFICATION OTHER (SPECIFY)
20 19-1007/C	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes Copy Provided
DATE SUBMITTED: 29 APR 16	By:
Requests for approvals of Site Development Plans and/or Subdivision I	Plats that be accompanied by a drainage submittal. The particular nature, location, and

Requests for approvals of Site Development Plans and/or Subdivision Plats (and be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



May 4, 2016

Martin Grummer 331 Wellesley Pl., NE Albuquerque, NM

Re: Clean Machine Carwash #4
4200 San Mateo Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 4-28-16 (G18-D049)

Dear Mr. Grummer,

Based upon the information provided in your submittal received 4-29-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Dimension and detail all existing and proposed drive lanes, drive pad entrances/exits, sidewalks and ADA ramps.
- 2. Per DPM, the drive through lane width must be 12 ft. wide per vehicle. In review of the submitted drawing, there is only 8 ft. 4 in. provided for each drive isle entering the carwash bay area.

3. Please provide the queuing distance.

- 4. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.
- 5. Show all drive aisle widths and radii.
- 6. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 ft. Landscape island radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
- 7. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from San Mateo Blvd.
- 8. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
- 9. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
- 10. Design delivery vehicle route needs to be shown.
- 11. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.

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Albuquerque

New Mexico 87103



- 12. One-way vehicular paths require pavement directional signage and a posted "**Do Not Enter**" sign at the point of egress. Please show detail and location of posted signs.
- 13. Please provide a sight distance exhibit (see the *Development Process Manual*, *Chapter 23, Section 3*).
- 14. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
- 15. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
- 16. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
- 17. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

PO Box 1293

Albuquerque

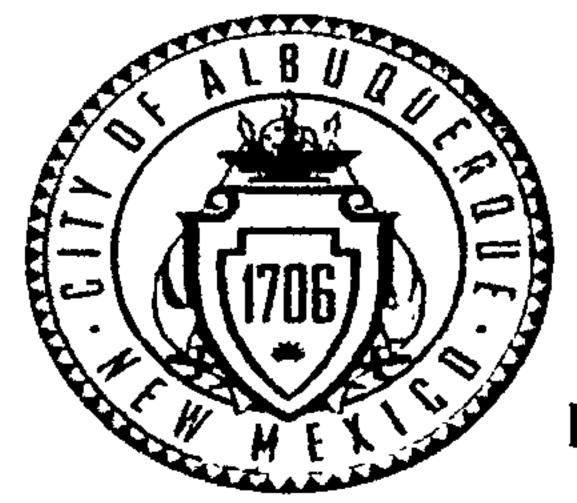
New Mexico 87103

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

www.cabq.gov

\gs via: email C: CO Clerk, File



Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: CLEAN MACHINE LA PL	25H 4 Building Permit #: City Drainage #618D04
DRB#: EPC#:	Work Order#:
Legal Description: Lot I.A. BLOCK &	200, ALTAMONT ADON WRITH
City Address: 4200 SAN MATE	OBLUD NE
Engineering Firm: 15AAC500 # AQ	FMAN Contact: FREO
Address: 128 MODROE ST. K	SE, ALB, LOM
Phone#: 248-3828 Fax#:	E-mail: FREDA @ ACIVIL. C
Owner: BOB Powers	Contact:
Address: 4446 EAST FrankER	ST, PHERIX, AZ
Phone#: 400-2323 Fax#:	E-mail: BOB93 OCOX, LE
Architect: MARTIN GRUMMER	Contact: MARTI
Address: 331 WELLESLEY F	> DE AB Don
Phone#: 265.2507 Fax#:	E-mail: MGROMMER O) CENTURY LINE. NET
Surveyor: AUTHOLDT HARRIS	Contact:
Address: 333 Lomas BLVD	
Phone#: <u>98.0303</u> Fax#:	E-mail:
Contractor: 16216EE	Contact:
Address: 425 EDMON NE,	ALB, MAN
Phone#: 345.2854 Fax#:	E-mail: HUILLER SWILLER
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL TO TO TO TO TO THE TOTAL TOTAL TO THE TOTAL TO
GRADING PLAN	SECTOR PLAN APPROVALIN E 6 E U LINE
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL
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CLOMR/LOMR	CERTIFICATE OF OCCUPANTY (TCL TEMP)
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT APPROVAL DEVELOPMENT SECTION BUILDING PERMIT APPROVAL SO 10 APPROVAL
ENGINEER'S CERT (TCL)	BUILDING PERMIT APPROVACION DE VELOT TO
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL SO-19 APPROVAL
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROVAL ESC PERMIT APPROVAL
SO-19	WORK ORDER APPROVAL ESC CERT. ACCEPTANCE
OTHER (SPECIFY)	GRADING CERTIFICATION OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Ye No Copy Provided
DATE SUBMITTED: 29 AFC 14	By:
Requests for approvals of Site Development Plans and/or Subdivision	Plats stant be accompanied by a drainage submittal. The particular nature, location, and ail. One or more of the following levels of submittal may be required based on the followin

Engr Stamp 4-28-16

Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including

Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans

Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres

3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more

project less than 1-acre than are part of a larger common plan of development



July 27, 2016

Martin Grummer 331 Wellesley Pl., NE Albuquerque, NM

Clean Machine Carwash Re:

4200 San Mateo Blvd., NE **Traffic Circulation Layout**

Engineer's/Architect's Stamp 6-9-16 (G18-D049)

Dear Mr. Grummer,

Based upon the information provided in your submittal received 7-25-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

Clarify circulation of vehicles at the main entrance on San Mateo Blvd. There appears to be conflicting vehicle movements. Please add detail of directional arrows and signage.

