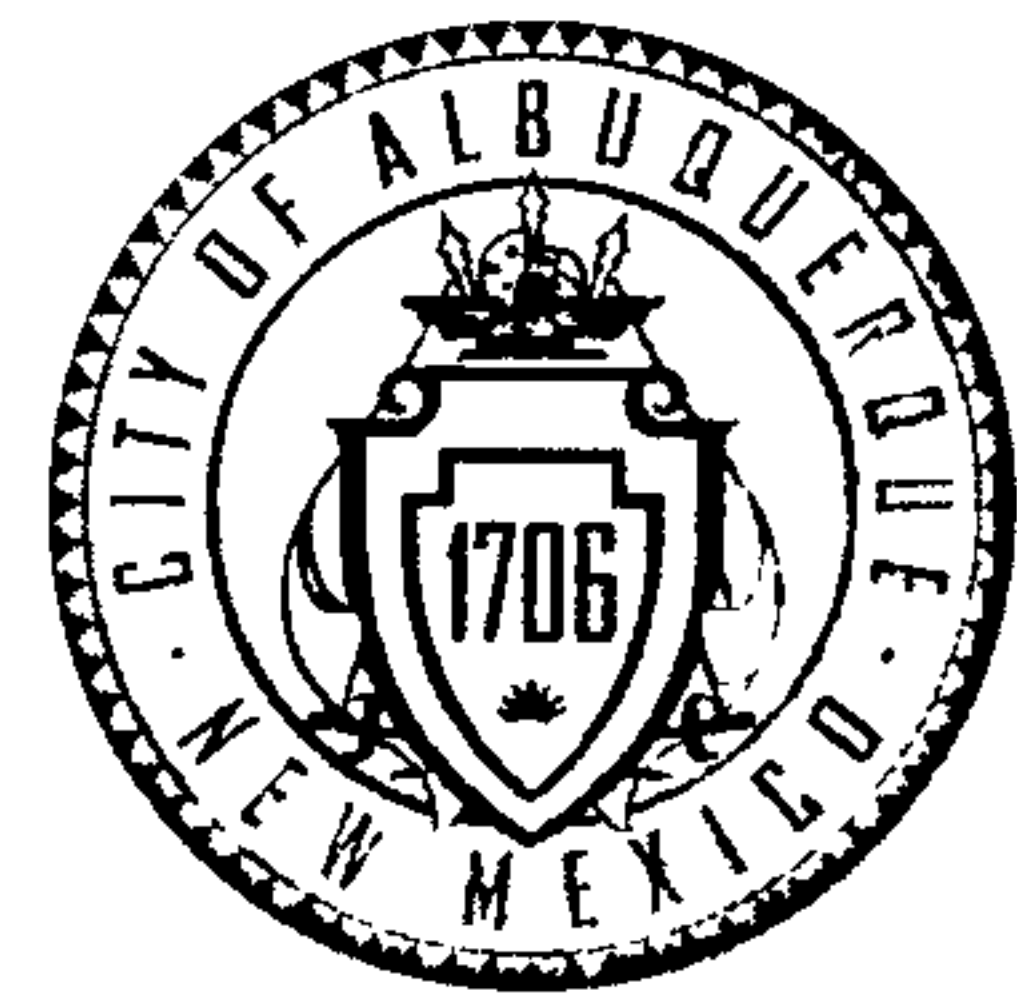


# CITY OF ALBUQUERQUE

Planning Department

Suzanne Lubar, Director



Richard J. Berry, Mayor

May 31, 2016

Fred Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St NE  
Albuquerque, New Mexico 87108

**RE: Clean Machine Car Wash  
4200 San Mateo Blvd NE  
Grading and Drainage Plan  
Engineers Stamp Date 5/5/16 (G18D049)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 5/5/16, this plan is approved for Building Permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

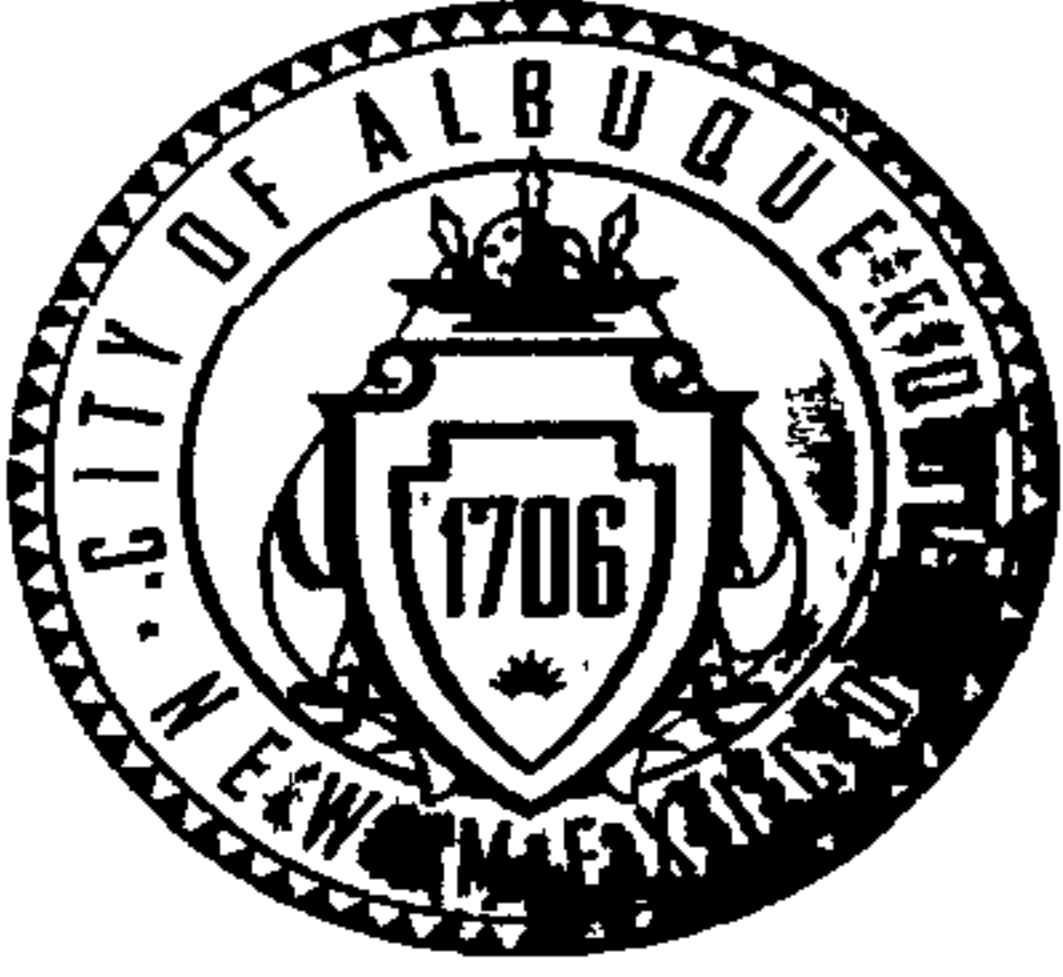
Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Hydrology  
Planning Department

RR/AC  
C: File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Clean Machine Car Wash Building Permit #                      City Drainage # G18/D049  
DRB#:                      EPC#:                      Work Order#:                       
Legal Description: Lot 1A, Block 48, Unit 4, Altamont Addition  
City Address: 4200 San Mateo Blvd NE

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman / Bryan Bobrick  
Address 128 Monroe Street NE - Albuquerque, NM 87108  
Phone# (505) 268-8828 Fax#:                      E-mail: bryanb@iacivil.com

Owner: Clean Machine Car Wash, LLC Contact                       
Address                       
Phone#                      Fax#:                      E-mail:                     

Architect:                      Contact:                       
Address                       
Phone#                      Fax#:                      E-mail:                     

Other Contact: The Survey Office, LLC Contact: Anthony L Harris  
Address 333 Lomas Blvd. NE - Albuquerque, NM 87102  
Phone# (505) 998-0303 Fax#:                      E-mail                     

Check all that Apply:

### DEPARTMENT:

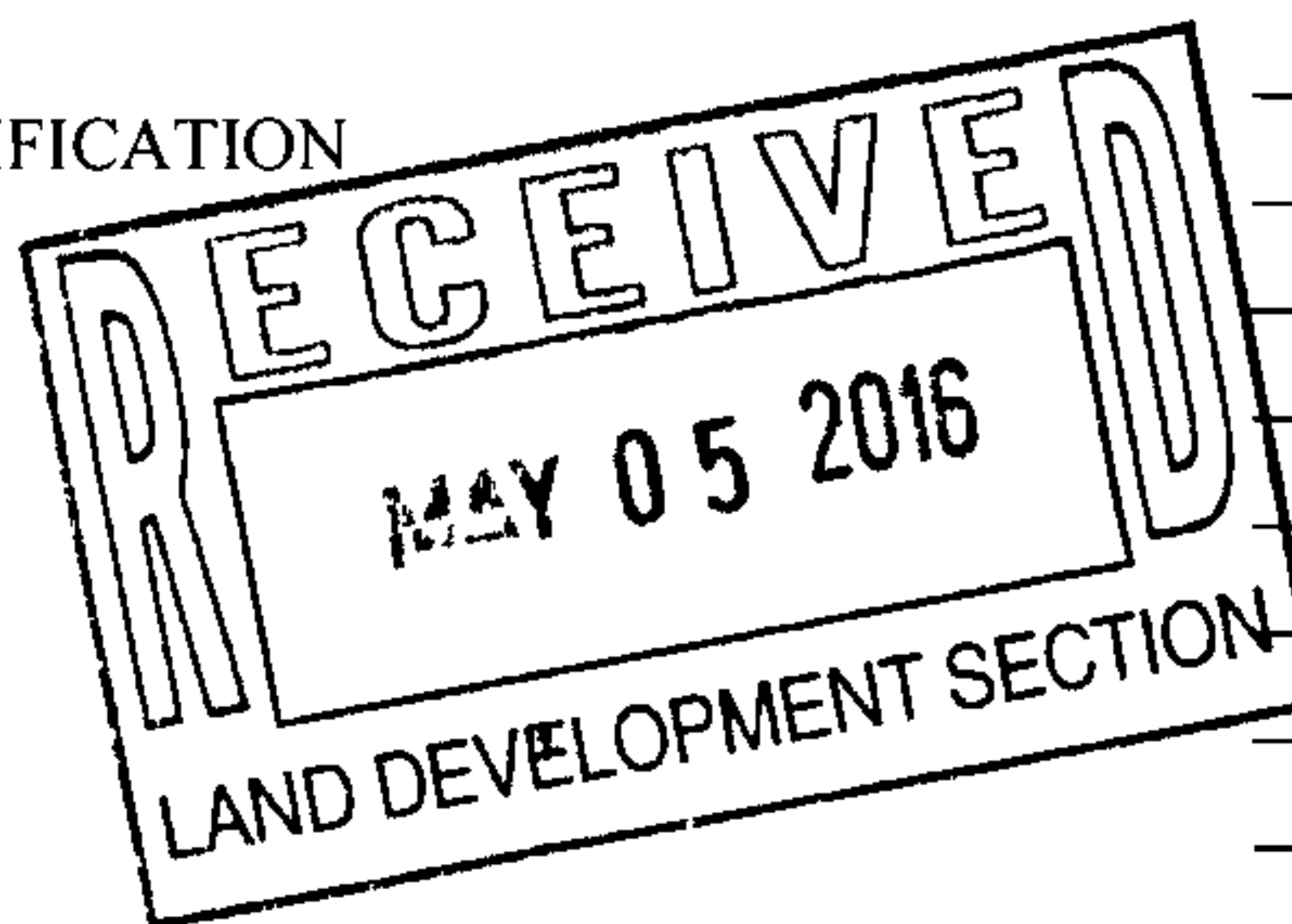
☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY

