



Stormwater Quality Plan Information Sheet and Inspection Fee Schedule

Project Name: The Wymont

Project Location: (address or major cross streets/arroyo)
4315 Wyoming Blvd, (Southwest corner of Wyoming Blvd and Montgomery Blvd)

Plan Preparer Information:

Company: Tierra West LLC

Contact: Jon Niski

Address: 5571 Midway Park Place NE, Albuquerque, NM 87109

Phone Number: (O) 505-858-3100 (Cell (optional)) _____

e-Mail: jniski@tierrawestllc.com

Owner Information:

Company: Wymont, LLC

Contact: Jarrold Likar

Address: 409 NM Hwy 528 NE, Rio Rancho NM 87124

Phone: 505-896-9037

e-Mail: jarroldl@aswinc.com

I am submitting the ESC plan to obtain approval for:

X Grading X Building Permit X Work Order Construction Plans

Note: More than one item can be checked for a submittal

Stormwater Quality Inspection fee: (based on development type and disturbed area) **15.1868 acres**

Commercial	< 2 acres \$300 <input type="checkbox"/>	2 to 5 acres \$500 <input type="checkbox"/>	>5 acres \$800 <input checked="" type="checkbox"/>
Land/Infrastructure	< 5 acres \$300 <input type="checkbox"/>	5 to 40 acres \$500 <input type="checkbox"/>	>40 acres \$800 <input type="checkbox"/>
Multi - family	< 5 acres \$500 <input type="checkbox"/>	≥5 acres \$800 <input type="checkbox"/>	
Single Family Residential	<5 acres \$500 <input type="checkbox"/>	5 to 40 acres \$1000 <input type="checkbox"/>	> 40 acres \$1500 <input type="checkbox"/>

Plan Review fee is \$105 for the first submittal ☒ and \$75.00 for a resubmittal ☐

Total due equals the plan review fee plus the Stormwater Quality Inspection fee.

Total Due \$ 905.00

If you have questions, please contact Curtis Cherne, Stormwater Quality 924-3420, ccherne@cabq.gov

Rev May 2019

ORT 2011162 KSW

WARRANTY DEED

M - M CO., a New Mexico general partnership ("**Grantor**"), for and in consideration of good and valuable consideration to it paid by WYMONT LLC, a New Mexico limited liability company ("**Grantee**"), whose mailing address is 333 Rio Rancho Boulevard, Suite 202, Rio Rancho, New Mexico 87124, the receipt and sufficiency of which are hereby acknowledged and confessed, has GRANTED, BARGAINED, SOLD, and CONVEYED, and by these presents does GRANT, BARGAIN, SELL, and CONVEY unto the Grantee that certain tract of land ("**Land**") described on **Exhibit A** attached hereto and incorporated herein by reference, together with all improvements thereon and all rights and appurtenances appertaining thereto (herein collectively called the "**Property**"), with warranty covenants.

This conveyance is given and accepted subject (i) to the exceptions set forth on **Exhibit B** attached hereto and incorporated herein by reference, and (ii) the rights of tenants as tenants only (herein called the "**Permitted Encumbrances**").

WITNESS THE EXECUTION HEREOF as of the 24 day of June, 2021.

GRANTOR:

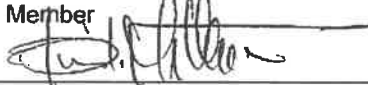
M-M CO.,
a New Mexico general partnership

By: Mauney Investments LLC,
a New Mexico limited liability company, Partner

By: 
Name: Marc Mauney
Title: Manager

By: Tower 22 LLC,
a New Mexico limited liability company, Partner

By: 
Name: David J. Matteucci
Title: Member

By: 
Name: Brian J. Matteucci
Title: Member

By: 
Name: Paula L. Matteucci
Title: Member

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on June 24, 2021, by Marc Mauney, Manager of Mauney Investments LLC, a New Mexico limited liability company and Partner of M-M Co., a New Mexico general partnership, on behalf of said company and partnership.

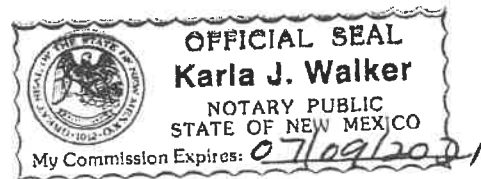


Notary Public

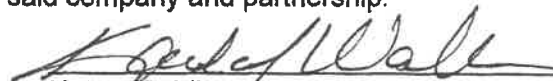
My commission expires:

07/09/2021

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)



This instrument was acknowledged before me on June 24, 2021, by David J. Matteucci, Member of Tower 22 LLC, a New Mexico limited liability company and Partner of M-M Co., a New Mexico general partnership, on behalf of said company and partnership.

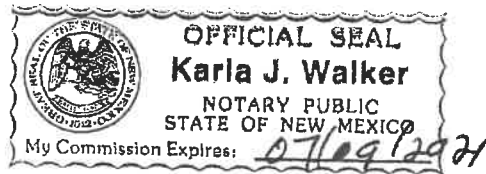


Notary Public


My commission expires:

07/09/2021

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)



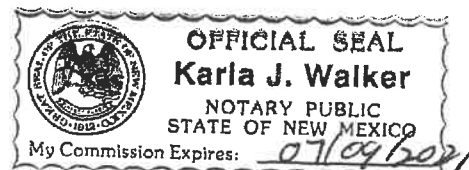
This instrument was acknowledged before me on June 24, 2021, by Brian J. Matteucci, Member of Tower 22 LLC, a New Mexico limited liability company and Partner of M-M Co., a New Mexico general partnership, on behalf of said company and partnership.



Notary Public


My commission expires:

07/09/2021



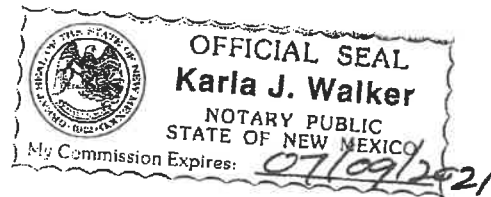
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on June 24, 2021, by Paula L. Matteucci, Member of Tower 22 LLC, a New Mexico limited liability company and Partner of M-M Co., a New Mexico general partnership, on behalf of said company and partnership.



Notary Public

My commission expires:
07/09/2021



**EXHIBIT A
to Warranty Deed**

LAND DESCRIPTION

Lot numbered One-A-One (1-A-1) of LA MIRADA SUBDIVISION, as the same is shown and designated on the Plat entitled, "Plat for Lots 1-A-1 and 5-A-1, LA MIRADA SUBDIVISION, Being comprised of Lots 1-A and 5-A, La Mirada, Subdivision, City of Albuquerque, Bernalillo County, New Mexico", filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 23, 2019, in Plat Book 2019C, Page 137.

**EXHIBIT B
to Warranty Deed**

PERMITTED ENCUMBRANCES

1. Reservations contained in the Patent from the United States of America, recorded May 1, 1933 in Book 77, Page 175, records of Bernalillo County, New Mexico.
2. Easement, and rights incident thereto, in favor of Public Service Company of New Mexico, recorded September 24, 1968 in Book Misc. 116, Page 158 as Document No. 8889, records of Bernalillo County, New Mexico.
3. Easement, and rights incident thereto, in favor of Public Service Company of New Mexico, recorded June 21, 1977 in Book Misc. 542, Page 844 as Document No. 77-36542, records of Bernalillo County, New Mexico.
4. Easement, and rights incident thereto, in favor of Public Service Company of New Mexico, recorded April 24, 1973 in Book Misc. 309, Page 334 as Document No. 47734, records of Bernalillo County, New Mexico.
5. Easements and notes as shown, noted and provided for on the Amended Summary Plat recorded March 20, 1981 in Volume C18, folio 32, records of Bernalillo County, New Mexico.
6. Underground Easement, and rights incident thereto, in favor of Public Service Company of New Mexico and The Mountain States Telephone and Telegraph Company recorded October 28, 1986 in Book Misc. 412-A, Page 15 as Document No. 86105049, records of Bernalillo County, New Mexico.
7. Easements and notes as shown, noted and provided for on the Plat recorded December 23, 2019 in Plat Book 2019C, Page 137, records of Bernalillo County, New Mexico.
8. Private Easement Agreement by and between Bank of America, National Association, and M-M Co., a New Mexico general partnership, recorded December 23, 2019 as Document No. 2019109248, records of Bernalillo County, New Mexico.
9. Terms, conditions and provisions of the Encroachment Agreement between M-M Co., a New Mexico general partnership, and G & L Investment Co., Inc., a New Mexico corporation, joined by Taco Cabana of New Mexico, Inc., a New Mexico corporation, recorded December 27, 2019 as Document No. 2019110679, records of Bernalillo County, New Mexico.
10. Easements affecting the insured premises, as set forth in the Third Amendment to Taco Cabana Lease Agreement recorded December 27, 2019 as Document No. 2019110680, re-recorded January 2, 2020 as Document No. 2020000377, records of Bernalillo County, New Mexico.

11. Encroachment of restaurant sign into the public utility easements along the easterly boundary of the Property, as shown and delineated on the Boundary Survey and ALTA/NSPS Land Title Survey prepared by Will W. Plotner, Jr., N.M.R.P.S. No. 14271 dated March 9, 2020.

Submission of this Notice of Intent (NOI) constitutes notice that the operator identified in Section III of this form requests authorization to discharge pursuant to the NPDES Construction General Permit (CGP) permit number identified in Section II of this form. Submission of this NOI also constitutes notice that the operator identified in Section III of this form meets the eligibility requirements of Part 1.1 CGP for the project identified in Section IV of this form. Permit coverage is required prior to commencement of construction activity until you are eligible to terminate coverage as detailed in Part 8 of the CGP. To obtain authorization, you must submit a complete and accurate NOI form. Discharges are not authorized if your NOI is incomplete or inaccurate or if you were never eligible for permit coverage. Refer to the instructions at the end of this form.