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Detail and dimension bicycle and motorcycle parking spaces, along with appropriate signage.

Albuquerque

The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs. See attached 2009 NM Accessible Parking Checklist page 3 of 6.

New Mexico 87103

One-way vehicular paths require pavement directional signage and a posted "Do Not Enter" sign at the point of egress. Please show detail and location of posted signs.

Please specify the City Standard Drawing Number when applicable.

www.cabq.gov

Please include two copies of the traffic circulation layout at the next submittal. 6.



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.

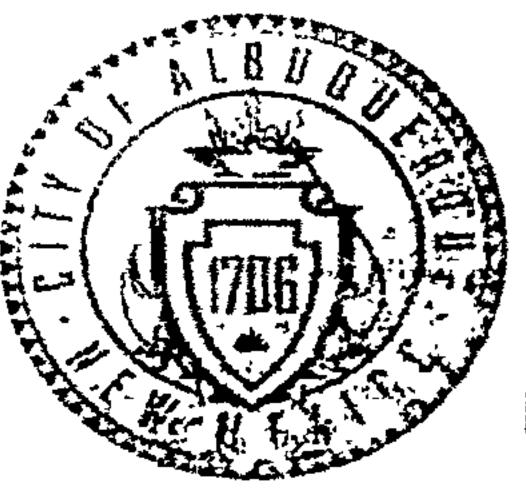
Traffic Engineer, Planning Dept. Development Review Services

mao via: email C: File

PO Box 1293

Albuquerque

New Mexico 87103



Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2013)

	$C_{10} \cap N_{10}$
Project Title: (LED) MACHINE CARWASH Building Permit #:	City Drainage #: 6180049
DRB#:	Work Order#:
Legal Description: LOTIA, BLOCK 0000, ALTAMO	NT ADD'D WHA
City Address: 4200 SAN MATEO BUTD 126	
	And the second s
Engineering Firm: SAALSON & ARFMAN	Contact: FREE
Address: 128 MODREE 5T NE, ALBOR,	
Phone#: <u>268-8828</u> Fax#:	E-mail: FREDA (DIACIUL, COM
Owner: BOB FOURERS	Contact: 808
Address: 4446 EAST From ER STREET, P	HOENH, 12
Phone#: 400-2323 Fax#:	E-mail: BOBBBBBBBBBBBBBBBBBBBBBBBBBBBBBBBBBBB
	Contact: MARTH
Architect: MAGTIN GOVERNER Address: 331 WEVESLET PLNE	Contact.
Phone#: 265-2507 Fax#:	F-mail M/0/2mm m=0 (2)
	E-mail: MGROMMER O CENTURY UNDER 18
Surveyor: THE SURVEYOR OFFICE, LLC	Contact:
Address: 333 LUMAS BLUD PE, ALBUX	2, <u>,</u> , , , , , , , , , , , , , , , , ,
Phone#: 998-0303 Fax#:	E-mail: Formail: Form
Contractor: AW11-GER	Contact: LOHP
Address: 425 #0 MON NE	
	E-mail: Jud 1 LER (BU) 1 LER. Com
TYPE OF SUBMITTAL:	
DRAINAGE REPORT UNITED 11 11 11 2 PREHIMINARY PLAT APPE	
DICAMACE FAM ISCOPPINITION FAM. F 2 INSCRIPTION FOR INC.	The same of the sa
DRAINAGE PLAN RESUBMITTAL SHEV. PLAN FOR SUB'D. CONCERTUAL C. & D. P. ANI	TAPPROVIAT
CONCEPTUAL G & D PLAN LAND DEVELOPMENT SECTOR PLAN APPROVAL	AT I I I I I I I I I I I I I I I I I I I
EROSION & SEDIMENT CONTROL PLAN (ESC) FINAL PLAT APPROVAL	
ENGINEER'S CERT (HYDROLOGY) CERTIFICATE OF OCCUPA	NCY (PERM)
CLOMR/LOMR CERTIFICATE OF OCCUPA	
TRAFFIC CIRCULATION LAYOUT (TCL) FOUNDATION PERMIT AP	
ENGINEER'S CERT (TCL) BUILDING PERMIT APPRO	VAL LEWED &CO.P
ENGINEER'S CERT (DRB SITE PLAN) GRADING PERMIT APPRO	
ENGINEER'S CERT (ESC) PAVING PERMIT APPROVA	
SO-19 WORK ORDER APPROVAL	
OTHER (SPECIFY) POP 24-WH GRADING CERTIFICATION	OTHER (SPECIFY)
REU 19-1027 CM	py Provided
	e submitted. The particular nature location and