### TYPE OF SUBMITTAL:

☐ ENGINEER ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY)                     



☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY)                     

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: May 5, 2016 By Bryan Bobrick

COA STAFF ELECTRONIC SUBMITTAL RECEIVED

---

## Clean Machine Car Wash - San Mateo Blvd. - Hydrology resubmittal

1 message

---

**Bryan Bobrick** <bryanb@iacivil.com>

Thu, May 5, 2016 at 1:25 PM

To: COA Planning Development Review Services <PLNDRS@cabq.gov>

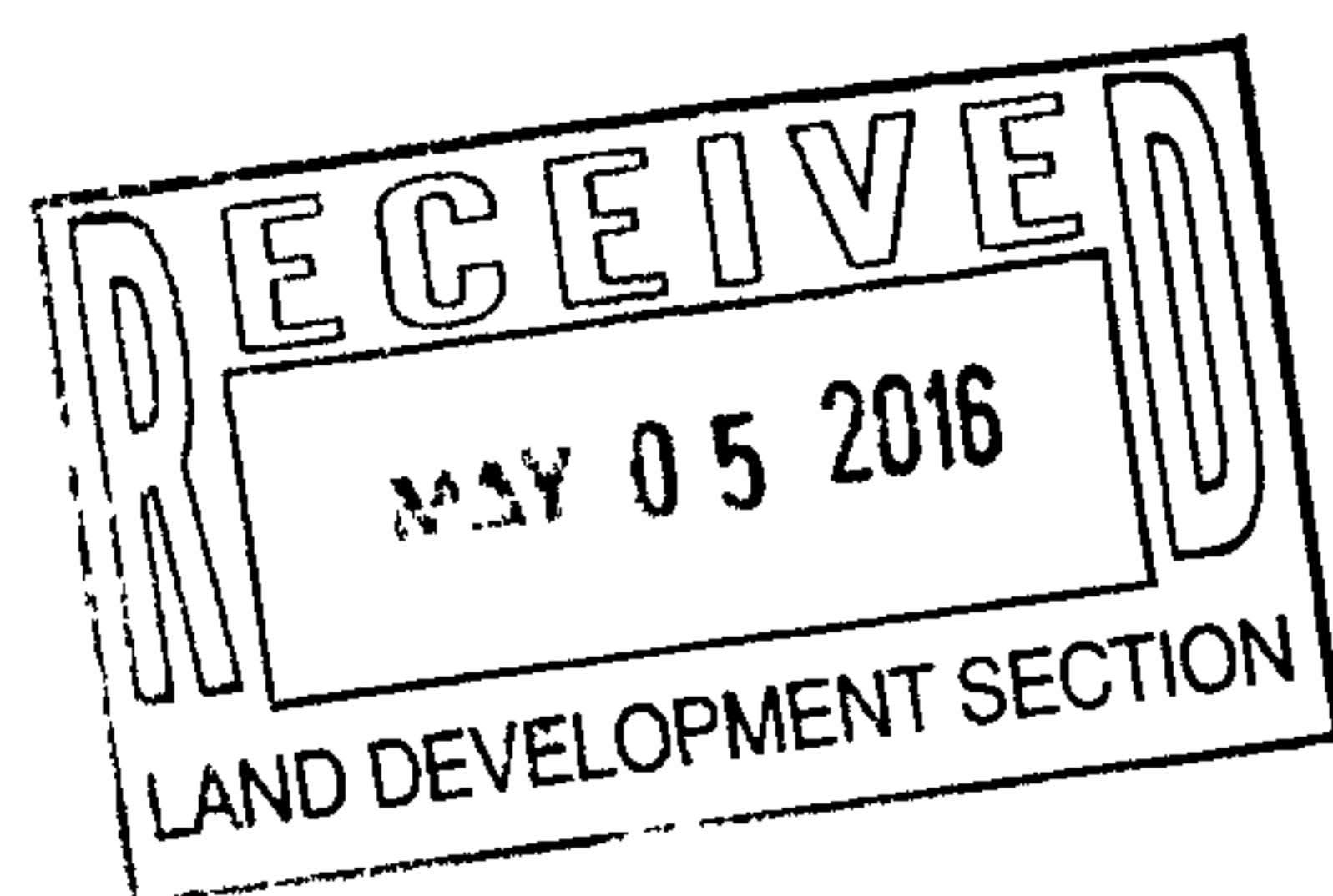
Abiel - this project was previously approved (engineer's stamp date 11-05-15).

There were minor revisions to the building entry and exit grades.

**Bryan Bobrick**  
**Isaacson & Arfman, P.A.**  
128 Monroe N.E.  
Albuquerque, NM 87108  
(505) 268-8828

---

 **2128 BLDG PERMIT SET SIGNED 05-05-16.pdf**  
3679K



# CITY OF ALBUQUERQUE



December 16, 2015

Richard J. Berry, Mayor

Fred C. Arfman, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM, 87108

**RE: Clean Machine Car Wash – 4200 San Mateo NE  
Grading and Drainage Plan  
Engineer's Stamp Date 11-05-15 (File: G18D049)**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 11-16-15, the above referenced submittal is approved for Building Permit (a separate Grading Permit is not needed).

Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

If you have any questions, you can contact me at 924-3986.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

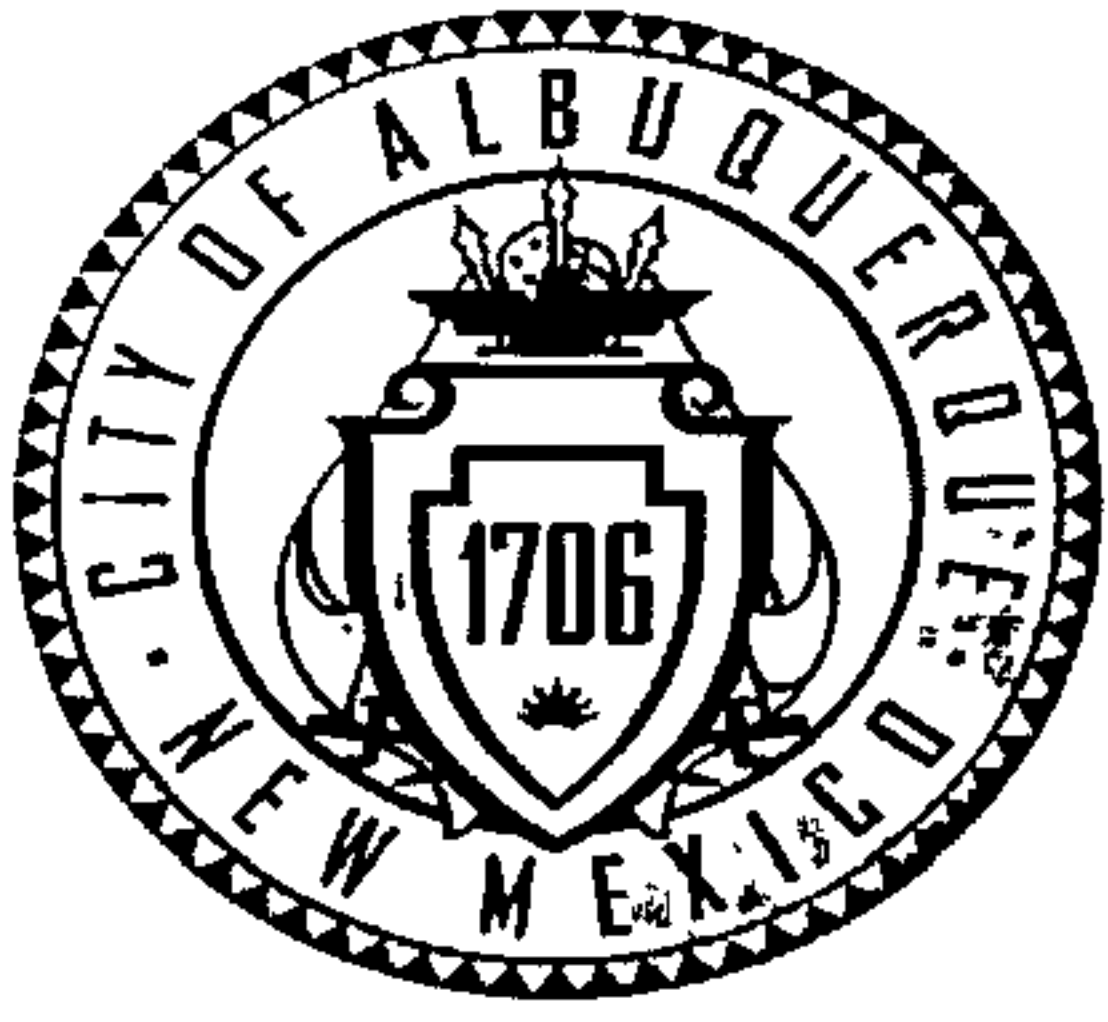
Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

Orig: Drainage file

G18D049\_BP\_GP\_APPR.docx





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Clean Machine Car Wash Building Permit #: \_\_\_\_\_ City Drainage #: G18/D049  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lot 1A, Block 48, Unit 4, Altamont Addition, City of Albuquerque, New Mexico  
City Address: 4200 San Mateo Blvd. SE

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred Arfman PE, NMPE 7322  
Address: 128 Monroe Street NE - Albuquerque, NM 87108  
Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: Freda @iacivil.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: The Survey Office, LLC Contact: Anthony L. Harris, NMPS 11463  
Address: 333 Lomas Blvd. N.E.  
Phone#: (505) 998-0303 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_