Permit Information

NPDES ID: NMR10040Z

State/Territory to which your project/site is discharging: NM

Is your project/site located on federally recognized Indian Country lands? No

Are you requesting coverage under this NOI as a "Federal Operator" as defined in Appendix A (https://www.epa.gov/sites/production/files/2019-05/documents/final_2017_cgp_appendix_a_-_definitions.pdf)? No

Have stormwater discharges from your current construction site been covered previously under an NPDES permit? No

Will you use polymers, flocculants, or other treatment chemicals at your construction site? No

Has a Stormwater Pollution Prevention Plan (SWPPP) been prepared in advance of filling this NOI, as required? Yes

Are you able to demonstrate that you meet one of the criteria listed in Appendix D (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_d_-_endangered_species_reqs_508.pdf) with respect to protection of threatened or endangered species listed under the Endangered Species Act (ESA) and federally designated critical habitat?
Yes

Have you completed the screening process in Appendix E (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_e_-_historic_properties_reqs_508.pdf) relating to the protection of historic properties?
Yes

Indicating "Yes" below, I confirm that I understand that CGP only authorized the allowable stormwater discharges in Part 1.2.1 and the allowable non-stormwater discharges listed in Part 1.2.2. Any discharges not expressly authorized in this permit cannot become authorized or shielded from liability under CWA section 402(k) by disclosure to EPA, state or local authorities after issuance of this permit via any means, including the Notice of Intent (NOI) to be covered by the permit, the Stormwater Pollution Prevention Plan (SWPPP), during an inspection, etc. If any discharges requiring NPDES permit coverage other than the allowable stormwater and non-stormwater discharges listed in Parts 1.2.1 and 1.2.2 will be discharged, they must be covered under another NPDES permit.
Yes

Operator Information

Operator Information

Operator Name: AMREP Southwest, Inc.

Operator Mailing Address:
Address Line 1: 333 Rio Rancho Drive NE
Address Line 2:
ZIP/Postal Code: 87124
County or Similar Division: Sandoval

City: Rio Rancho
State: NM

Operator Point of Contact Information

First Name Middle Initial Last Name: Jarrod . Likar

Title: Vice President

Phone: 505-896-9037 Ext.:

Email: jarrodl@aswinc.com

NOI Preparer Information

☒ This NOI is being prepared by someone other than the certifier.

First Name Middle Initial Last Name: Gaylen . Barnett

Organization: 814 Solutions

Phone: 505-872-0846 Ext.:

Email: gaylen@814solutions.com

Project/Site Information

Project/Site Name: La Mirada

Project/Site Address
Address Line 1: La Mirada Shopping Center
Address Line 2:
ZIP/Postal Code: 87111
County or Similar Division: Bernalillo

City: Albuquerque
State: NM

Latitude/Longitude: 35.128968°N, 106.553637°W
Latitude/Longitude Data Source: Map
Horizontal Reference Datum: NAD 83

Project Start Date: 07/06/2021
Project End Date: 07/06/2023
Estimated Area to be Disturbed: 15.25

Types of Construction Sites:

- Commercial

Will there be demolition of any structure built or renovated before January 1, 1980? Yes

Do any of the structures being demolished have at least 10,000 square feet of floor space? Yes

Was the pre-development land use used for agriculture? No

Have earth-disturbing activities commenced on your project/site? No

Is your project/site located on federally recognized Indian Country lands? No

Is your project/site located on a property of religious or cultural significance to an Indian tribe? No

Discharge Information

Does your project/site discharge stormwater into a Municipal Separate Storm Sewer System (MS4)? Yes

Are there any waters of the U.S. within 50 feet of your project's earth disturbances? No

Are any of the waters of the U.S. to which you discharge designated by the state or tribal authority under its antidegradation policy as a Tier 2 (or Tier 2.5) water (water quality exceeds levels necessary to support propagation of fish, shellfish, and wildlife and recreation in and on the water) or as a Tier 3 water (Outstanding National Resource Water)? See Appendix F (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_f_-_tier_3_tier_2_and_tier_2.5_waters_508.pdf)

Yes

001: Rio Grande River via MS4 system Rio Grande River

Latitude/Longitude: 35.117675°N, 106.690675°W

Tier Designation: N/A

Is this receiving water impaired (on the CWA 303(d) list)? Yes

Impaired Pollutants:

- Mercury in fish tissue
- PCB in fish tissue
- Dissolved oxygen
- Temperature
- E. coli

Has a TMDL been completed for this receiving waterbody? Yes

TMDL ID: 210551 Name: NM-2105_51

TMDL Pollutants:

- Mercury in fish tissue
- PCB in fish tissue
- Dissolved oxygen
- Temperature
- E. coli

Stormwater Pollution Prevention Plan (SWPPP)

First Name Middle Initial Last Name: Gaylen Barnett

Organization:

Title: Environmental Compliance Manager

Phone: 505-872-0846 Ext.:

Email: gaylen@814solutions.com

Endangered Species Protection

Using the Instructions in Appendix D of the CGP, under which criterion listed in Appendix D are you eligible for coverage under this permit? Criterion C

Provide a brief summary of the basis for criterion selection listed above (the necessary content for a supportive basis statement is provided under the criterion you selected.):

No critical habitats exist within the project boundary. Work performed is not likely to affect any species listed in the iPac survey.

What federally-listed species or federally-designated critical habitat are located in your "action area"?

New Mexico Meadow Jumping Mouse, Mexican Spotted Owl, Southwestern Willow Flycatcher, Yellow-billed Cuckoo, Rio Grande Silvery Minnow

What is the distance between your site and the listed species or critical habitat (miles)?

NA

Copy of your Site Map:

Name	Uploaded Date	Size
 ConceptualGrading-EPC.pdf (attachment/1377606)	06/23/2021	2.48 MB

Historic Preservation

Are you installing any stormwater controls as described in Appendix E (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_e_-_historic_properties_reqs_508.pdf) that require subsurface earth disturbances? (Appendix E (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_e_-_historic_properties_reqs_508.pdf), Step 1)

Yes

Have prior surveys or evaluations conducted on the site already determined historic properties do not exist, or that prior disturbances have precluded the existence of historic properties? (Appendix E (https://www.epa.gov/sites/production/files/2017-02/documents/2017_cgp_final_appendix_e_-_historic_properties_reqs_508.pdf), Step 2):

Yes

Certification Information

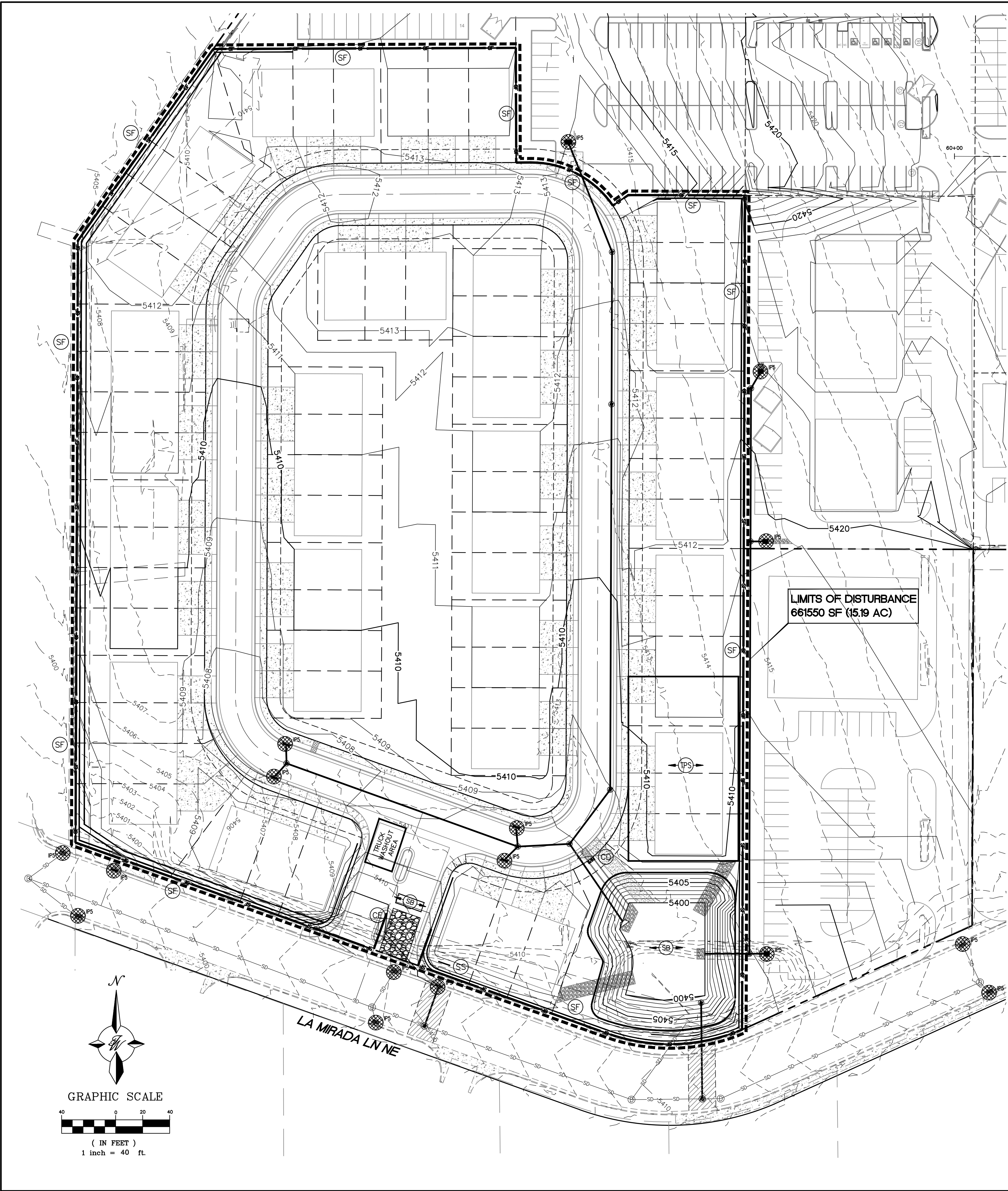
I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I have no personal knowledge that the information submitted is other than true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations. Signing an electronic document on behalf of another person is subject to criminal, civil, administrative, or other lawful action.

