

CITY OF ALBUQUERQUE



May 4, 2016

Martin Grummer
331 Wellesley Pl., NE
Albuquerque, NM

Re: Clean Machine Carwash #4
4200 San Mateo Blvd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp **4-28-16** (G18-D049)

Dear Mr. Grummer,

Based upon the information provided in your submittal received 4-29-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Dimension and detail all existing and proposed drive lanes, drive pad entrances/exits, sidewalks and ADA ramps.
2. Per DPM, the drive through lane width must be 12 ft. wide per vehicle. In review of the submitted drawing, there is only 8 ft. 4 in. provided for each drive isle entering the carwash bay area.
3. Please provide the queuing distance.
4. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of HC signs.
5. Show all drive aisle widths and radii.
6. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 ft. Landscape island radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
7. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from San Mateo Blvd.
8. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
9. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
10. Design delivery vehicle route needs to be shown.
11. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.

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Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



12. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
13. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*).
14. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
15. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
16. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
17. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

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Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

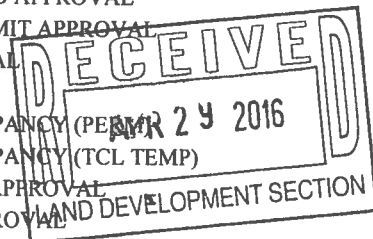
Project Title: CLEAN MACHINE CARWASH 4 Building Permit #: _____ City Drainage #: G18D049
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: LOT 1-A, BLOCK 0000, ALTAMONT ADDN UNIT 4
 City Address: 4200 SAN MATEO BLVD NE
 Engineering Firm: ISAACSON & ARFMAN Contact: FRED
 Address: 128 MONROE ST. NE, ALB, NM
 Phone#: 248-8828 Fax#: _____ E-mail: FREDA@IACIVIL.COM
 Owner: BOB POWERS Contact: _____
 Address: 4446 EAST FLOWER ST, PHOENIX, AZ
 Phone#: 400-2323 Fax#: _____ E-mail: BOBP3@COX.NET
 Architect: MARTIN GRUMMER Contact: MARTIN
 Address: 331 WELLESLEY PL NE, ALB, NM
 Phone#: 245-2507 Fax#: _____ E-mail: MGRUMMER@CENTURYLINK.NET
 Surveyor: ANTHONY HARRIS Contact: _____
 Address: 333 LOMAS BLVD NE, ALB, NM
 Phone#: 998-0303 Fax#: _____ E-mail: _____
 Contractor: J WILGER Contact: JOHN
 Address: 425 EDMOND NE, ALB, NM
 Phone#: 345-2854 Fax#: _____ E-mail: JWILGER@WILGER.COM

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PEERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 29 APR 16

By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

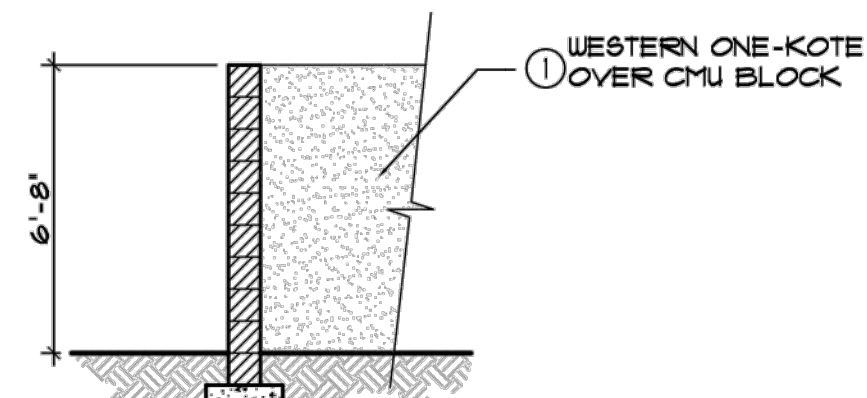
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Engr Stamp 4-28-16