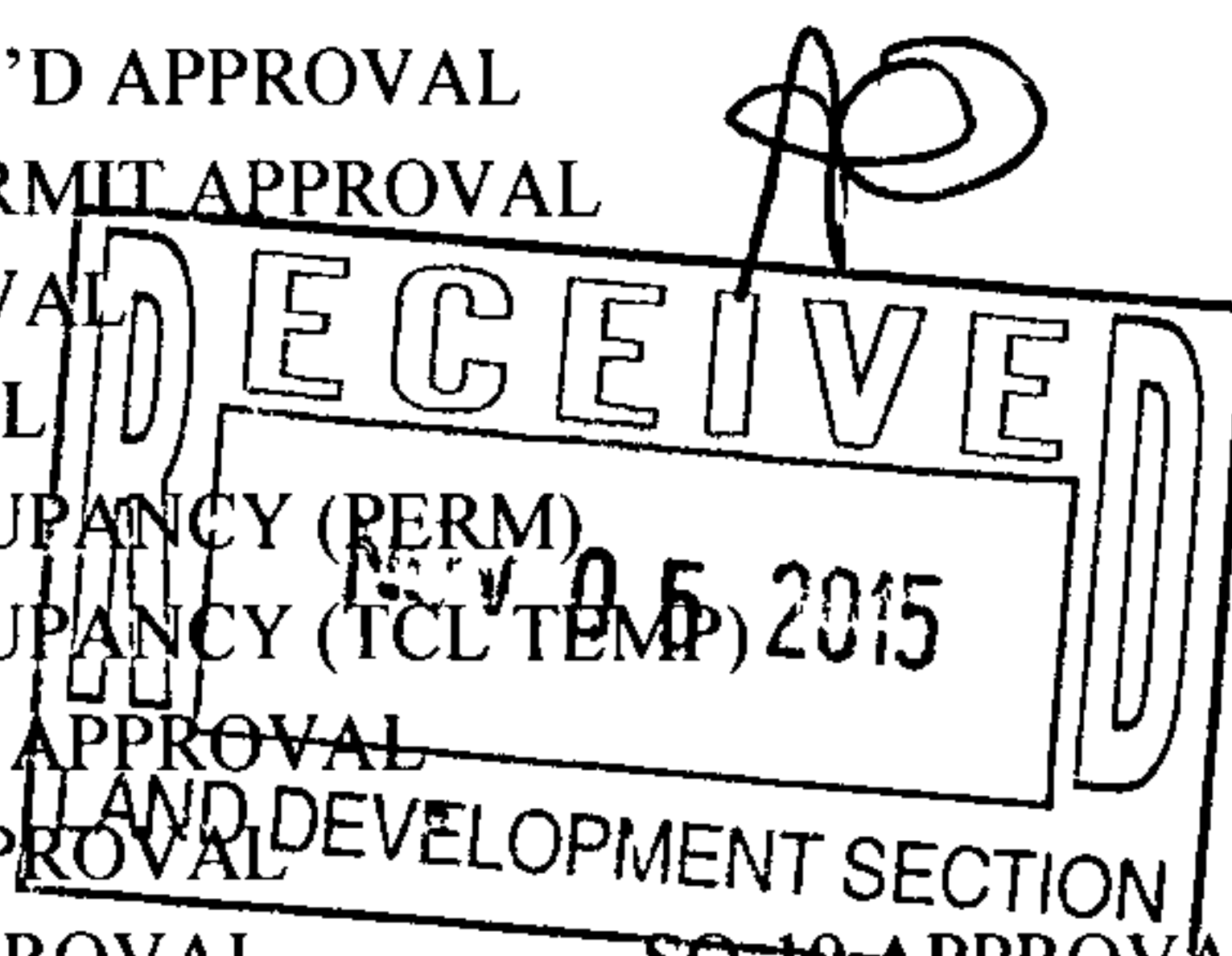
WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided \_\_\_\_\_

DATE SUBMITTED: November 5, 2015 By: Bryan Bobrick

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



# CITY OF ALBUQUERQUE



August 2, 2016

Martin Grummer  
331 Wellesley Pl., NE  
Albuquerque, NM

**Re: Clean Machine Carwash  
4200 San Mateo Blvd., NE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp 6-9-16 (G18-D049)**

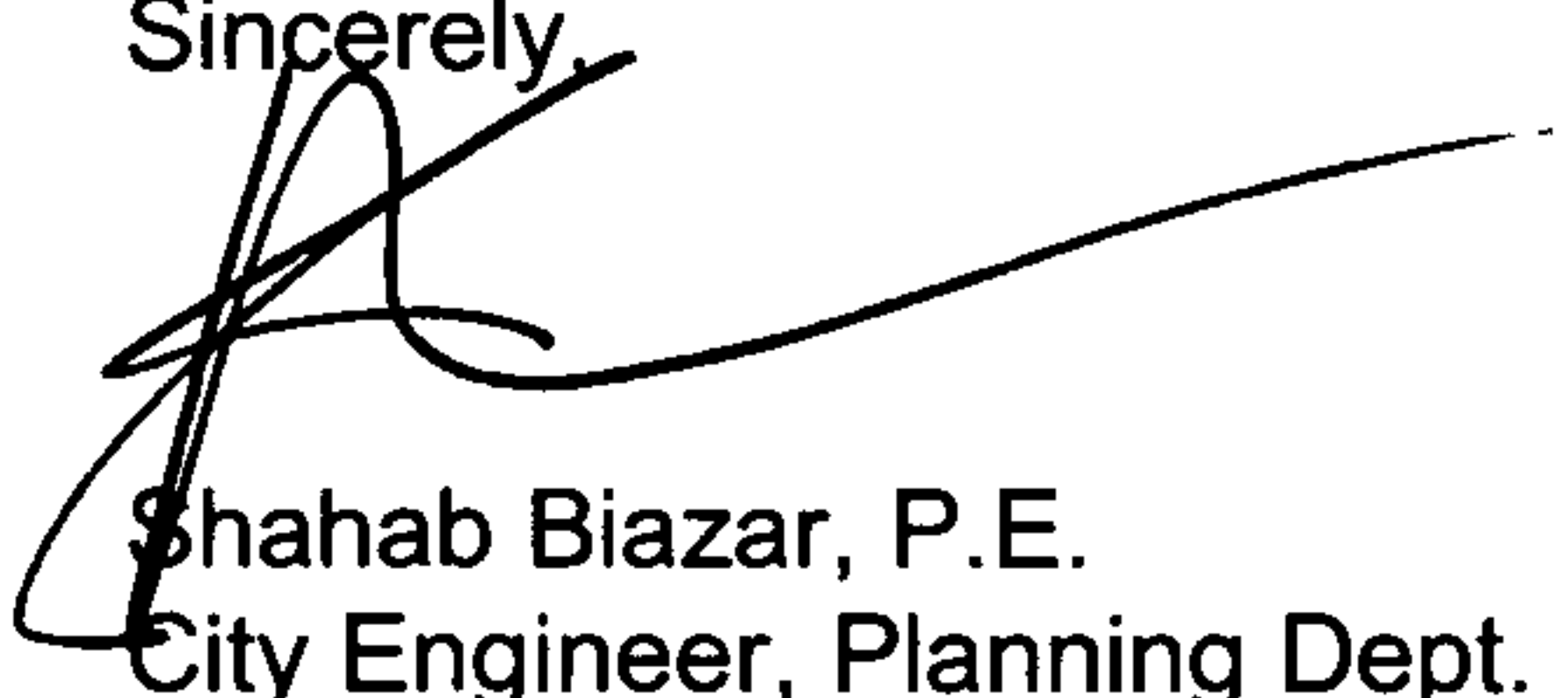
Dear Mr. Grummer,

The TCL submittal received 08-01-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

  
Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development Review Services

mao via: email  
C: CO Clerk, File

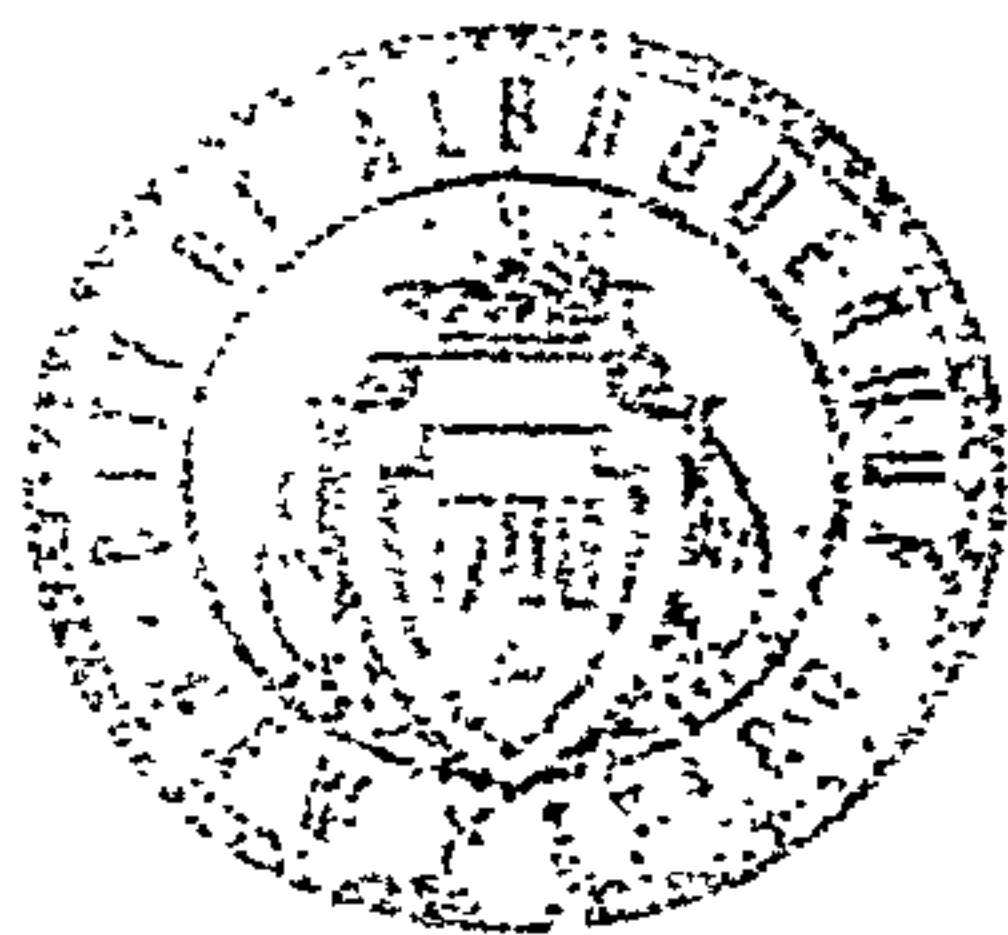
PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LEAD MACHINE CARWASH Building Permit #: \_\_\_\_\_ City Drainage #: 6180049  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: LOT 1A, BLOCK 0000, AUTAMONT ADD'D UNIT 4  
 City Address: A200 SAN MATEO BLVD NE  
 Engineering Firm: ISAACSON & ARFMAN Contact: FRED  
 Address: 128 MOORE ST NE, ALBUQ, NM  
 Phone#: 768-8823 Fax#: \_\_\_\_\_ E-mail: FREDA@IACIVIL.COM  
 Owner: BOB POWERS Contact: BOB  
 Address: 4446 EAST FLOWER STREET, PHOENIX, AZ  
 Phone#: 400-2323 Fax#: \_\_\_\_\_ E-mail: BOB@BOB.COM  
 Architect: MARTIN GROMMER Contact: MARTIN  
 Address: 331 WOODSLEY PL NE  
 Phone#: 765-2507 Fax#: \_\_\_\_\_ E-mail: MGROMMER@CENTURYLINK.NET  
 Surveyor: THE SURVEYOR OFFICE, LLC Contact: T  
 Address: 333 LOMAS BLVD NE, ALBUQ, NM  
 Phone#: 998-0303 Fax#: \_\_\_\_\_ E-mail: TSO@TSO.COM  
 Contractor: WILGER Contact: JOHN  
 Address: 425 EDMON NE  
 Phone#: 345-2854 Fax#: \_\_\_\_\_ E-mail: WILGER@WILGER.COM