Certified By: Bryan Aragon

Certifier Title: Land Development Coordinator

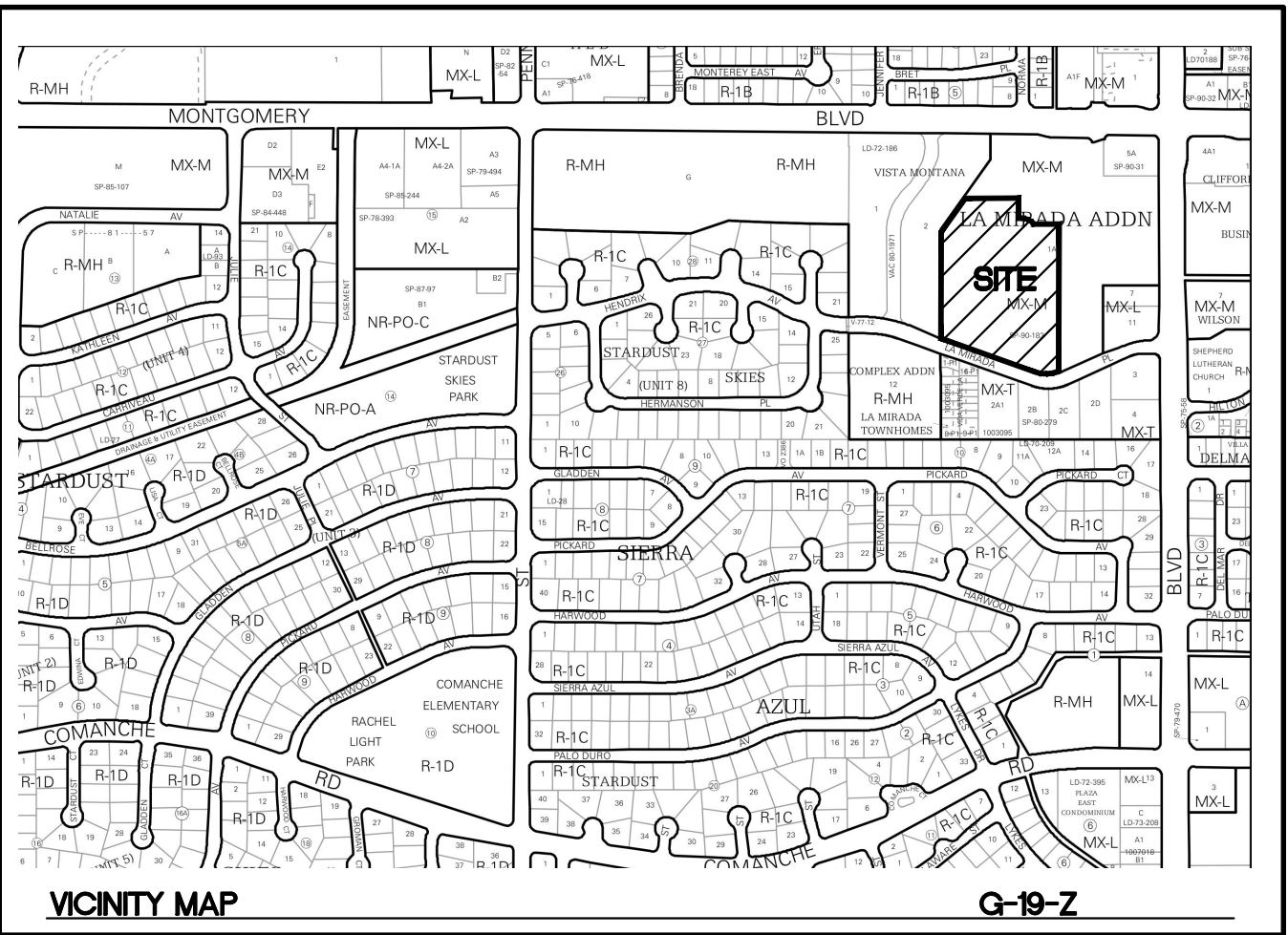
Certifier Email: bryana@aswinc.com

Certified On: 06/23/2021 5:54 PM ET



- EROSION NOTES**
- TPS TEMPORARY PARKING AND STORAGE
 - LIMITS OF DISTURBANCE
 - SB TEMPORARY SEDIMENT BASIN
- EROSION DETAILS**
- CE TEMPORARY STONE CONSTRUCTION EXIT
 - SF TEMPORARY SILT FENCE
 - SS SWPPP SIGN
 - SP SILT FENCE
 - CE CONSTRUCTION EXIT
 - IP INLET PROTECTION
 - CD ROCK CHECK DAM

- SEQUENCE OF CONSTRUCTION:**
1. Install Stabilized Construction Entrances
 2. Post Public Notice per Details
 3. Install Down Gradient Perimeter Controls
 4. Install sediments Controls at inlets and Drainage Structures
 5. Existing Pond acts as sediment trap for entire property
 6. Notify SWPPP Compliance Inspector of Completion of above.
 7. Begin pavement demolition and soil disturbing activities
 8. Provide temporary stabilization of disturbed areas or stockpiles
 9. Install retaining walls on west and south sides of project and bring to grade
 10. Install underground utilities
 11. Start construction of residential building pads
 12. Start construction of commercial pads on Tract 1 and 3.
 13. Complete off-site entrance work and roadway improvements
 14. Finish grading the site
 15. Pave common access drive aisles and sidewalks
 16. Install landscaping in common areas
 17. Provide temporary stabilization on remaining site for future construction
 18. Contact SWPPP Compliance Inspector for Approval to File Notice of Termination (NOT).



GROUND COVER (PRE-CONSTRUCTION):

THE UNDISTURBED AND PRE-CONSTRUCTION GROUND COVER CONSISTS OF UNCOMPACTED SOIL WITH NATIVE GRASSES, WEEDS, AND SHRUBS WITH MINIMAL TO NO DISTURBANCES TO GRADING.

STORMWATER TEAM MEMBERS:

BMP INSTALLATION, MAINTENANCE AND CORRECTIVE ACTIONS

PHONE: _____
EMAIL: _____

INSPECTIONS NAME: _____
PHONE: _____
EMAIL: _____

LIST OF OPERATORS:

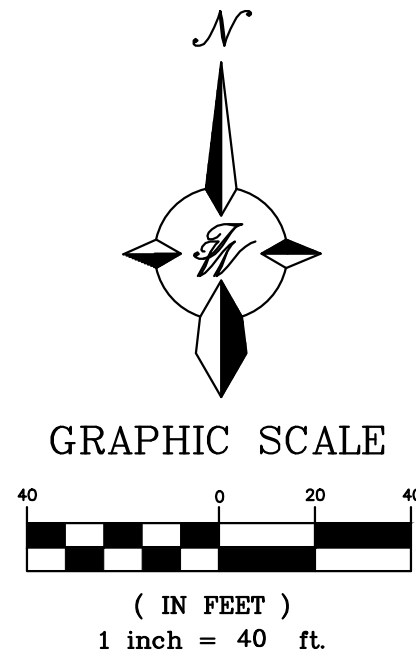
OPERATOR 1 NAME: _____
PHONE: _____
EMAIL: _____

OPERATOR 2 NAME: _____
PHONE: _____
EMAIL: _____

OPERATOR 3 NAME: _____
PHONE: _____
EMAIL: _____

SWPPP PURPOSE:

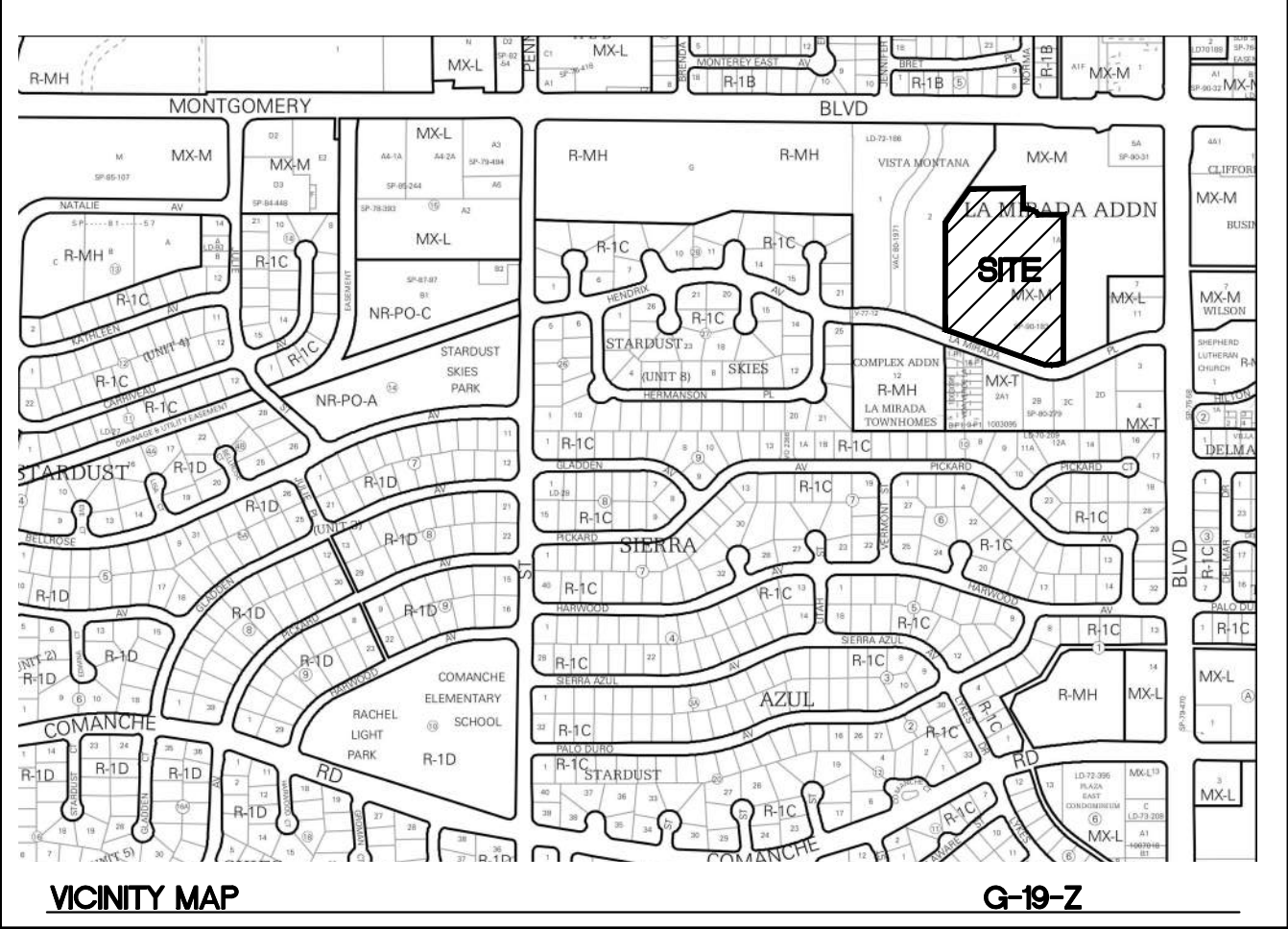
THE PURPOSE OF THIS SWPPP IS TO APPLY SWPPP CONTROLS THAT ARE REQUIRED DURING DEVELOPMENT OF SITE.