PROJECT NOTES

1. DEVELOPMENT AND USE OF THIS SITE SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
2. ALL NEW OR RELOCATED UTILITIES SHALL BE PLACED UNDERGROUND.
3. ALL AREA LIGHTING ON PROPERTY SHALL BE POSITIONED TO REFLECT LIGHT AWAY FROM ADJACENT PROPERTY. MAX. 1 F.C. AT THE PROPERTY LINE.
4. ALL SIGNS SHALL CONFORM TO THE SIGN ORDINANCE. SIGNAGE IS NOT A PART OF THIS PROJECT. OWNER SHALL SECURE ALL NECESSARY PERMITS PRIOR TO INSTALLATION. ALL SIGNAGE REQUIRES A SEPARATE PERMIT.
5. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY THE PARAPETS. CONTRACTOR TO VERIFY THAT FINAL UNIT HEIGHTS DO NOT PROJECT ABOVE PARAPET HEIGHTS.
6. ALL BUILDING AREAS, INCLUDING CONCEALED SPACES, ARE TO BE SPRINKLERED IN CONFORMANCE TO NFPA #13, 2013 EDITION FIRE SPRINKLER - APPROVALS ARE NOT INCLUDED UNDER THIS PERMIT. THE CONTRACTOR IS TO COORDINATE THE DESIGN, PERMITTING AND INSTALLATION OF THE FIRE SPRINKLER SYSTEM. PLANS MUST BE SUBMITTED TO AND APPROVED BY THE ALBUQUERQUE FIRE DEPARTMENT BEFORE WORK IS STARTED. THE SYSTEM MUST BE INSPECTED AND APPROVED BY THE ALBUQUERQUE FIRE DEPT PRIOR TO A CERTIFICATE OF OCCUPANCY. THE APPROVED SPRINKLER PLANS MUST BE KEPT ON SITE.
7. PAINT ALL TRANSFORMER BOXES, METER PANELS, ELECTRICAL EQUIPMENT, BACKFLOW VALVES, AND OTHER UTILITY EQUIPMENT TO MATCH THE BUILDING COLOR.
8. SEE CIVIL PLANS FOR ALL GRADING AND DRAINAGE WORK. CONTRACTOR TO COORDINATE ALL FINISH ELEVATIONS, DIMENSIONS, PAVING REQUIREMENTS, ETC. CONTRACTOR TO COORDINATE ALL UTILITIES TO SITE, INCLUDING FIRELINE, WATER, SEWER, ELECTRICAL, TELEPHONE, CABLE AND LANDSCAPE SPRINKLERS.
9. SEE MECHANICAL PLANS FOR HVAC EQUIPMENT, INCLUDING LOCATIONS, CURBS, HOOKUP AND MOUNTING REQUIREMENTS.
10. SEE PLUMBING PLANS FOR ALL WASTE AND WATER REQUIREMENTS, INCLUDING ROOF DRAINS AND OTHER EQUIPMENT.
11. SEE ELECTRICAL PLANS FOR SERVICE AND TELEPHONE EQUIPMENT AND UTILITY COMPANY INFORMATION. CONTRACTOR TO COORDINATE ALL CONDUIT RUNS, EQUIPMENT LOCATIONS AND CLEARANCES AND REQUIREMENTS.
12. THE GRADE ON THE OUTSIDE OF EXTERIOR DOORS SHALL NOT BE MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. THE GRADE MAY NOT SLOPE MORE THAN 1/4" PER FOOT.
13. FOR SIDEWALK TEXTURES SEE ENLARGED SITE PLAN ON SHEET A12.
14. OWNERS AND PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING WITHIN THE RIGHTS-OF-WAY IN ACCORDANCE WITH THE APPROVED PLANS.
15. PROVIDE TERMITE TREATMENT AS PER CITY AND STATE STANDARD AND PROVIDE A 5 YEAR WARRANTY.
16. ALL CURBS SHALL BE EXTRUDED 6" CONCRETE CURBS.
17. REFER TO CITY ENGINEER APPROVED PLAN FOR THE SIZE AND LOCATION AND DETAILS OF REFUSE ENCLOSURE.
18. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK FROM 10' FROM THE PROPERTY LINE.
19. NO NOISE, ODOR OR VIBRATION SHALL BE EMITTED SO THAT IT EXCEEDS THE LEVEL OF THE SAME AS EMITTED FROM THE SURROUNDING USES OUTSIDE THE SITE.
20. THE PERIMETER OF THE PARKING AREA IS BORDERED EITHER BY A 6" HIGH CONCRETE CURB OR A 6'-0" HIGH CONCRETE WALL TO PREVENT ANY VEHICLE EXTEND OVER THE PROPERTY LINE.
21. DRIVEWAY ENTRANCES ARE TO BE PERPENDICULAR WITH THE BACK OF CURB TO PROPERTY LINE, THEN MAY TAPE AT A MAXIMUM 3:1 TAPER.
22. THIS PROJECT IS LOCATED IN THE CITY OF ALBUQUERQUE WATER SERVICE AREA AND HAS BEEN DESIGNED AS HAVING AN ASSURED WATER SUPPLY.
23. AFTER FINAL APPROVAL THE PROJECT WILL BE INSPECTED FOR ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY DSD PRIOR TO OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL (602) 262-6981 AND REQUEST A DESIGN REVIEW INSPECTION.
24. FIRE DEPARTMENT ACCESS AND WATER SUPPLY REQUIREMENTS SHALL BE IN PLACE PRIOR TO THE START OF VERTICAL CONSTRUCTION.
25. ALL ON-SITE WATER LINES, INCLUDING THOSE REQUIRED FOR FIRE PROTECTION SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE ALBUQUERQUE PLUMBING CODE.
26. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS, AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS. ALL ON-SITE SANITARY SEWER LINES WITHIN THE SITE SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE ALBUQUERQUE PLUMBING CODE OR THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) AQUIFER PROTECTION PROGRAM (APP) GENERAL PERMIT 401 IN ACCORDANCE WITH ARIZONA ADMINISTRATIVE CODE TITLE 18, CHAPTER 9, SECTION E301 (AAC R18-9-E301) WHICHEVER IS APPLICABLE.
28. BARBED, RAZOR OR CONCERTINA WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
29. THE DISPOSAL OF ALL WASTE MATERIALS SHALL COMPLY WITH TITLE 9, CHAPTER 9, ARTICLES 18 AND 4 OF THE HAZARDOUS WASTE REGULATIONS AS ADOPTED BY THE NEW MEXICO HEALTH DEPARTMENT.
33. THE AVERAGE NOISE LEVEL, MEASURED AT THE PROPERTY LINE SHALL NOT EXCEED 55 DB (1 DN) WHEN MEASURED ON AN 'A' WEIGHTED' SOUND LEVEL METER AND ACCORDING TO THE PROCEDURES OF THE ENVIRONMENTAL PROTECTION AGENCY.
31. EXPLOSIVE OR HAZARDOUS PROCESSES (IF APPLICABLE) CERTIFICATION SHALL BE PROVIDED BY THE ALBUQUERQUE FIRE DEPARTMENT PREVENTION BUREAU THAT ALL MANUFACTURING, STORAGE AND WASTE PROCESSES ON THE SITE SHALL MEET SAFETY AND ENVIRONMENTAL STANDARDS AS ADMINISTERED BY THE BUREAU.
32. ALL ON-SITE WATER LINES, SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE ALBUQUERQUE PLUMBING CODE.