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOM/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SQ-19
- ☐ OTHER (SPECIFY) REV 1 AUG 16  
REV 24 JUL 16  
REV 19 JUL 16

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

Yes

No

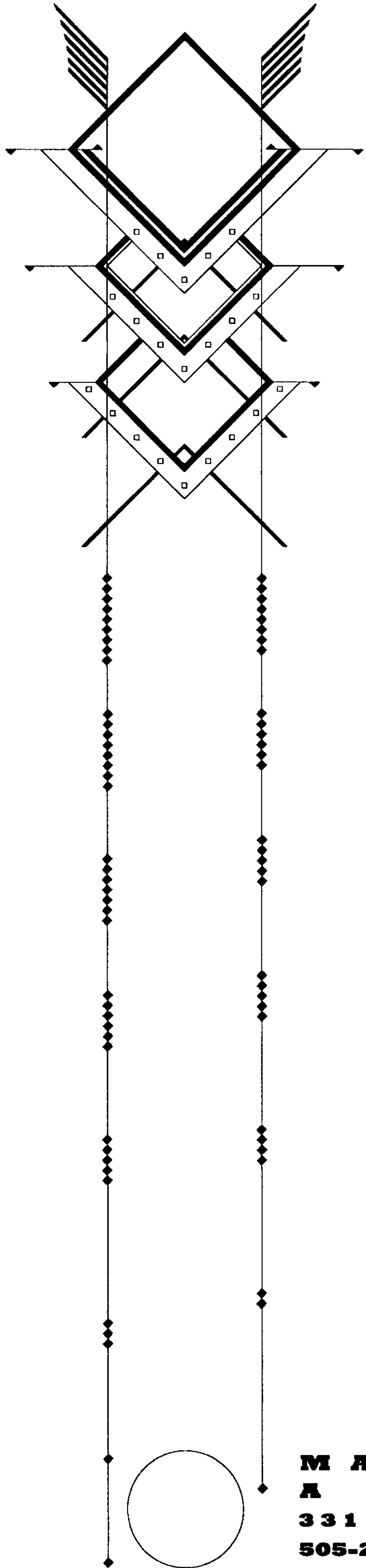
Copy Provided

DATE SUBMITTED: 29 APR 16

By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



1 Aug 2016

Monica Ortiz  
City of Albuquerque Building Dept.  
Traffic Section  
Albuquerque, NM

Re: Traffic Circulation Layout for 4200 San Mateo Blvd  
87110

Monica

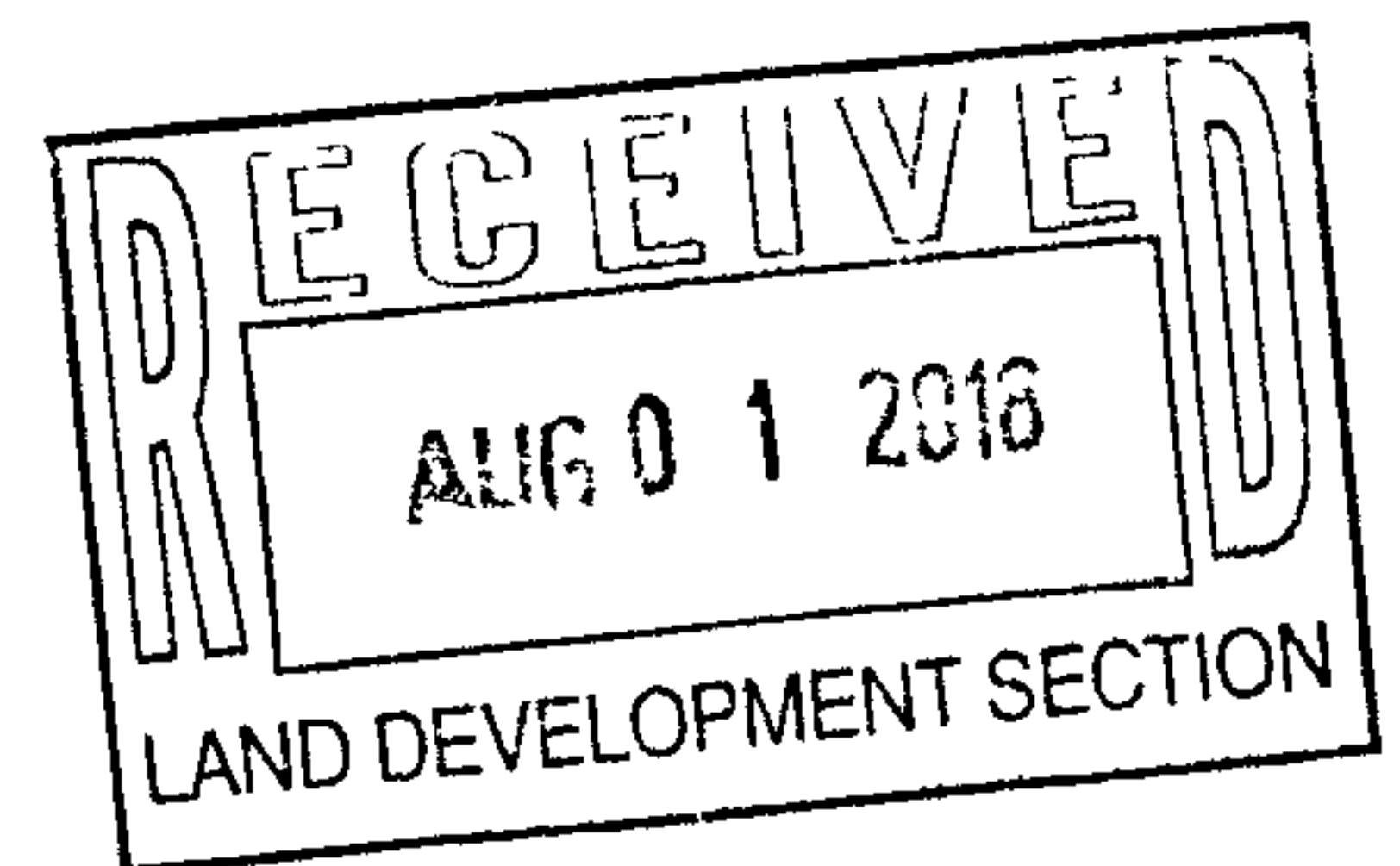
Attached is the revised TCL for the Clean Machine Carwash #4 located at 4200 San Mateo Blvd NE in Albuquerque, NM. We have addressed the comments dated July 27, 2016:

1. Added circulation arrows to plan at entry, Sheet A1.1 and revised the ADA access route to match the new 40' wide drivepad.
2. Added dimension plan for bicycle and motorcycle parking spaces on Sheet A1.3, Detail 26.
3. Sign note for "Violators are subject to a Fine and/or Towing" shown on Sheet A1.3, Detail 23.
4. Added "Do Not Enter" markings to plan shown on A1.1 and A1.3, Detail 27.
5. City Standard Drawing Numbers shown on A1.1.

Please let me know if you need any more information.

SINCERELY

Martin FM Grummer



MARTIN FM GRUMMER  
ARCHITECT  
331 WELLESLEY PL NE ALBUQUERQUE, NM 87106  
505-265-2507 mgrummer@centurylink.net



# CITY OF ALBUQUERQUE



July 27, 2016

Martin Grummer  
331 Wellesley Pl., NE  
Albuquerque, NM

**Re: Clean Machine Carwash  
4200 San Mateo Blvd., NE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp 6-9-16 (G18-D049)**

Dear Mr. Grummer,

Based upon the information provided in your submittal received 7-25-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