 RONALD R. BOHANNAN P.E. #7868	THE WYMONT ALBUQUERQUE, NM EROSION CONTROL PLAN	DRAWN BY pm
		DATE 11-23-21
 11-23-21 RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
		SHEET # SW-1
		JOB # 2021008



- EROSION NOTES
- TPS TEMPORARY PARKING AND STORAGE
 - LIMITS OF DISTURBANCE
 - SB TEMPORARY SEDIMENT BASIN
- EROSION DETAILS
- CE TEMPORARY STONE CONSTRUCTION EXIT
 - SF TEMPORARY SILT FENCE
 - SS SWPPP SIGN
 - SP SILT FENCE
 - CE CONSTRUCTION EXIT
 - IP INLET PROTECTION
 - CD ROCK CHECK DAM
 - SDP SILT DIKE ON PAVEMENT



GROUND COVER (PRE-CONSTRUCTION):

THE UNDISTURBED AND PRE-CONSTRUCTION GROUND COVER CONSISTS OF UNCOMPACTED SOIL WITH NATIVE GRASSES, WEEDS, AND SHRUBS WITH MINIMAL TO NO DISTURBANCES TO GRADING.

STORMWATER TEAM MEMBERS:

BMP INSTALLATION, MAINTENANCE AND CORRECTIVE ACTIONS

PHONE: _____
EMAIL: _____

INSPECTIONS NAME: _____
PHONE: _____
EMAIL: _____

LIST OF OPERATORS:

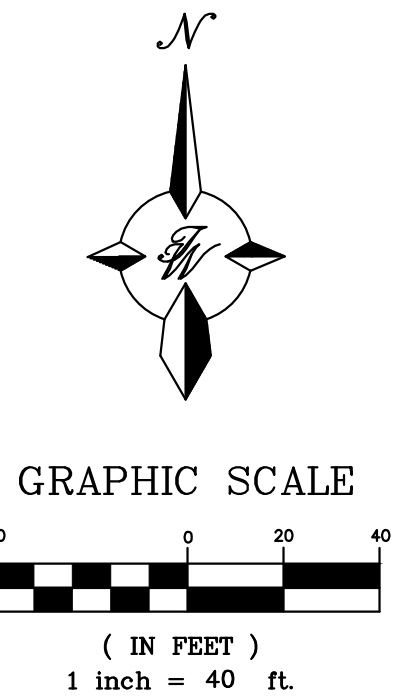
OPERATOR 1 NAME: _____
PHONE: _____
EMAIL: _____




OPERATOR 2 NAME: _____
PHONE: _____
EMAIL: _____

OPERATOR 3 NAME: _____
PHONE: _____
EMAIL: _____

SWPPP PURPOSE:

THE PURPOSE OF THIS SWPPP IS TO APPLY SWPPP CONTROLS THAT ARE REQUIRED DURING DEVELOPMENT OF SITE.



<div>ENGINEER'S SEAL</div> <div></div> <div></div> <div>11-23-21</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	<div>THE WYMONT ALBUQUERQUE, NM</div> <div>COMMERCIAL EROSION CONTROL PLAN</div> <div><div><div>TIERRA WEST, LLC</div></div><div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div></div>		DRAWN BY pm
			DATE 11-23-21
			DRAWING
			SHEET # SW-2
		JOB # 2021008	

NATURE AND EXTENT OF CONSTRUCTION ACTIVITIES:

NATURE OF CONSTRUCTION ACTIVITIES: MASS ROUGH GRADING OF THE SITE, INSTALLATION OF UTILITIES (WATER AND SANITARY SEWER) AND PAVING OF INTERNAL DRIVE AISLES, PARKING AND SIDEWALKS, BUILDING CONSTRUCTION AND LANDSCAPING. THEN OFFSITE IMPROVEMENTS.

PROPERTY SIZE: 15.19 ACRES

DISTURBED AREA SIZE: 15.19 ACRES

MAXIMUM DISTURBED AREA SIZE: 15.19 ACRES

PROJECT SCHEDULE: SCHEDULE LENGTHS ARE TBD, SEE SEQUENCE OF CONSTRUCTION THIS SHEET FOR SCHEDULE TASKS DESCRIPTION.

DEMOLITION PHASE: THE FIRST PHASE OF CONSTRUCTION. THIS CONSISTS OF DEMOLITION OF EXISTING BUILDINGS.

CONSTRUCTION PHASE: THE SECOND PHASE OF CONSTRUCTION, CONSISTS OF BUILDING CONSTRUCTION, TRENCHING AND INSTALLING UTILITIES FOR SERVICE AND PAVING OF PARKING AND DRIVEWAYS TO THE PROPERTY.

N.O.T. TERMINATION: PARCELS ARE EXPECTED TO BE PERMANENTLY STABILIZED PRIOR TO ANY SALES. IF A SALE IS TO OCCUR PRIOR TO FINAL STABILIZATION AND PRIOR TO A SITE-WIDE N.O.T. BEING FILED, THE NEW OWNERS WILL BE REQUIRED TO FILE A NEW N.O.I. AND BECOME THE OPERATOR RESPONSIBLE TO MAINTAIN THE BMP'S AND BECOME RESPONSIBLE FOR THOSE PROPERTIES.

STABILIZATION MEASURES: LOCALLY, NON-VEGETATIVE CONTROLS MAY CONSIST OF 2" OR 2' GRAVEL MULCH MIXED WITH COA WESTSIDE SEED MIX PLACED TO COVER THE PARCEL OR VEGETATIVE CONTROLS MAY BE CRIMP STRAW OR HYDRO-SEED APPLIED WITH THE INTENT OF PROVIDING 70% OR MORE COVERAGE THAT IS PROVIDED BY VEGETATION NATIVE TO LOCAL UNDISTURBED AREAS WITHIN (3) THREE YEARS, TO THE EXTENT NECESSARY TO PREVENT EROSION ON THE SEEDED AREA, NON-VEGETATIVE EROSION CONTROLS HAVE BEEN APPLIED THAT PROVIDE COVER AT LEAST FOR THREE YEARS WITHOUT ACTIVE MAINTENANCE. VEGETATIVE CONTROLS SHOULD BE APPLIED FROM JUNE TO AUGUST TO TAKE ADVANTAGE OF THE AREA'S RAIN SEASON.

CITY WEED REMOVAL ORDINANCE: ALL PROPERTY OWNERS ARE TO COMPLY WITH THE CITY WEED REMOVAL ORDINANCE.

INSPECTIONS: SEE ESC PLAN STANDARD NOTE #3, THIS SHEET

BMP MAINTENANCE:

ALL MEASURES STATED IN THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR UNTIL FINAL STABILIZATION OF THE SITE IS ACHIEVED. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT THE END OF THE WORKDAY BY A QUALIFIED MEMBER OF THE SWPPP COMPLIANCE TEAM.

THE OPERATOR WITH CONTROL OF THE SITES DAILY ACTIVITIES IS RESPONSIBLE TO MAINTAIN, CLEAN AND REPAIR EROSION CONTROLS IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED, IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION. SEDIMENT SHALL BE REMOVED TO INSURE PROPER FLOWS. INLET PROTECTION TYPES MAY NEED TO BE MODIFIED DURING THE CONSTRUCTION PROCESS.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND OF VEGETATION IS MAINTAINED, AREAS SHOULD BE FERTILIZED, WATERED, AND RE-SEEDED AS NEEDED.
3. SILT FENCES, WADDLES OR OTHER CONTROLS SHALL BE REPLACED OR REPAIRED TO PROPER FUNCTIONING CONDITION, IF DAMAGED. SEDIMENT AND SOIL SHALL BE REMOVED WHEN REACHES ONE-HALF THE HEIGHT OF THE CONTROL.
4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING, EXTENDING OR OTHER MODIFICATIONS TO THE CONSTRUCTION EXITS AS CONDITIONS DEMAND. SITE TRAFFIC SHOULD BE LIMITED TO THE CONTROLLED EXITS ONLY.
5. SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6. REFERENCE THE SWPPP BOOK FOR ALL EROSION CONTROL MAINTENANCE PROCEDURES AND FREQUENCIES. CONSULT THE SWPPP PREPARER WITH ANY QUESTIONS REGARDING THIS SWPPP AND ITS REQUIREMENTS.