MISCELLANEOUS SITE WALL SCHEDULE

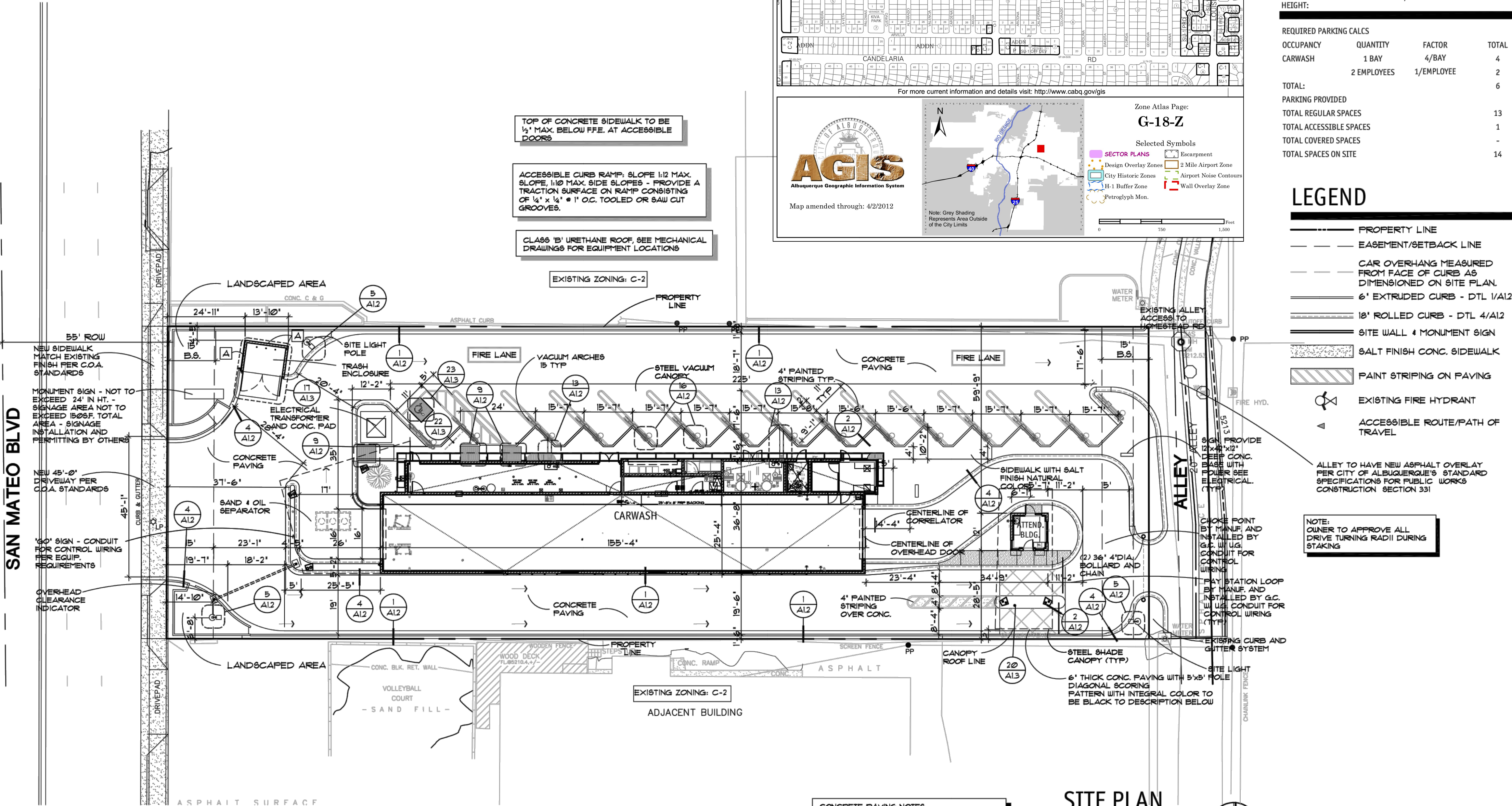


YARD / TRASH ENCLOSURE WALL
WESTERN ONE-KOTE FINISH OVER
8x8x16 CMU

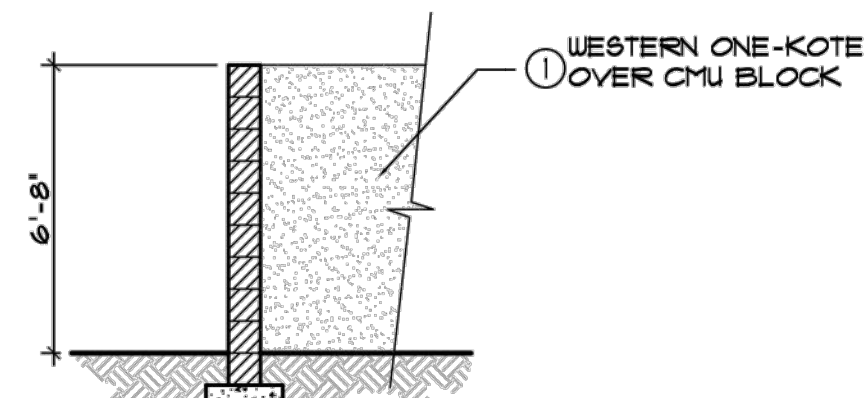
SITE WALL NOTES

1. GROUT SOLID ALL CELLS BELOW GRADE.
2. SEE STRUCTURAL DWGS. FOR ALL FOOTING AND REINFORCING INFORMATION.
3. COORDINATE OPENINGS & WEEPS IN BOTTOM OF WALLS WITH CIVIL DRAWINGS.