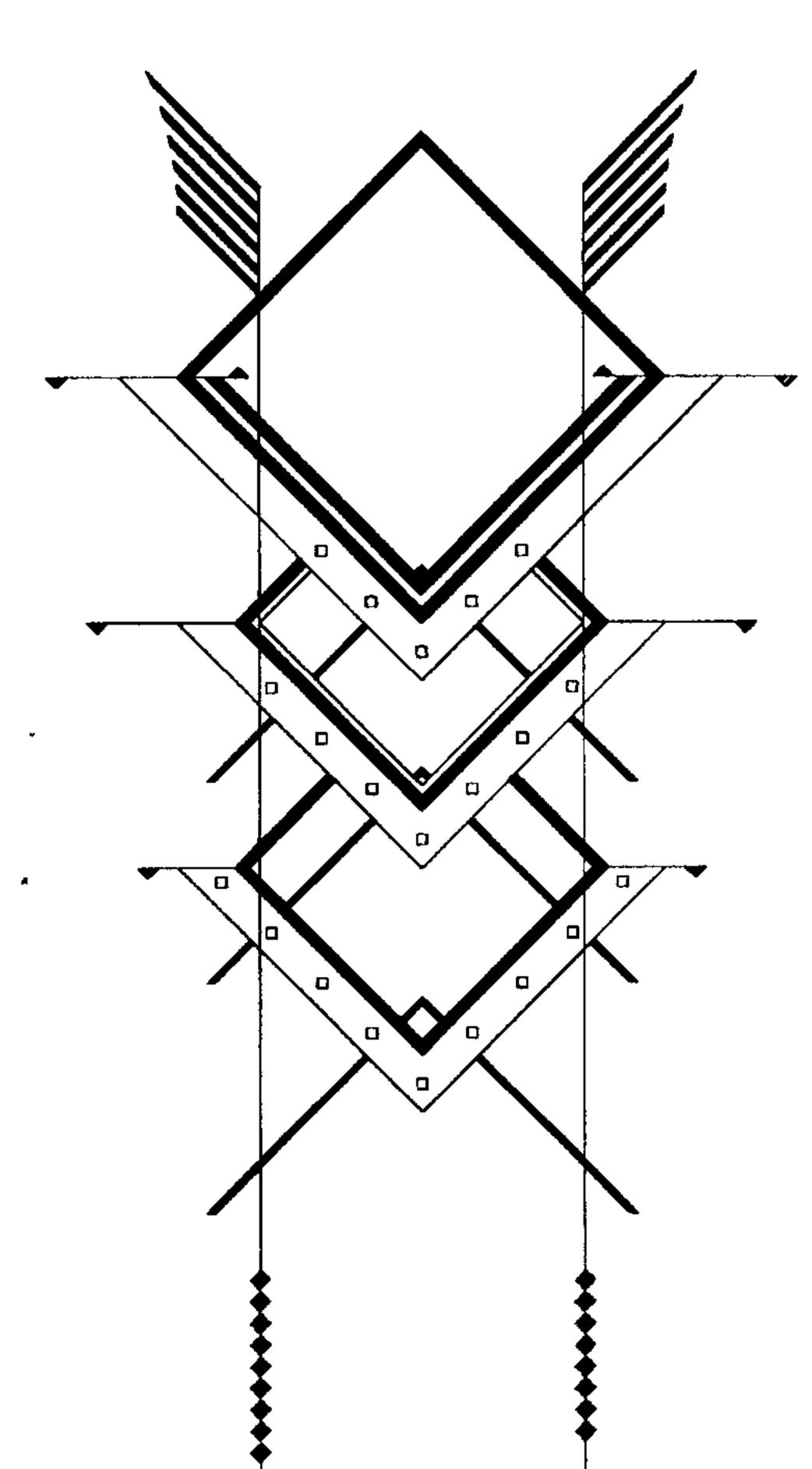
Requests for approvals of Site Development Plans and/or Subdivision Plats of the accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



24 July 2016

Monica Ortiz
City of Albuquerque Building Dept.
Traffic Section
Albuquerque, NM

Re: Traffic Circulation Layout for 4200 San Mateo Blvd 87110

Monica

Attached is the revised TCL for the Clean Machine Carwash #4 located at 4200 San Mateo Blvd NE in Albuquerque, NM. We have addressed the comments dated July 20, 2016:

- V. See details on Sheets A1.2 & A1.3
- 2. Arrows shown on Sheet A1.1
- 3. Curb is shown as 40' on A1.1
- 4. See dimension on Sheet A1.1
- 5. Median and ROW shown on A1.1
- 6. Added MC and bike rack to A1.1
- 7. Dimension of handicap accessible space on A1.1
- 8. ADA sign shown on detail 22/A1.3
- 9. See A1.1 for 6 ft wide ADA access
- 10. Curb details shown on 1&4/A1.2
- 11. Do Not Enter signs shown on A1.1 as Detail 24/A1.3
- 12. City standards called out on A1.1
- 13. Added note to A1.1

Please let me know if you need any more information.

SINCERELY

Martin FM Grummer

LAND DEVELOPMENT SECTION