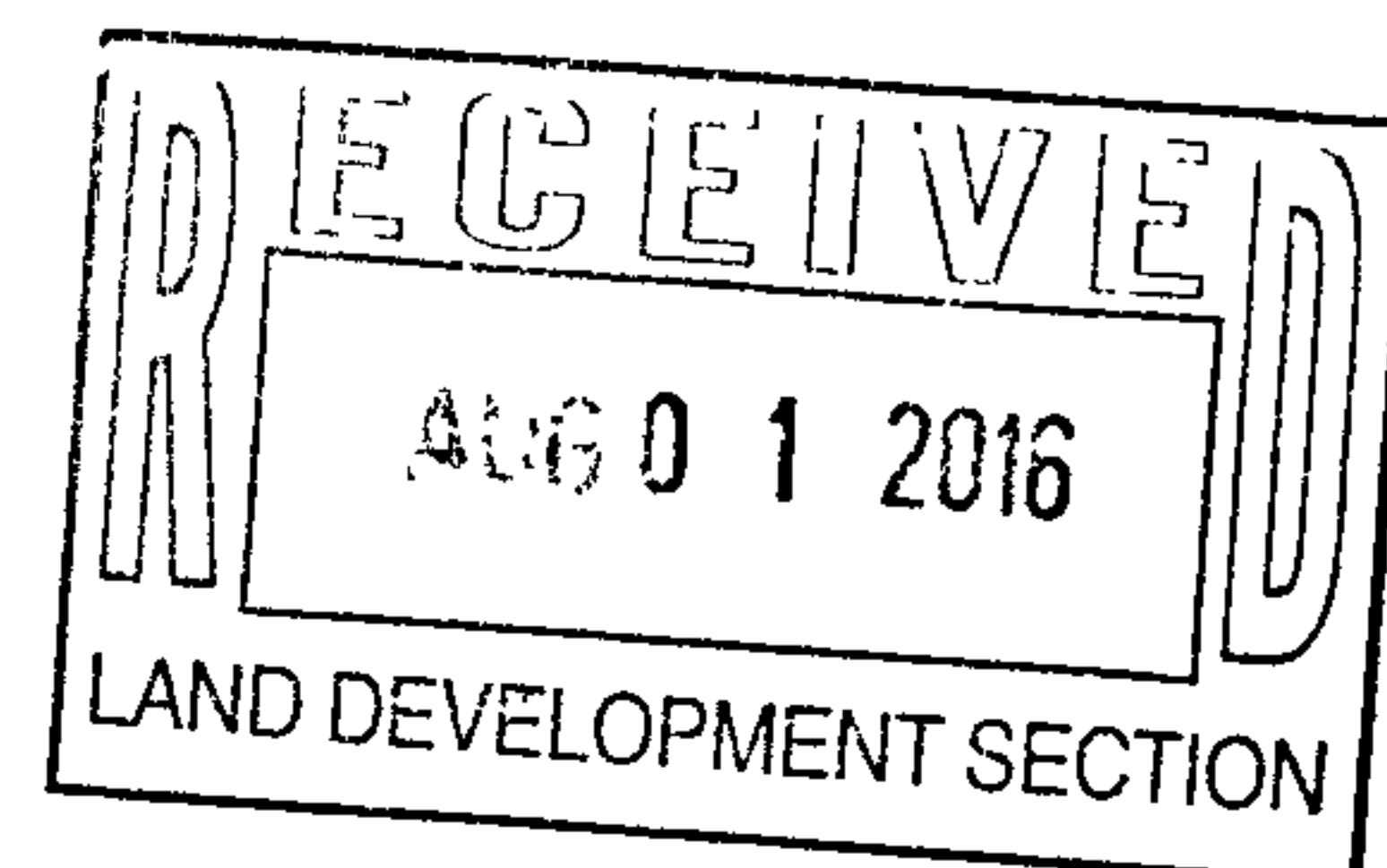
1. Clarify circulation of vehicles at the main entrance on San Mateo Blvd. There appears to be conflicting vehicle movements. Please add detail of directional arrows and signage.
2. Detail and dimension bicycle and motorcycle parking spaces, along with appropriate signage.
3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs. See attached 2009 NM Accessible Parking Checklist page 3 of 6.
4. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
5. Please specify the City Standard Drawing Number when applicable.
6. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

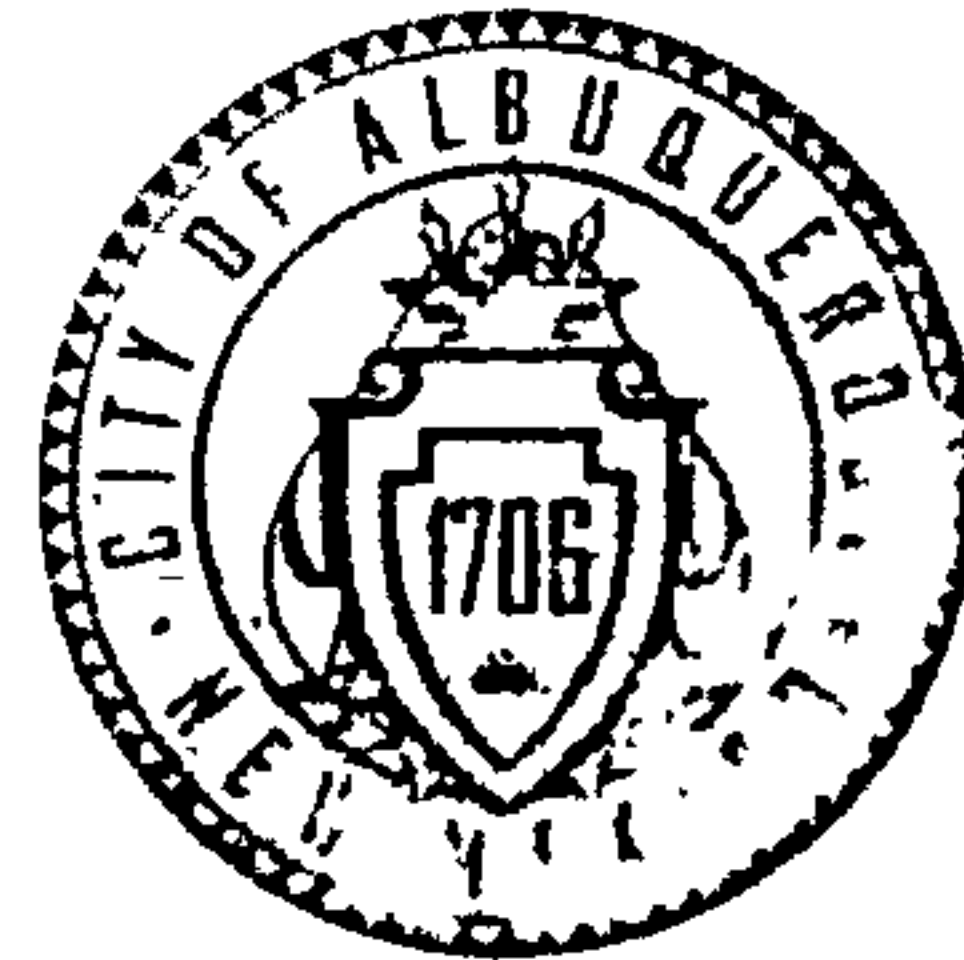
Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

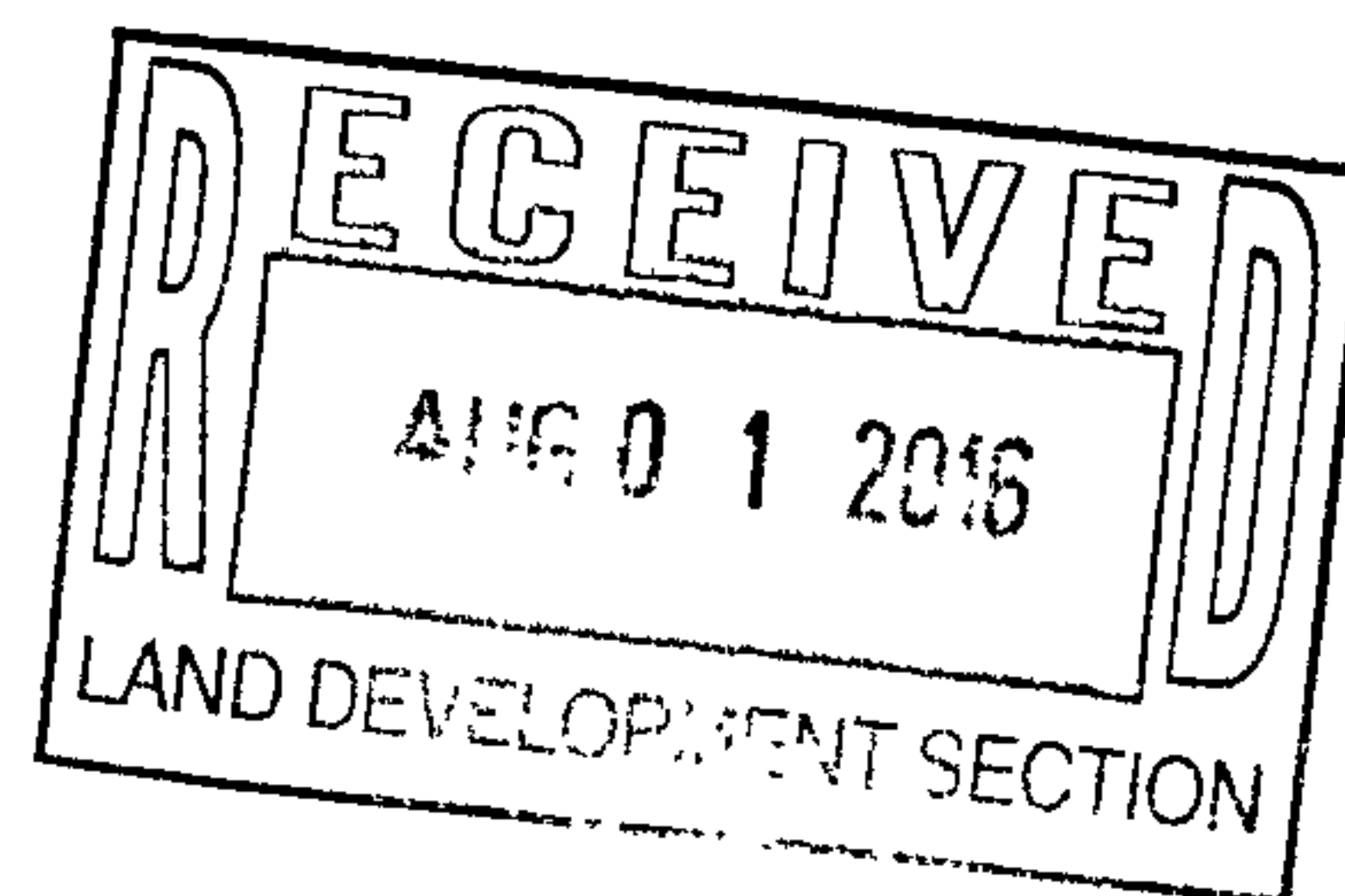
mao via: email  
C: File

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# CITY OF ALBUQUERQUE



July 20, 2016

Martin Grummer  
331 Wellesley Pl., NE  
Albuquerque, NM

**Re: Clean Machine Carwash  
4200 San Mateo Blvd., NE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp 6-9-16 (G18-D049)**

Dear Mr. Grummer,

Based upon the information provided in your submittal received 7-19-16-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please provide the Detail Sheets labeled on the TCL submittal.
2. Clarify circulation of vehicles at the main entrance on San Mateo Blvd. There appears to be conflicting vehicle movements. Please add detail of directional arrows and signage.
3. The curb cut on San Mateo should be a maximum of 40 ft. wide.
4. Please identify and dimension all proposed, doors, structures, sidewalks, curbs, drive pads, ADA ramps, walls and anything that influences the parking and circulation on the site.
5. Identify the right of way width, medians, curb cuts, and street widths on San Mateo Blvd.
6. Detail and dimension bicycle and motor cycling parking spaces, along with appropriate signage.
7. Dimension the length of the handicap accessible space.
8. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs. *NOT corrected*
9. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details of ramps from ROW.
10. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb. Please call out this detail.
11. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# CITY OF ALBUQUERQUE