ADDRESS	
4200 SAN MATEO BLVD. NE ALBUQUERQUE, NM 87121	
LEGAL DESCRIPTION	
LOT 1A, BLOCK 0000 ALTAMONT ADDN UNIT 4 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO UPC: 101806002241921610	
ZONING	
C-2	
BUILDING AREAS	
NEW BUILDING:	5,654 SF
ATTENDANT BUILDING	144 SF
NEW TOTAL:	5,792 SF
SPACE USE	
AUTO CAR WASH	
PARKING	
6 SPACES REQ., 14 PROVIDED	



MISCELLANEOUS SITE WALL SCHEDULE



YARD / TRASH ENCLOSURE WALL
WESTERN ONE-KOTE FINISH OVER
8x8x16 CMU

SITE WALL NOTES

1. GROUT SOLID ALL CELLS BELOW GRADE.
2. SEE STRUCTURAL DWGS. FOR ALL FOOTING AND REINFORCING INFORMATION.
3. COORDINATE OPENINGS & WEEPS IN BOTTOM OF WALLS WITH CIVIL DRAWINGS.

NOTE:
OWNER TO APPROVE ALL
DRIVE TURNING RADII DURING
STAKING

TOP OF PAVING TO BE 1/2" MAX. BELOW F.F.E.
AT ACCESSIBLE DOORS

TOP OF CONCRETE WALK TO BE LEVEL WITH
F.F.E. AT ACCESSIBLE DOORS

CONCRETE PAVING NOTES:

1. PROVIDE 6'X6'X0.8 INCH WITH CHAIRS (ADOBE) WITH THE DOUGS AND 2 SQ. OVERLAP (TYP) AT ALL PAVING AREAS THROUGHOUT THE SITE.
2. ALL SALED / CONTRACTION JOINTS ARE TO BE INSTALLED PER CIVIL DETAILS ON SHEET PAVING PLAN.
3. ALL EXPANSION JOINTS ARE TO BE INSTALLED PER CIVIL DETAILS ON SHEET PAVING PLAN.
4. SEE CIVIL DRAWINGS FOR TYPICAL CONCRETE JOINT LAYOUT PATTERNS.
5. CONTRACTOR MUST PROVIDE 4' x 4' SAMPLE OF CONCRETE PAVING AT LEAST 14 DAYS PRIOR TO ANY CONCRETE PAVING BEING POURED FOR OWNER APPROVAL.
6. 6" CONCRETE PAVING OVER 6" ABC (TYP) AT ALL DRIVE AREAS ON SITE WITH INTEGRAL COLOR TO BE BLACK COHILL'S COLOR M480 - SEE CIVIL DRAWINGS FOR ADDITIONAL CONCRETE PAVING INFORMATION.

SITE PLAN



GENERAL ZONING NOTES:

1. SIGNAGE IS NOT APPROVED UNDER THIS PERMIT. SIGNAGE REQUIRES A SEPARATE SIGN PERMIT.
2. ALL LANDSCAPING TO BE PERPETUALLY MAINTAINED, INCLUDING LANDSCAPE RIGHT-OF-WAY. IN ADDITION PLANT MATERIALS SHALL BE LIMITED TO SPECIES THAT ARE NOT LISTED AS HIGH WATER USE IN THE CITY OF ALBUQUERQUE PLANT LIST (EXISTING TURF AND OTHER PLANTS INSTALLED PRIOR TO OCTOBER 31, 2011 ARE EXEMPT FROM THIS REGULATION).
3. ALL EXTERIOR LIGHTING TO COMPLY WITH THE NIGHT SKY PROTECTION ACT.