EROSION CONTROL NOTES:

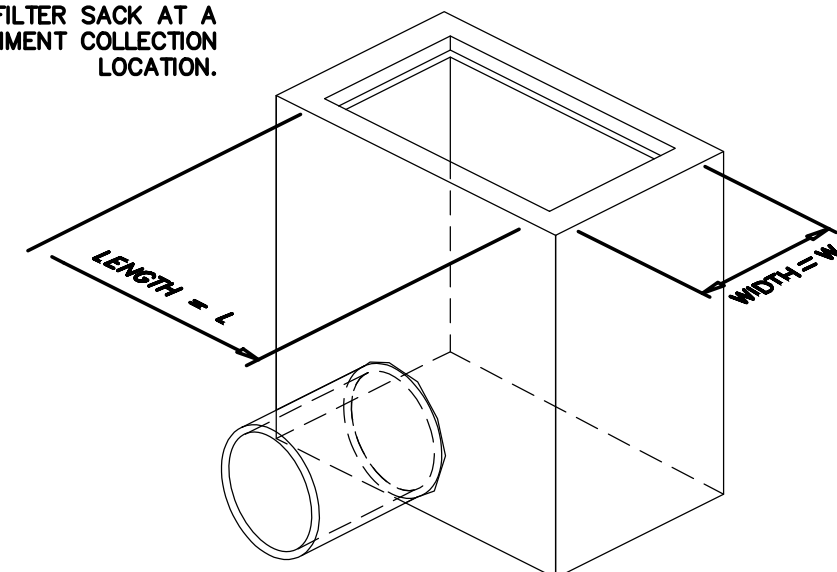
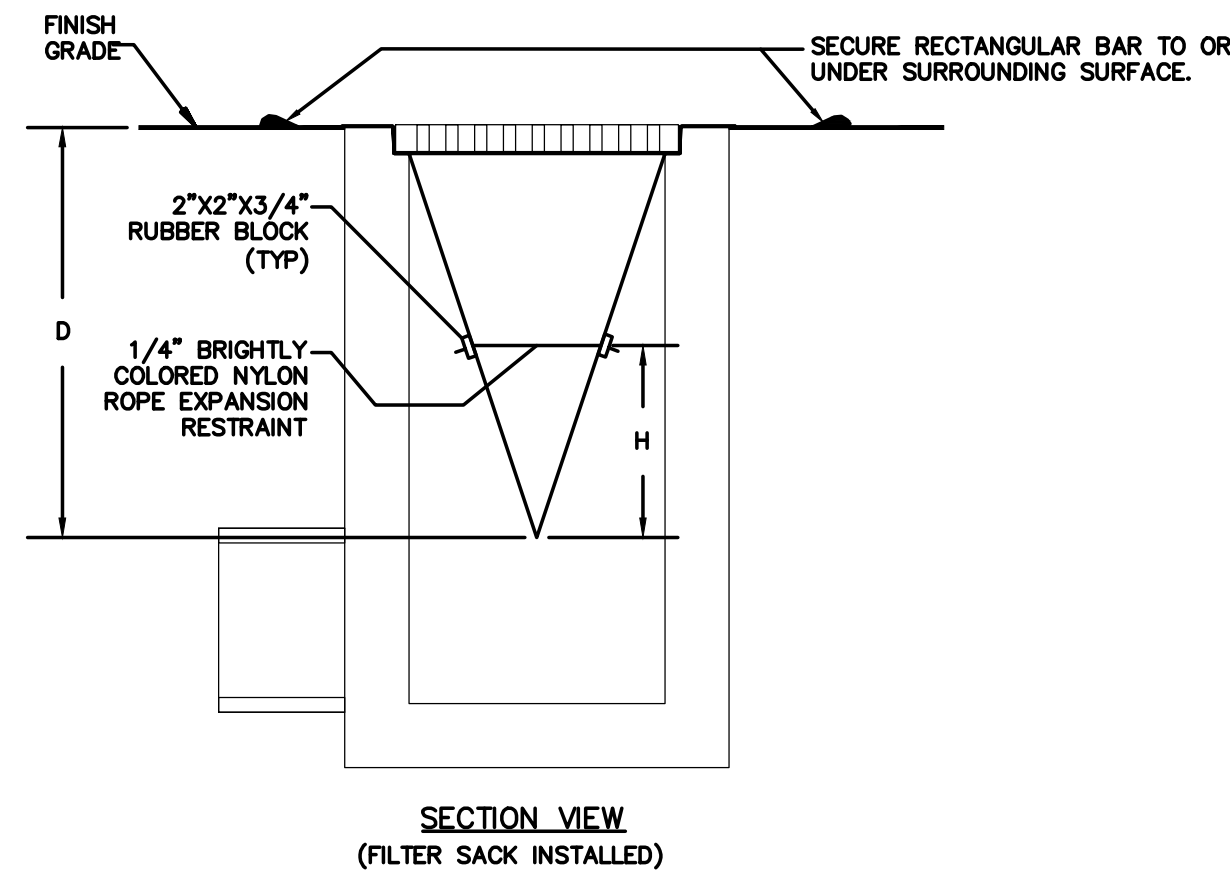
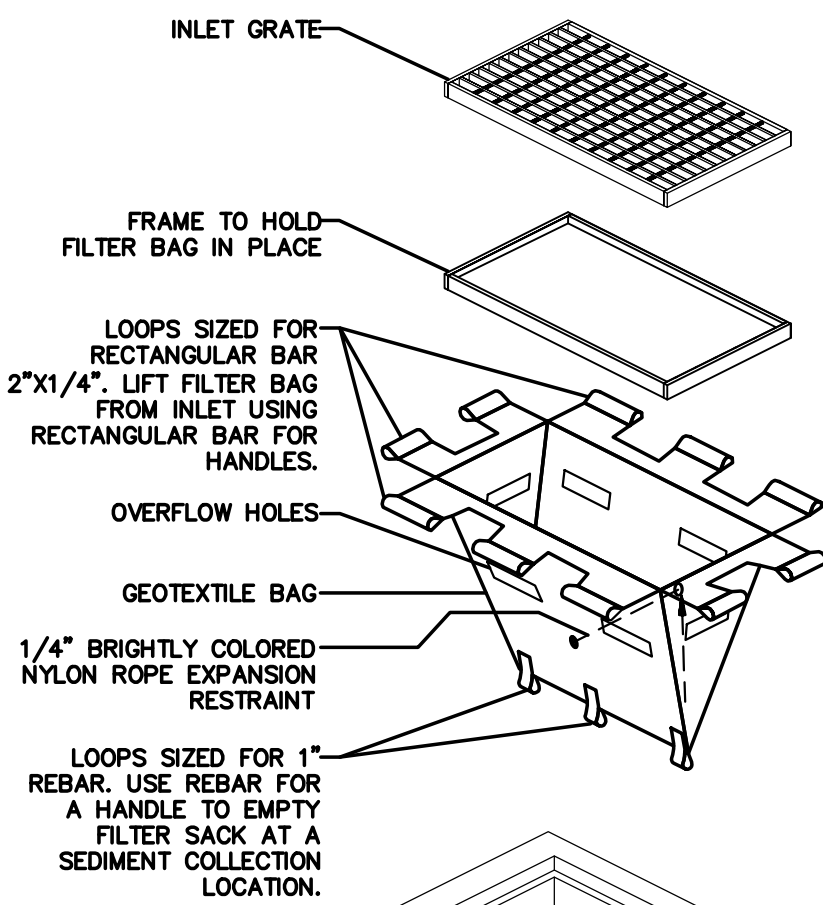
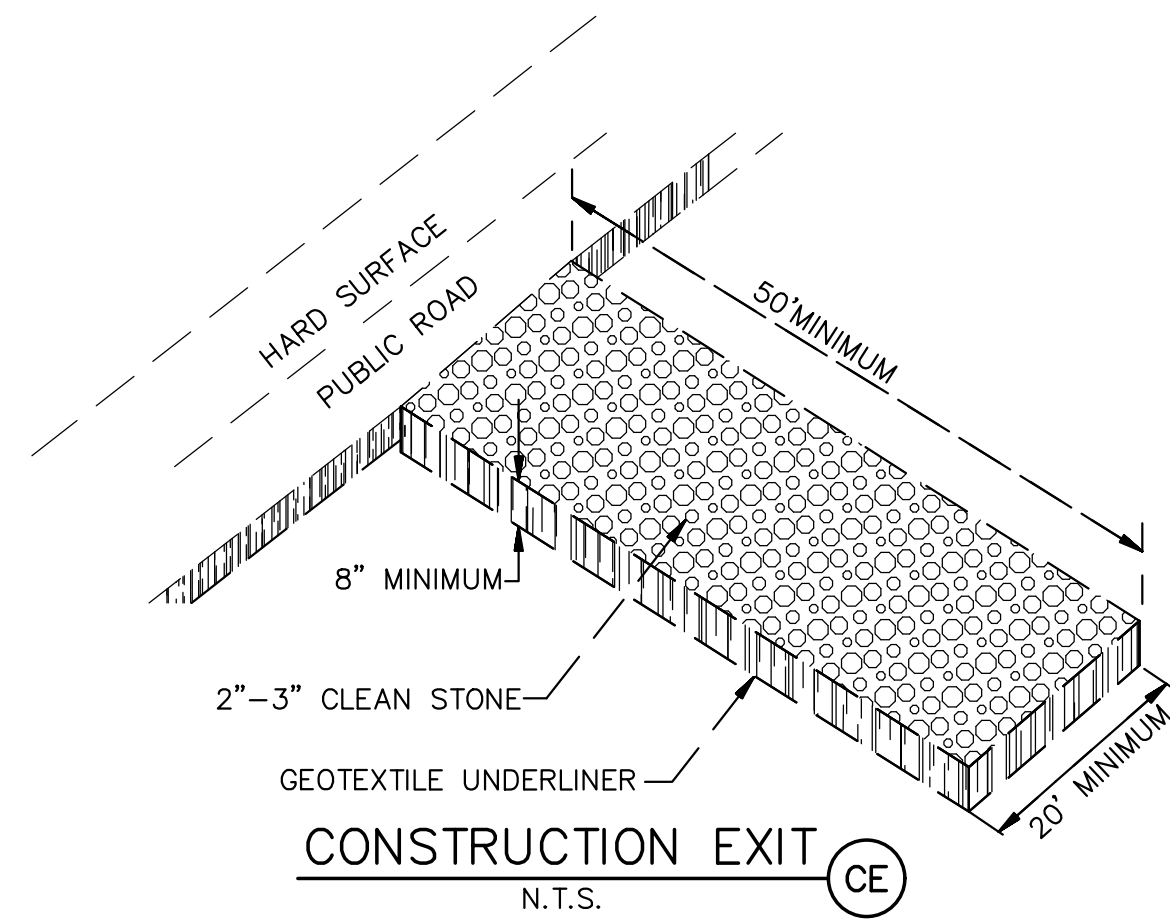
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT FROM THE LOCAL JURISDICTIONAL AUTHORITY PRIOR TO BEGINNING WORK.
2. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS RESPONSIBLE FOR MAINTAINING RUN-OFF and RUN ON OF SITE DURING CONSTRUCTION.
3. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL EXPOSED EARTH SURFACES MUST HAVE APPROPRIATE CONTROLS TO PROTECT FROM WIND AND WATER EROSION DURING ALL PHASES OF THE PROJECT.
5. STOCKPILES INACTIVE FOR 14 DAYS ARE REQUIRED TO HAVE TEMPORARY STABILIZATION OR APPROPRIATE COVER TO CONTROL WIND AND WATER EROSION.
6. THE OPERATOR WITH CONTROL OF THE DAILY SITES ACTIVITIES IS REQUIRED TO MAINTAIN ALL SITE BMP'S IN GOOD CONDITION FOR THE DURATION OF THE PROJECT UNTIL A NOTICE OF TERMINATION IS ACCEPTED BY THE EPA.
7. IF SITE EARTH DISTURBANCES EXCEED 5 ACRES AT ANY ONE TIME, TEMPORARY AND/OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN 7 DAYS WHEN AREA BECOMES INACTIVE OR EARTH DISTURBING ACTIVITIES ARE COMPLETE. SITE EARTH DISTURBANCES OF LESS THAN 5 ACRES, HAVE 14 DAYS TO PROVIDE TEMPORARY OR PERMANENT STABILIZATION WHEN AREA BECOMES INACTIVE OR EARTH DISTURBING ACTIVITIES ARE COMPLETE.