12. Please specify the City Standard Drawing Number when applicable.
13. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
14. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Monica Ortiz (505) 924-3675 or me at 924-3981.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

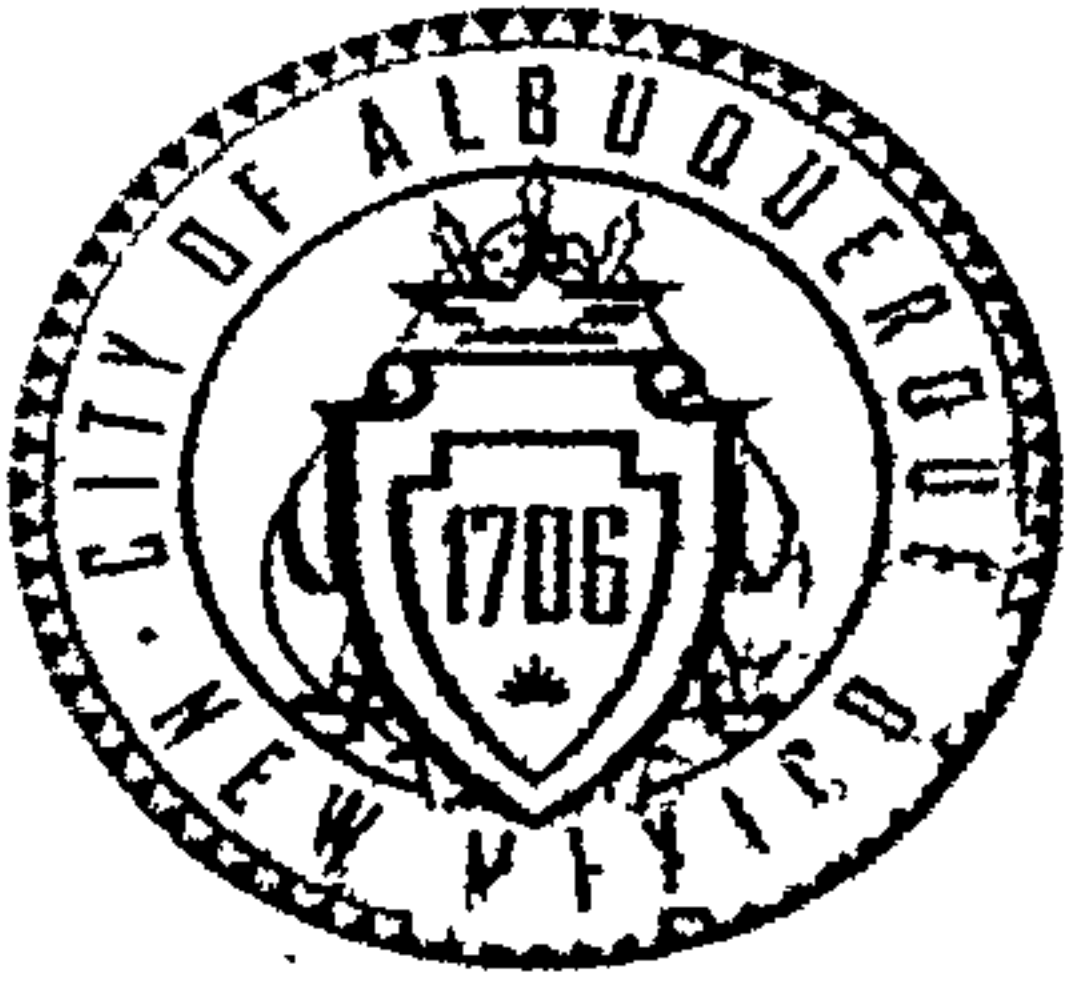
PO Box 1293

\gs via: email  
C: CO Clerk, File

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: CLEAN MACHINE CARWASH Building Permit #: \_\_\_\_\_ City Drainage #: 6180049  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOT 1A, BLOCK 0000, ALTA MONT ADD'D UNIT 4  
City Address: 4200 SAN MATEO BLVD NE  
Engineering Firm: ISAACSON & ARFMAN Contact: FRED  
Address: 128 MONROE ST NE, ALBUQ, NM  
Phone#: 268-8828 Fax#: \_\_\_\_\_ E-mail: FREDA@IACIVIL.COM  
Owner: BOB POWERS Contact: BOB  
Address: 4446 EAST FLOWER STREET, PHOENIX, AZ  
Phone#: 400-2323 Fax#: \_\_\_\_\_ E-mail: BOB@3@COX.NET  
Architect: MARTIN GROMMER Contact: MARTIN  
Address: 331 W WILLESLEY PL NE  
Phone#: 265-2507 Fax#: \_\_\_\_\_ E-mail: MGROMMER@CENTURYLINK.NET  
Surveyor: THE SURVEYOR OFFICE, LLC Contact: T.  
Address: 333 LOMAS BLVD NE, ALBUQ, NM  
Phone#: 998-0303 Fax#: \_\_\_\_\_ E-mail: FREDA@IACIVIL.COM  
Contractor: DWILGER Contact: JOHN  
Address: 425 EDMON NE  
Phone#: 345-2854 Fax#: \_\_\_\_\_ E-mail: DWILGER@DWILGER.COM

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_

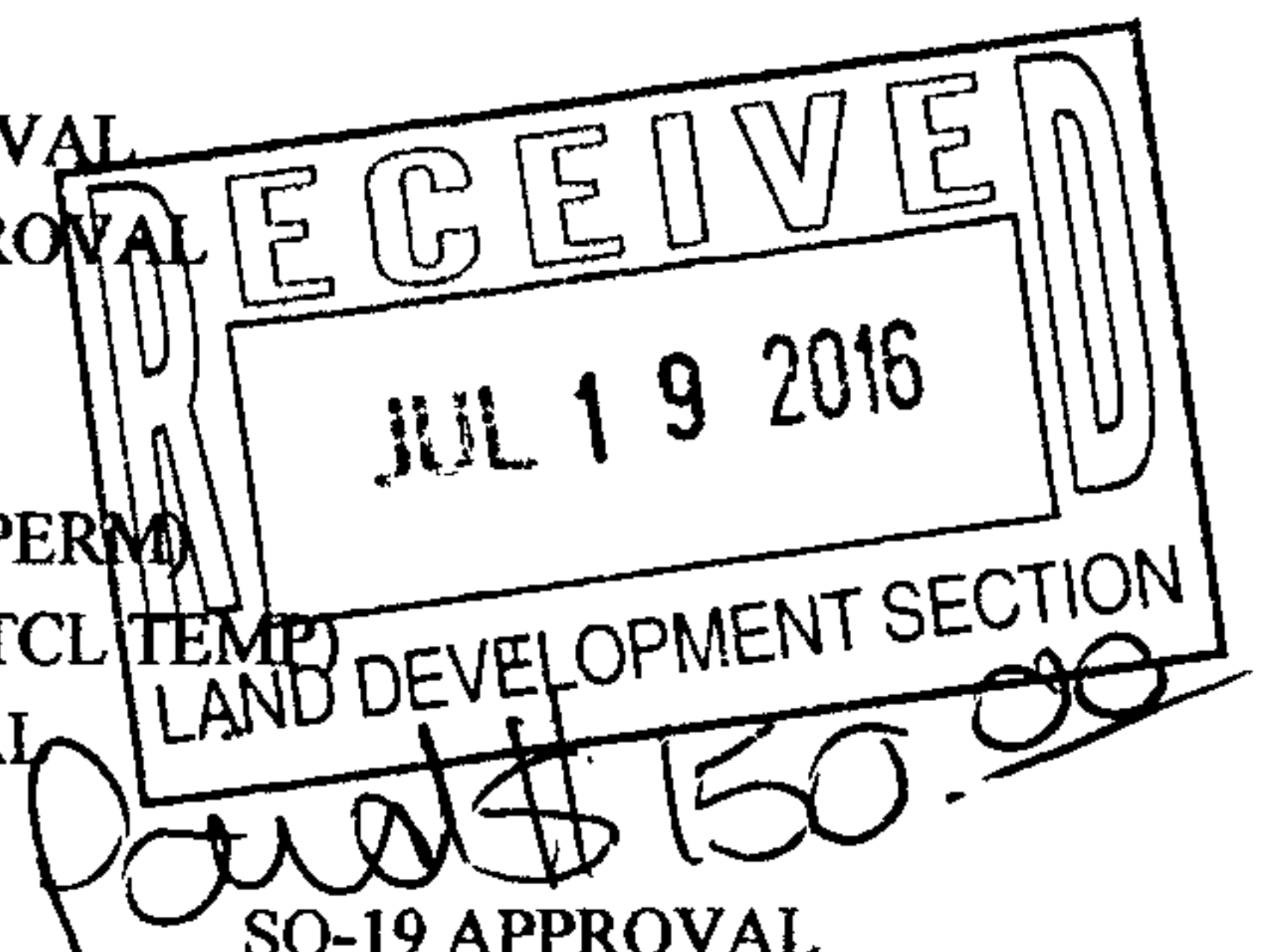
WAS A PRE-DESIGN CONFERENCE ATTENDED: REV 19 JULY 16