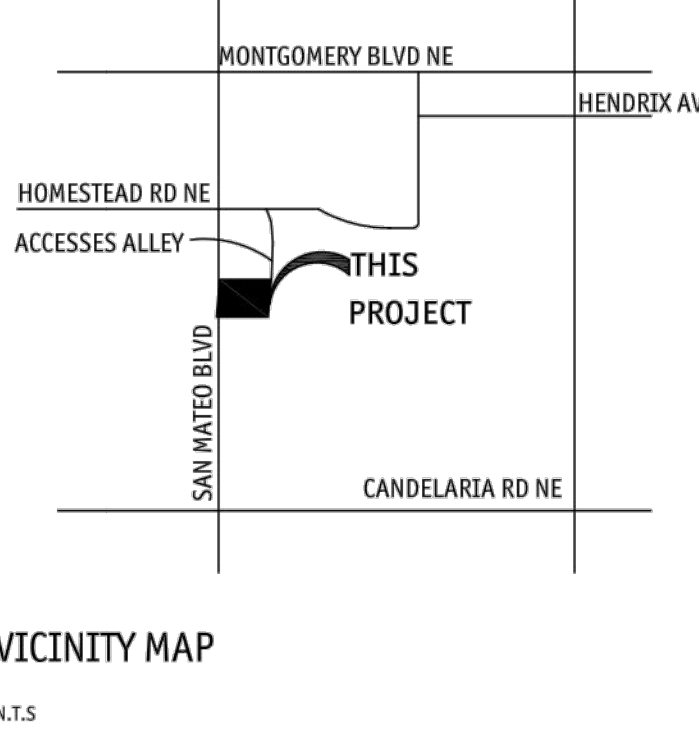
CLEAN MACHINE

PROJECT:	CLEAN MACHINE 4
ADDRESS:	4200 SAN MATEO BLVD NE RD ALBUQUERQUE, NEW MEXICO
DEVELOPER:	
SCOPE:	A NEW COMMERCIAL BUILDING
LEGAL DESCRIPTION:	SEE CIVIL
ASSESSOR PARCEL #:	-
ZONING:	
SITE AREA:	+/- 31,355.37 S.F. (+/- .75 ACRES)
BUILDING AREA:	6,487 S.F. GROSS
CARWASH BUILDING:	5,610 S.F. GROSS
ATTENDANT BLDG:	144 S.F. GROSS
ATTENDANT BLDG CANOPY ROOF:	733 S.F. GROSS
STORIES:	SINGLE STORY
LOT COVERAGE:	20.6 %
OCCUPANCY:	8 / F1
CONSTRUCTION TYPE:	II-B
ALLOWABLE AREA:	12,500 S.F. (SINGLE STORY)
CLEAR HEIGHT:	12'-0" AT EQUIPMENT - 16'-0" AT TUNNEL
SCREENING HEIGHT:	30" MAX.
BUILDING HEIGHT:	26'-0" AT EXIT / 22'-0" AT MAIN BUILDING

REQUIRED PARKING CALCS			
OCCUPANCY	QUANTITY	FACTOR	TOTAL
CARWASH	1 BAY	4/BAY	4
	2 EMPLOYEES	1/EMPLOYEE	2
TOTAL:			6
PARKING PROVIDED			
TOTAL REGULAR SPACES			13
TOTAL ACCESSIBLE SPACES			1
TOTAL COVERED SPACES			-
TOTAL SPACES ON SITE			14

LEGEND

- PROPERTY LINE
- EASEMENT/SETBACK LINE
- CAR OVERHANG MEASURED FROM FACE OF CURB AS DIMENSIONED ON SITE PLAN.
- 6' EXTRUDED CURB - DTL 1/4"12
- 18' ROLLED CURB - DTL 4/4"12
- SITE WALL & MONUMENT SIGN
- SALT FINISH CONC. SIDEWALK
- PAINT STRIPING ON PAVING
- EXISTING FIRE HYDRANT
- ACCESSIBLE ROUTE/PATH OF TRAVEL
- ALLEY TO HAVE NEW ASPHALT OVERLAY PER CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION SECTION 331
- NOTE: OWNER TO APPROVE ALL DRIVE TURNING RADII DURING STAKING



2111 E. Fraktur Rd
Phoenix, AZ 85040
602.703.7913



CLEAN MACHINE
CAR WASH 4

4200 SAN MATEO
BLVD SOUTHEAST
Albuquerque, NM

DATE

03.05.2016

NOTICE OF ALTERNATE BILLING CYCLE:
This contract allows the owner to require submission of billings or estimates in billing cycles other than thirty days. A written description of such other billing cycle applicable to this project is available from the owner or the owner's designated agent (see owner's telephone number and address on cover sheet) and the owner or its designated agent shall provide this written description upon request.

The architectural design and data presented in these documents is an instrument of service provided by MDJ Studios
All discrepancies found in these documents, or conflicts between these documents and actual field conditions shall be reported to MDJ Studios for resolution prior to commencement of the work.
Discrepancies between bid amounts and these documents shall be reported to the General Contractor prior to commencement of work.

Project: CLM4

A1.1