Report - Physical Soil Properties													
Three values are provided to identify the expected Low (L), Representative Value (R), and High (H).													
Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico													
Map symbol and soil name	Depth	Sand	Silt	Clay	Moist bulk density	Saturated hydraulic conductivity	Available water capacity	Linear extensibility	Organic matter	Erosion factors			Wind erodibility group
	In	Pct	Pct	Pct	g/cc	micro m/sec	In/In	Pct	Pct	Kw	Kf	T	
ETC-Embudo-Tijeras complex, 0 to 9 percent slopes													
	0-4	-69-	-22-	5-10- 15	1.45- 1.50-1.55	14.11-28.23- 42.34	0.09-0.10- 0.11	0.0- 1.5- 2.9	0.6- 0.8- 0.9	.15	.24	3	5
	4-20	-67-	-23-	5-10- 15	1.45- 1.50-1.55	14.11-28.23- 42.34	0.08-0.09- 0.10	0.0- 1.5- 2.9	0.3- 0.4- 0.5	.15	.28		
	20-60	-82-	-11-	5- 8- 10	1.30- 1.35-1.40	141.14-141.14- 141.14	0.03-0.04- 0.05	0.0- 1.5- 2.9	0.1- 0.2- 0.3	.05	.15		
Tijeras	0-4	-71-	-17-	10-13- 15	1.45- 1.50-1.55	14.11-28.23- 42.34	0.09-0.10- 0.11	0.0- 1.5- 2.9	0.5- 0.7- 0.9	.17	.28	5	5
	4-14	-57-	-18-	20-25- 30	1.35- 1.40-1.45	4.23-9.17-14.11	0.14-0.15- 0.16	0.0- 1.5- 2.9	0.3- 0.3- 0.4	.32	.32		
	14-19	-68-	-20-	10-13- 15	1.45- 1.50-1.55	14.11-28.23- 42.34	0.07-0.08- 0.09	0.0- 1.5- 2.9	0.1- 0.2- 0.3	.15	.24		
	19-60	-69-	-24-	5- 8- 10	1.40- 1.45-1.50	42.34-91.74- 141.14	0.04-0.07- 0.09	0.0- 1.5- 2.9	0.1- 0.2- 0.3	.10	.17		

ESC PLAN STANDARD NOTES:

1. ALL EROSION AND SEDIMENT CONTROL (ESC WORK) ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE PERMITTED, CONSTRUCTED, INSPECTED, AND MAINTAINED IN ACCORDANCE WITH:
 - a. THE CITY ORDINANCE § 14-5-2-11, THE ESC ORDINANCE,
 - b. THE EPA'S 2017 CONSTRUCTION GENERAL PERMIT (CGP), AND
 - c. THE CITY OF ALBUQUERQUE CONSTRUCTION BMP MANUAL.
2. ALL BMP'S MUST BE INSTALLED PRIOR TO BEGINNING ANY EARTH MOVING ACTIVITIES EXCEPT AS SPECIFIED HEREON IN THE PHASING PLAN. CONSTRUCTION OF EARTHEN BMP'S SUCH AS SEDIMENT TRAPS, SEDIMENT BASINS, AND DIVERSION BERMS SHALL BE COMPLETED AND INSPECTED PRIOR TO ANY OTHER CONSTRUCTION OR EARTHWORK. SELF-INSPECTION IS REQUIRED AFTER INSTALLATION OF THE BMP'S AND PRIOR TO BEGINNING CONSTRUCTION.
3. SELF-INSPECTIONS -- AT A MINIMUM A ROUTINE COMPLIANCE SELF-INSPECTION IS REQUIRED TO REVIEW THE PROJECT FOR COMPLIANCE WITH THE CONSTRUCTION GENERAL PERMIT ONCE EVERY 14 DAYS AND AFTER ANY PRECIPITATION EVENT OF ¼ INCH OR GREATER UNTIL THE SITE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE DETERMINED AS STABILIZED BY THE CITY. REPORTS OF THESE INSPECTIONS SHALL BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
4. CORRECTIVE ACTION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST.
5. STABILIZATION REPORTS MUST BE KEPT BY THE PERSON OR ENTITY AUTHORIZED TO DIRECT THE CONSTRUCTION ACTIVITIES ON THE SITE AND MADE AVAILABLE UPON REQUEST. REPORTS SHOULD INCLUDE RECORDS OF WEED REMOVAL PER CITY ORDINANCE (§ 9-8-1), STERILIZATION, SOIL TEST RESULTS AND RECOMMENDATION, MATERIALS AND MANUFACTURER'S SPECIFICATIONS FOR APPLICATION RATES, ESTIMATED FUNCTIONAL LONGEVITY, METHODS OF APPLICATION, INSPECTION AND MAINTENANCE. THE REDUCED SELF-INSPECTION SCHEDULE IN CGP 4.4.1 APPLIES TO STABILIZED AREA AND ANY DAMAGED OR WORN STABILIZATION MUST BE IDENTIFIED IN THE REPORTS ALONG WITH WEED PROBLEMS. CORRECTIVE ACTIONS FOR STABILIZATION SHALL BE DOCUMENTED IN A STABILIZATION REPORT INCLUDING ACTUAL RATES AND DATES OF STABILIZATION, AND THE MATERIALS AND MANUFACTURER'S SPECIFICATIONS USED.
6. BMP'S SHALL BE INSPECTED AND MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED IN ACCORDANCE WITH THE FINAL STABILIZATION CRITERIA (CGP 2.2.14.b). GENERALLY, ALL DISTURBED AREAS, OTHER THAN STRUCTURES AND IMPERVIOUS SURFACES, MUST HAVE UNIFORM PERENNIAL VEGETATION THAT PROVIDES 70 PERCENT OR MORE OF THE COVER PROVIDED BY NATIVE VEGETATION OR SEED THE DISTURBED AREA AND PROVIDE NON-VEGETATIVE MULCH THAT PROVIDES COVER AT LEAST THREE YEARS WITHOUT ACTIVE MAINTENANCE. FINAL STABILIZATION MUST BE APPROVED BY THE CITY OF ALBUQUERQUE PRIOR TO REMOVAL OF BMP'S AND DISCONTINUATION OF INSPECTIONS.