DATE SUBMITTED: 29 APR 16

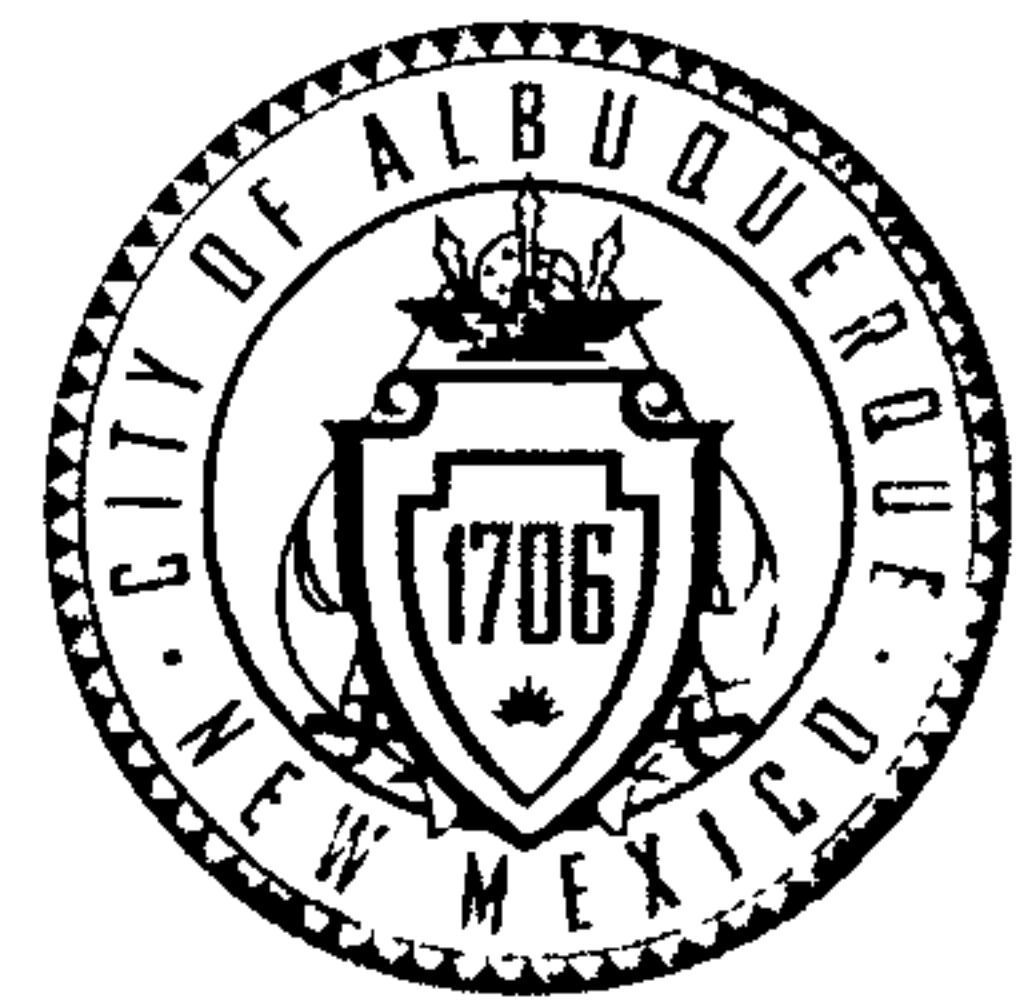
By: [Signature] Yes ☒ No ☐ Copy Provided ☐

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



# CITY OF ALBUQUERQUE



May 4, 2016

Martin Grummer  
331 Wellesley Pl., NE  
Albuquerque, NM

**Re: Clean Machine Carwash #4**  
**4200 San Mateo Blvd., NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp **4-28-16** (G18-D049)

Dear Mr. Grummer,

Based upon the information provided in your submittal received 4-29-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Dimension and detail all existing and proposed drive lanes, drive pad entrances/exits, sidewalks and ADA ramps.
2. Per DPM, the drive through lane width must be 12 ft. wide per vehicle. In review of the submitted drawing, there is only 8 ft. 4 in. provided for each drive isle entering the carwash bay area.
3. Please provide the queuing distance.
4. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
5. Show all drive aisle widths and radii.
6. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 ft. Landscape island radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
7. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from San Mateo Blvd.
8. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
9. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
10. Design delivery vehicle route needs to be shown.
11. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.

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# CITY OF ALBUQUERQUE



12. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
13. Please provide a sight distance exhibit (see the *Development Process Manual*, Chapter 23, Section 3).
14. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
15. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
16. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
17. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

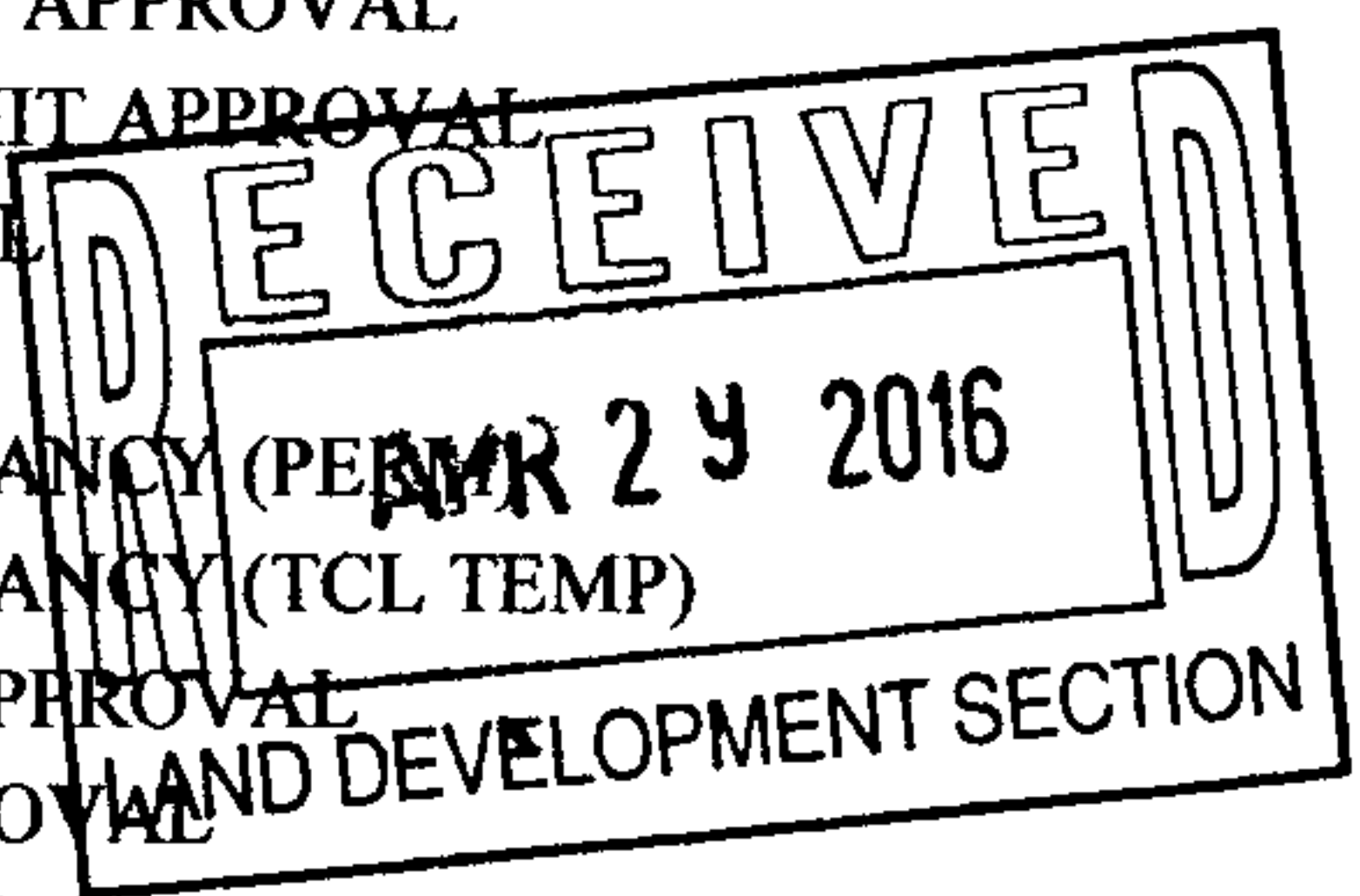
Project Title: CLEAN MACHINE CARWASH 4 Building Permit #: \_\_\_\_\_ City Drainage # G18D049  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOT 1-A, BLOCK 000, ALTAMONT ADDN UNIT 4  
City Address: 4200 SAN MATEO BLVD NE  
Engineering Firm: ISAACSON & ALFMAN Contact: FRED  
Address: 128 MONROE ST. NE, ALB, NM  
Phone#: 248-8828 Fax#: \_\_\_\_\_ E-mail: FREDA@IAACIVIL.COM  
Owner: BOB POWERS Contact: \_\_\_\_\_  
Address: 4446 EAST FLOWER ST, PHOENIX, AZ  
Phone#: 400-2323 Fax#: \_\_\_\_\_ E-mail: BOBP3@COX.NET  
Architect: MARTIN GRUMMER Contact: MARTIN  
Address: 331 WELLESLEY PL NE, ALB, NM  
Phone#: 245-2507 Fax#: \_\_\_\_\_ E-mail: MGRUMMER@CENTURYLINK.NET  
Surveyor: ANTHONY HARRIS Contact: \_\_\_\_\_  
Address: 333 LOMAS BLVD NE, ALB, NM  
Phone#: 998-0303 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Contractor: JWILGER Contact: JOHN  
Address: 425 EDMOND LE, ALB, NM  
Phone#: 345-2854 Fax#: \_\_\_\_\_ E-mail: JWILGER@WILGER.COM

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 29 APR 16

By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Engr Stamp 4-28-16

# CITY OF ALBUQUERQUE



July 27, 2016

Martin Grummer  
331 Wellesley Pl., NE  
Albuquerque, NM

**Re: Clean Machine Carwash  
4200 San Mateo Blvd., NE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp 6-9-16 (G18-D049)**

Dear Mr. Grummer,

Based upon the information provided in your submittal received 7-25-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Clarify circulation of vehicles at the main entrance on San Mateo Blvd. There appears to be conflicting vehicle movements. Please add detail of directional arrows and signage.
2. Detail and dimension bicycle and motorcycle parking spaces, along with appropriate signage.
3. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs. See attached 2009 NM Accessible Parking Checklist page 3 of 6.
4. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
5. Please specify the City Standard Drawing Number when applicable.
6. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