<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	THE WYMONT ALBUQUERQUE, NM	DRAWN BY pm
	EROSION CONTROL NOTES	DATE 11-23-21
	<div> TIERRA WEST, LLC</div> <div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	DRAWING
		SHEET # SW-3
		JOB # 2021008



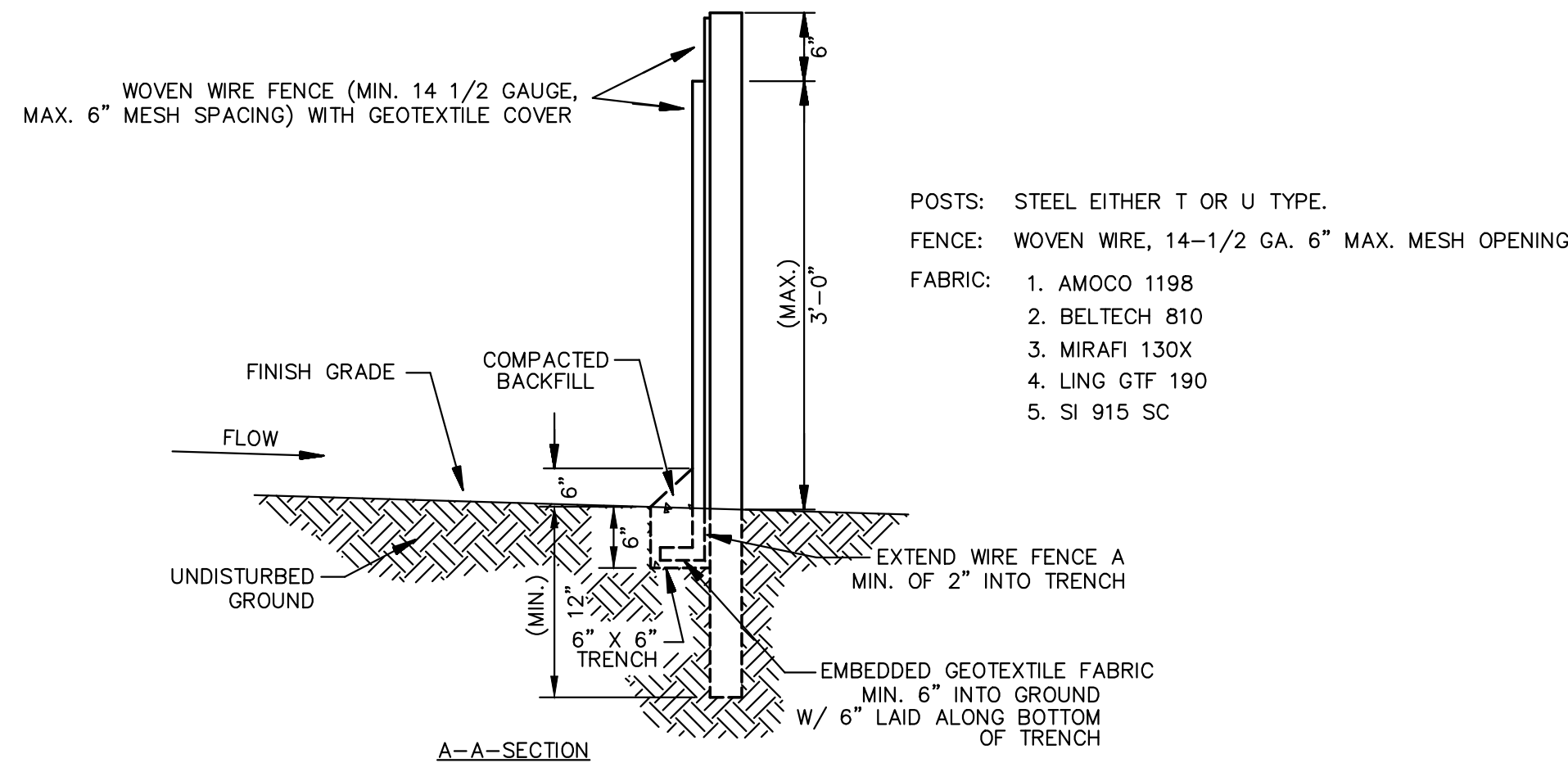
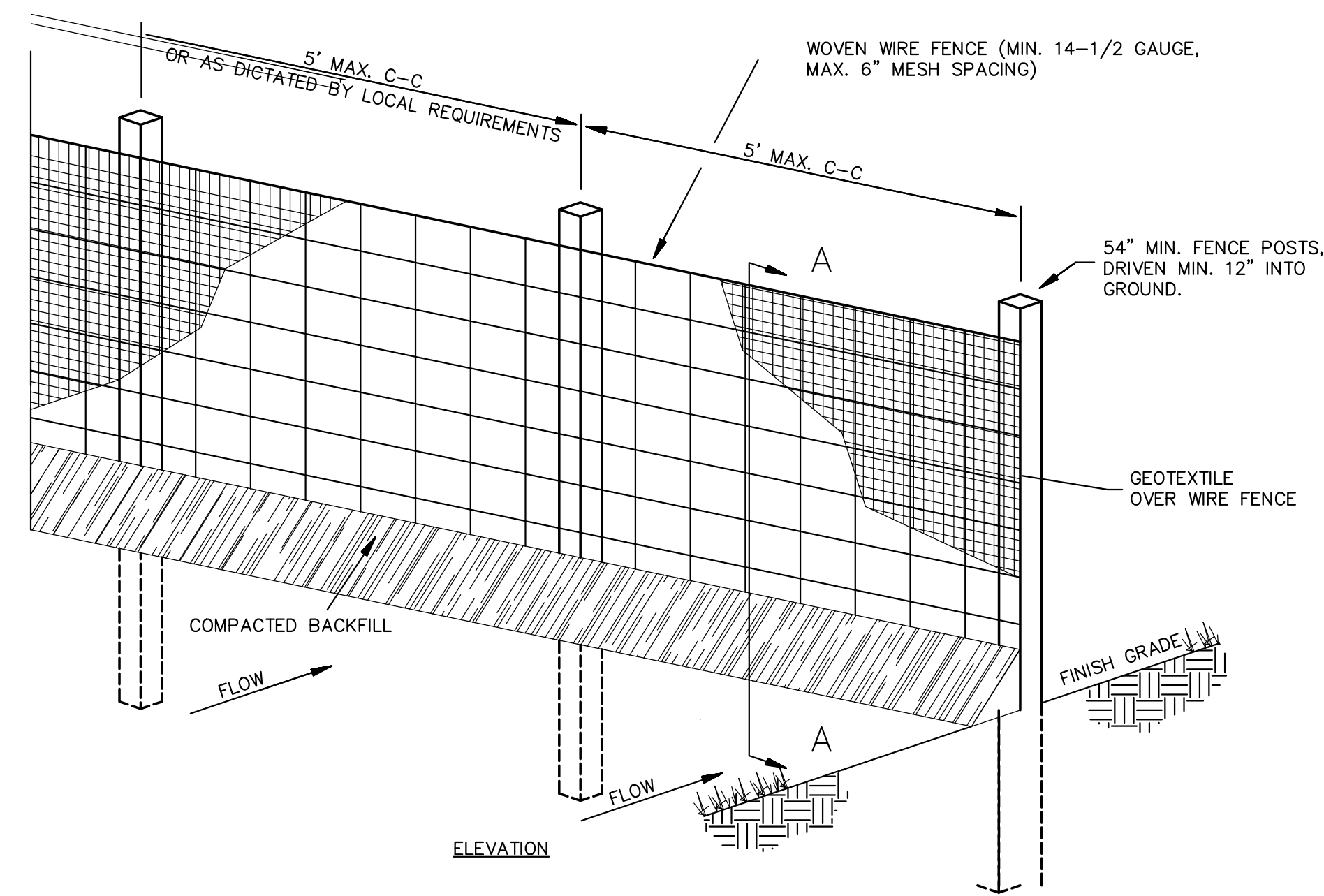
ISOMETRIC VIEW

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

IP5 INLET PROTECTION FILTER SACK

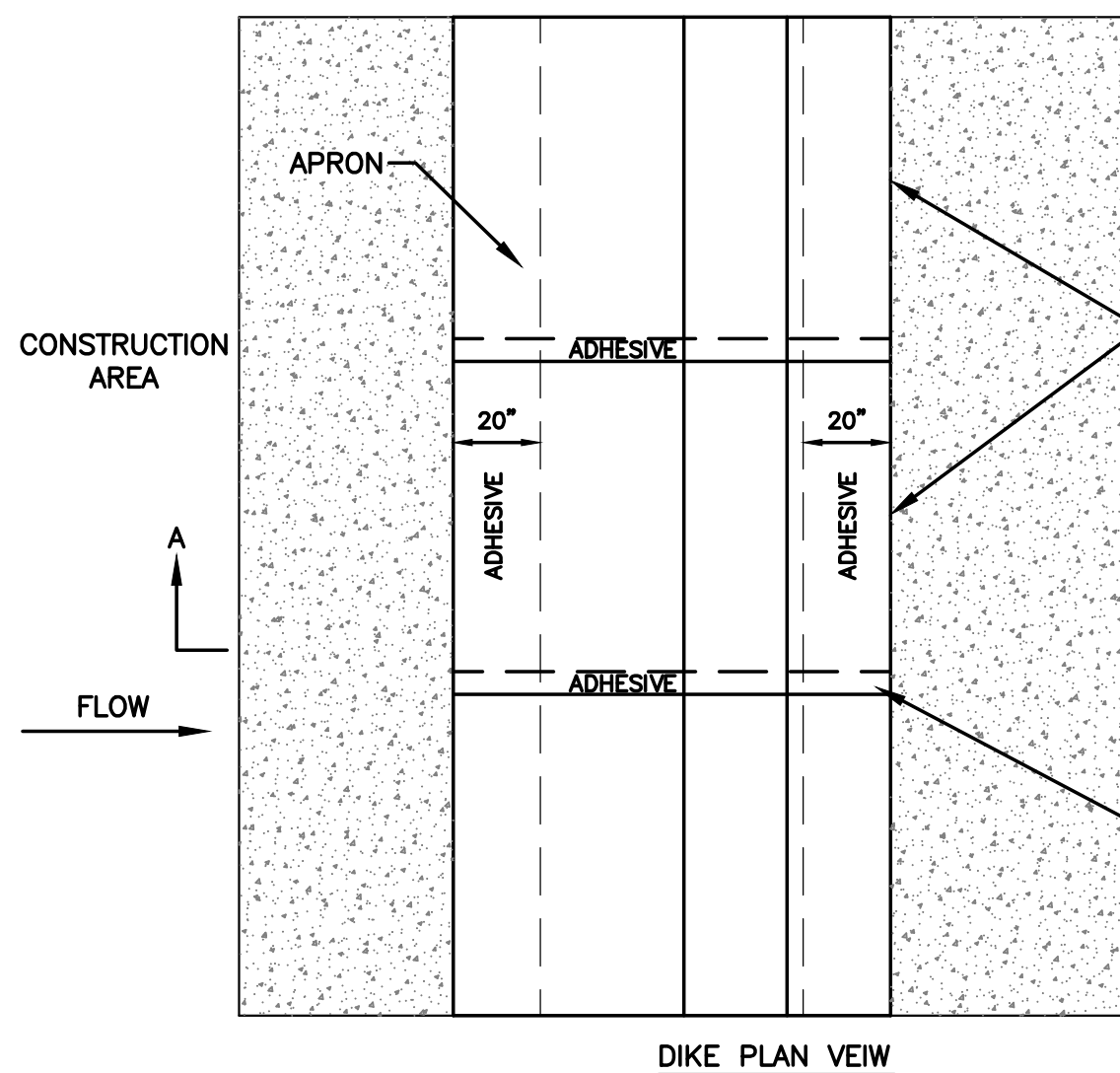
N.T.S.
FOR USE ONLY IN PAVED AREAS WHERE SEDIMENT LOADS ARE EXPECTED TO BE VERY LOW. FILTER SACK MUST HAVE OVERFLOW HOLES TO PREVENT PONDING.