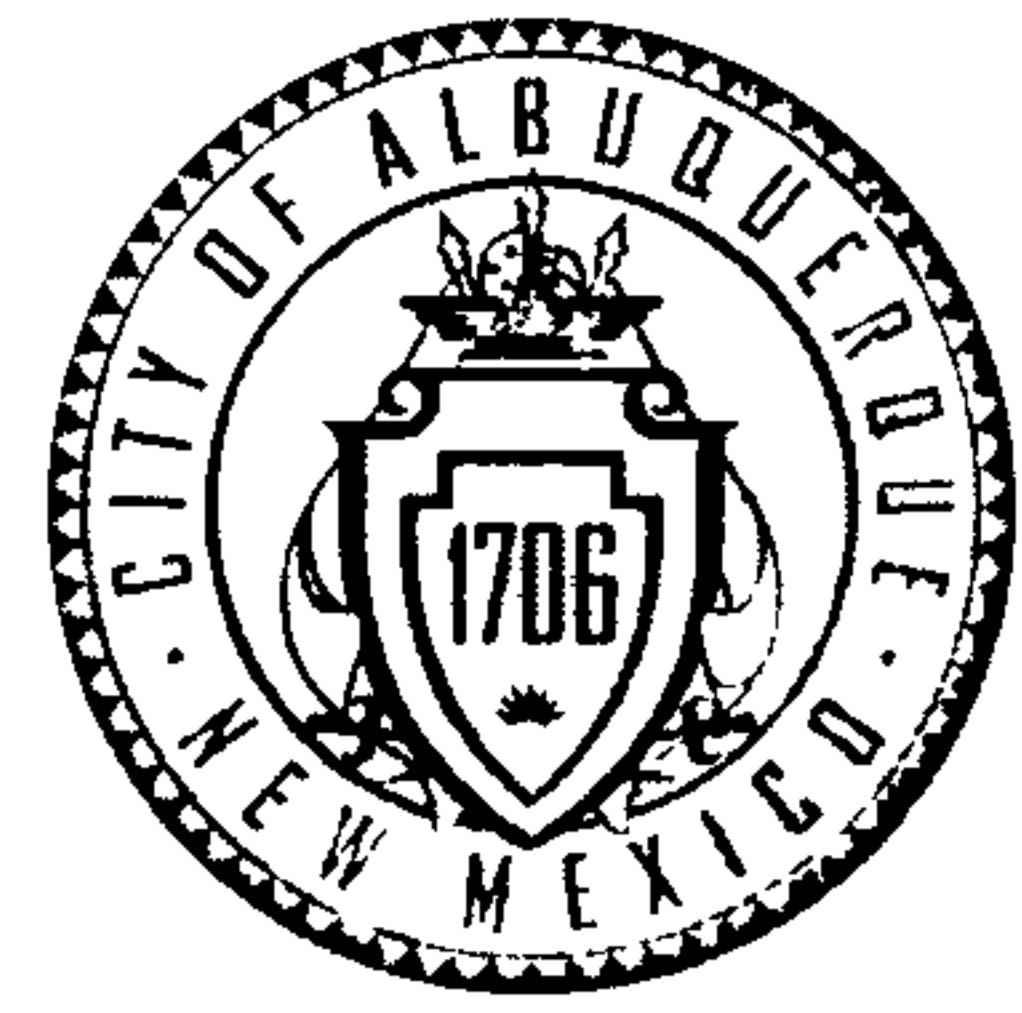
Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Monica Ortiz (505) 924-3981 or me at 924-3991.

Sincerely,

A handwritten signature in black ink, appearing to read 'R Michel', is written over a horizontal line.

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

mao via: email

C: File

PO Box 1293

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New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: CLEAN MACHINE CARWASH Building Permit #: \_\_\_\_\_ City Drainage #: 6180049  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOT 1A, BLOCK 0000, ALTA MONT ADD'D UNIT 4  
City Address: 4200 SAN MATEO BLVD NE  
Engineering Firm: ISAACSON & ARFMAN Contact: FRED  
Address: 128 MOORE ST NE, ALBUQ, NM  
Phone#: 268-8828 Fax#: \_\_\_\_\_ E-mail: FREDA@IAACVIL.COM  
Owner: BOB POWERS Contact: BOB  
Address: 4446 EAST FLOWER STREET, PHOENIX, AZ  
Phone#: 400-2323 Fax#: \_\_\_\_\_ E-mail: BOB@3@COX.NET  
Architect: MARTIN GROMMER Contact: MARTIN  
Address: 331 W. WHEELER PL NE  
Phone#: 265-2507 Fax#: \_\_\_\_\_ E-mail: MGROMMER@CENTURYLINK.NET  
Surveyor: THE SURVEYOR OFFICE, LLC Contact: T.  
Address: 333 LOMAS BLVD NE, ALBUQ, NM  
Phone#: 998-0303 Fax#: \_\_\_\_\_ E-mail: FREDA@TASER.COM  
Contractor: WILGER Contact: JOHN  
Address: 425 EDMON NE  
Phone#: 345-2854 Fax#: \_\_\_\_\_ E-mail: WILGER@WILGER.COM

### TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN 1st SUBMITTAL
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- ☐ ENGINEER'S CERT (TCL)
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- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) REV 24 JUL 16  
REV 19 JUL 16

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

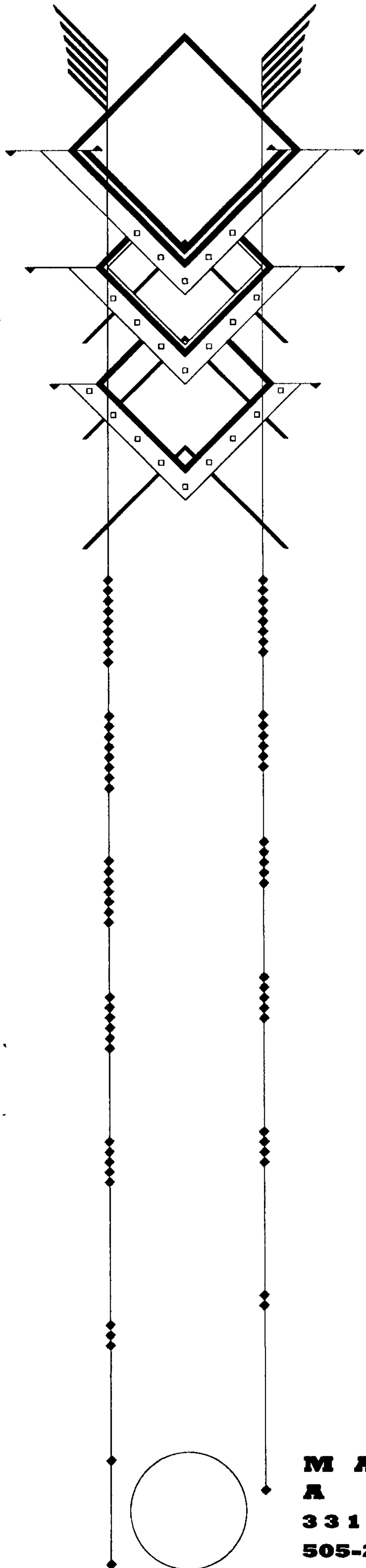
Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 29 APR 16

By: [Signature]

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24 July 2016

Monica Ortiz  
City of Albuquerque Building Dept.  
Traffic Section  
Albuquerque, NM

Re: Traffic Circulation Layout for 4200 San Mateo Blvd  
87110

Monica

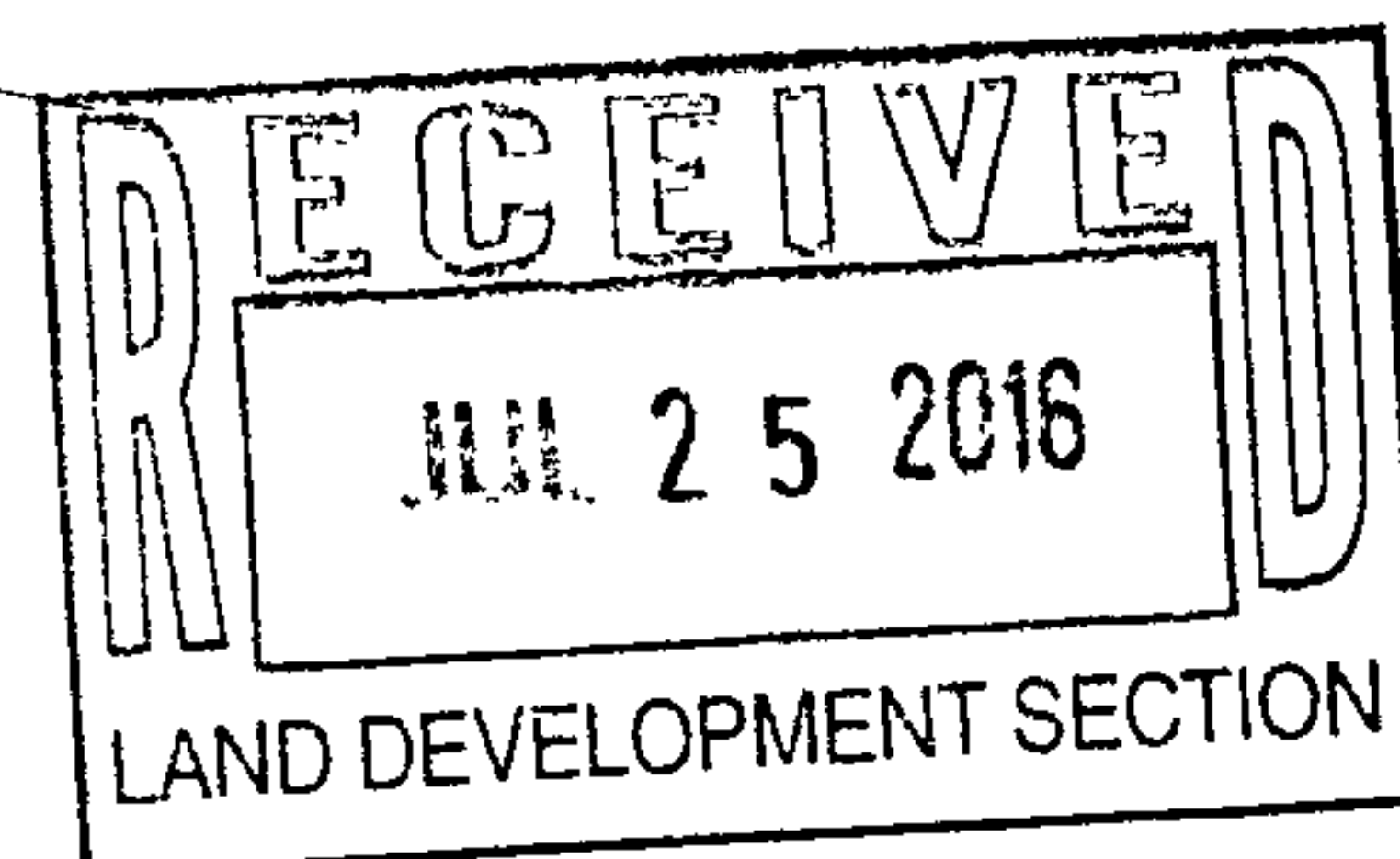
Attached is the revised TCL for the Clean Machine Carwash #4 located at 4200 San Mateo Blvd NE in Albuquerque, NM. We have addressed the comments dated July 20, 2016:

1. See details on Sheets A1.2 & A1.3
2. Arrows shown on Sheet A1.1
3. Curb is shown as 40' on A1.1
4. See dimension on Sheet A1.1
5. Median and ROW shown on A1.1
6. Added MC and bike rack to A1.1
7. Dimension of handicap accessible space on A1.1
8. ADA sign shown on detail 22/A1.3
9. See A1.1 for 6 ft wide ADA access
10. Curb details shown on 1&4/A1.2
11. Do Not Enter signs shown on A1.1 as Detail 24/A1.3
12. City standards called out on A1.1
13. Added note to A1.1

Please let me know if you need any more information.

SINCERELY

Martin FM Grummer



MARTIN FM GRUMMER  
ARCHITECT  
331 WELLESLEY PL NE ALBUQUERQUE, NM 87106  
505-265-2507 mgrummer@centurylink.net