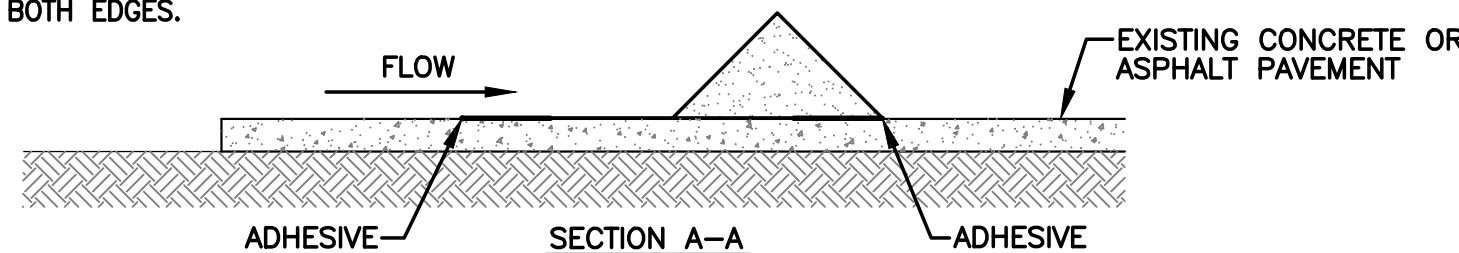
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
- GEOTEXTILE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE EROSION CONTROL PLAN. COLLECTED MATERIAL SHALL BE REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS INDICATED OTHERWISE

SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT (SF)

N.T.S.

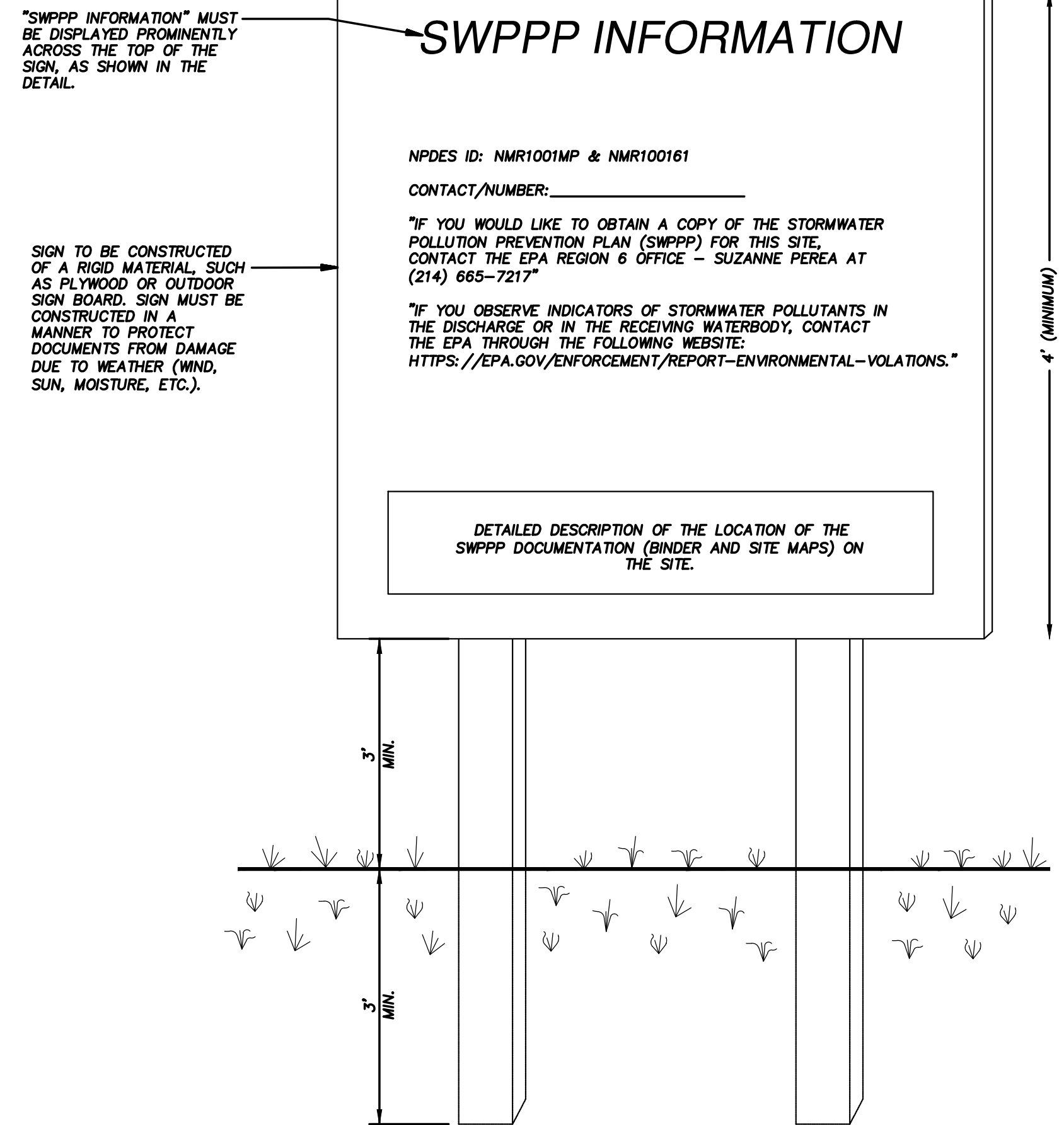


- NOTES:
- INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND FIRM CONTACT WITH PAVEMENT.
 - ADHESIVES SHALL BE LIQUID NAIL OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND EMULSIFIED ASPHALT FOR ASPHALT APPLICATIONS. ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND A 20" STRIP ALONG BOTH EDGES.



SILT DIKE (ON EXISTING PAVEMENT) (SDP)

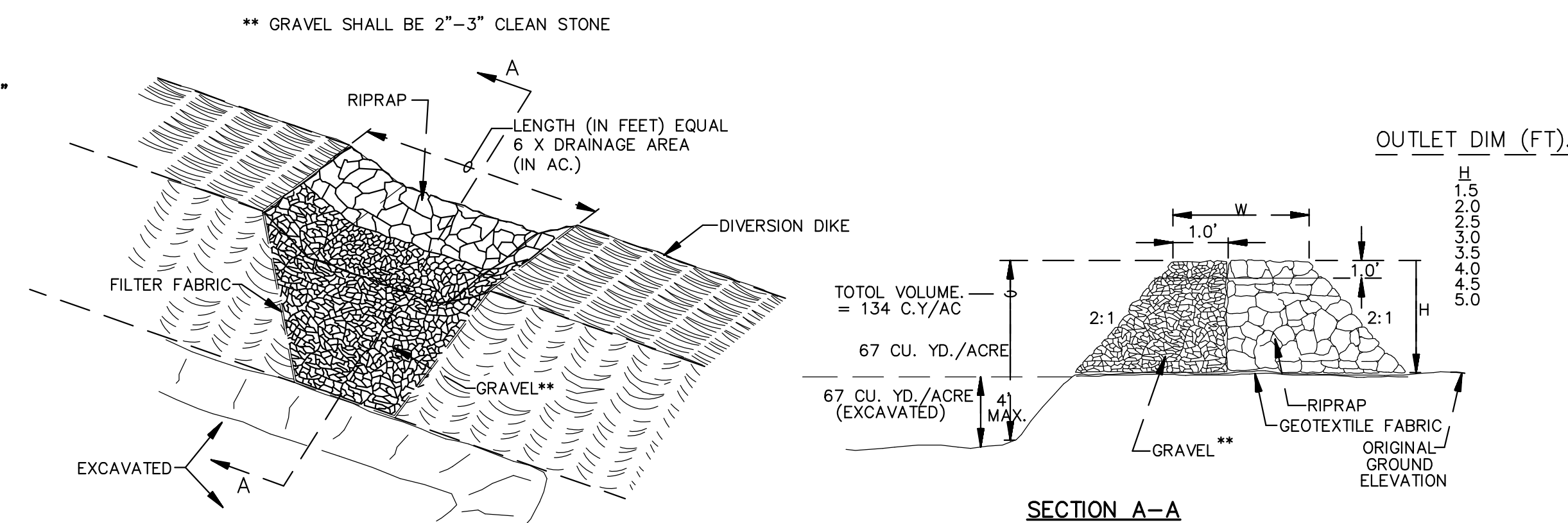
N.T.S.



- NOTES:
- THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
 - ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
 - CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
 - SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
 - CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.



SWPPP INFORMATION SIGN (SS)

N.T.S.



OUTLET (PERSPECTIVE) TEMPORARY SEDIMENT TRAP (ST)

N.T.S.

<div>ENGINEER'S SEAL</div> <div><div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div></div> <div><div>11-23-21</div><div>RONALD R. BOHANNAN P.E. #7868</div></div>	<div>THE WYMONT ALBUQUERQUE, NM</div> <div>EROSION CONTROL DETAILS</div>		<div>DRAWN BY pm</div>
			<div>DATE 11-23-21</div>
	<div><div>TIERRA WEST, LLC</div><div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div></div>		<div>DRAWING</div>
			<div>SHEET # SW-4</div> <div>JOB # 2021008</div>