

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 17, 2021

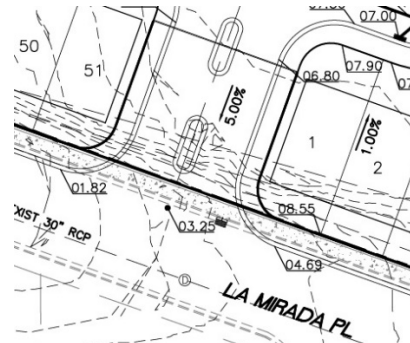
Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: La Mirada
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: No Date
Hydrology File: G19D004A**

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 03/01/2021, the Conceptual Grading and Drainage Plan **is not** approved for action by the DRB for Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Please add the statement "Not for Construction" on both sheets.
2. Where are you relocation the existing storm inlet at the location of the proposed drive entrance? See Below. I recommend relocating the inlet to the east at the end of the proposed drive's curb return.



3. Section A-A & B-B. Please provide the property/ROW lines in each section. In accordance with DPM Ch.2-6(H), grading and wall construction near the property line may not endanger adjacent property or constrain its use. Please revise the footer's

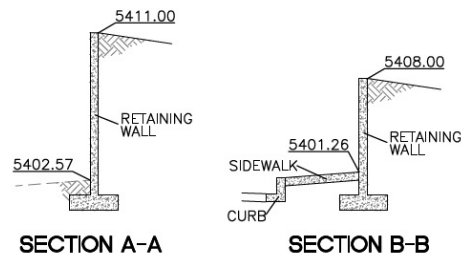
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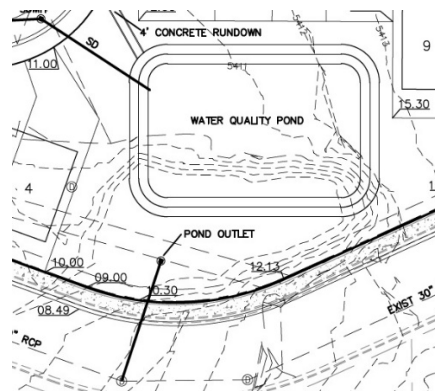


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location. Construction of the retaining wall footer is not allowed in the R.O.W. without a Revocable Permit.



4. This project has new curb & gutter, sidewalk, the inlet from Comment #2, along with the pond outfall pipe, and water & sanitary sewer lines, all of these will be placed on an Infrastructure List. Therefore, the SO-19 notes can be removed.
5. Is the proposed Water Quality Pond going to incorporate the existing pond? The pond outlet is showed in the existing pond location, so that is what I am assuming. If so, please show the proposed contours tying into the existing ones.



6. It appears that you are not using the current DPM. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) (signed 06/08/20) Article 6-2(a).
7. Please calculate the Stormwater Quality Volume (SWQV) as outlined in DPM (signed 06/08/20) Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. Since this is a redevelopment, the SWQ pond volume will be $0.26 * \text{new impervious area (sf)} (\text{townhomes, sidewalks, driveways, and private street}) * 1/12$.
8. Under the proposed drainage, you stated the OS1 & OS2 will drain through the residential subdivision through an emergency access located at the NE corner of the

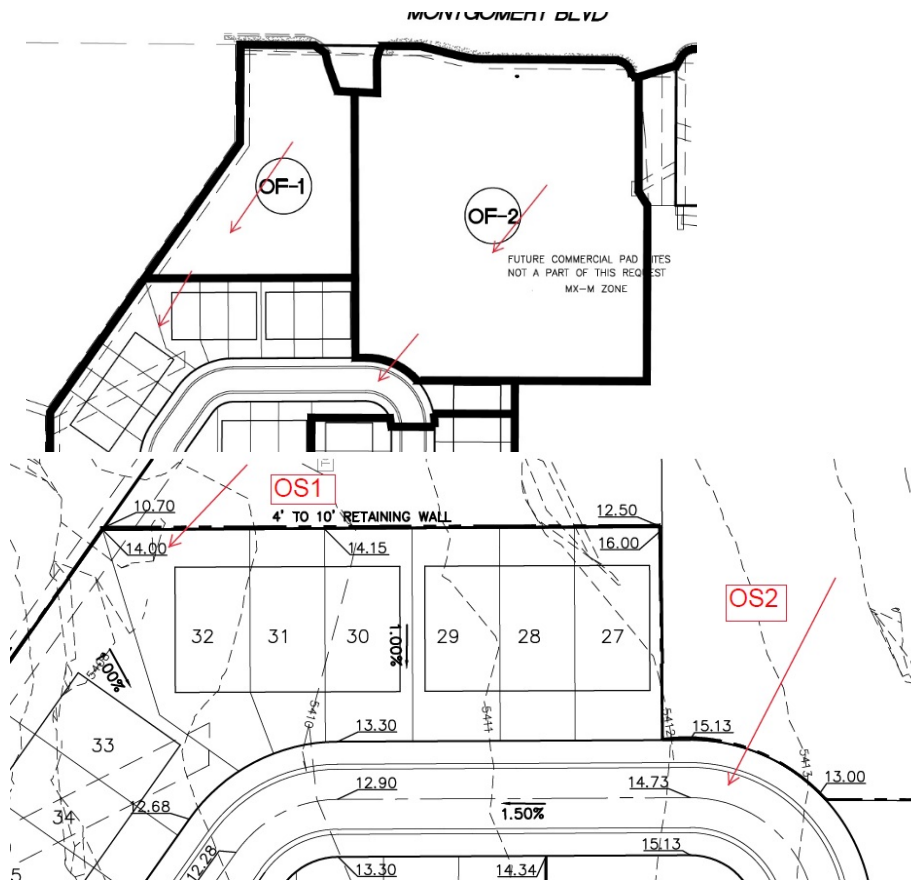
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residential area. This is impossible since OS1 & OS2 drains to the southwest and they are located to the north and northeast of the site. If OS1 & OS2 are going to remain commercial, the drainage patterns that exist for shopping center will remain. Therefore, for OS1, how is the runoff going to go through the proposed residential area? Please show the turn block on the retaining wall and please provide a section and calculations for the drainage feature that you are going to use. For OS2, the runoff appears to go over the proposed curb and down the proposed street. Please provide the calculations for street section down stream of the OS2 drainage to ensure that this will be able to make it to the proposed inlets to the south or new inlets may have to be placed where the 100-year drainage cannot be contained within the roadway.



9. Under the proposed drainage, you stated the OS3 will drain to a proposed drainage channel located to the west side of the residential area. This is impossible since OS3 drains to the southwest and is located to the northeast of the site. There is a swale running down the east side of the residential area but OS3 is going to remain commercial and the drainage patterns that exist for shopping center will remain. Therefore, the drainage is going to go at the corner of the retaining walls and pond there. How are you

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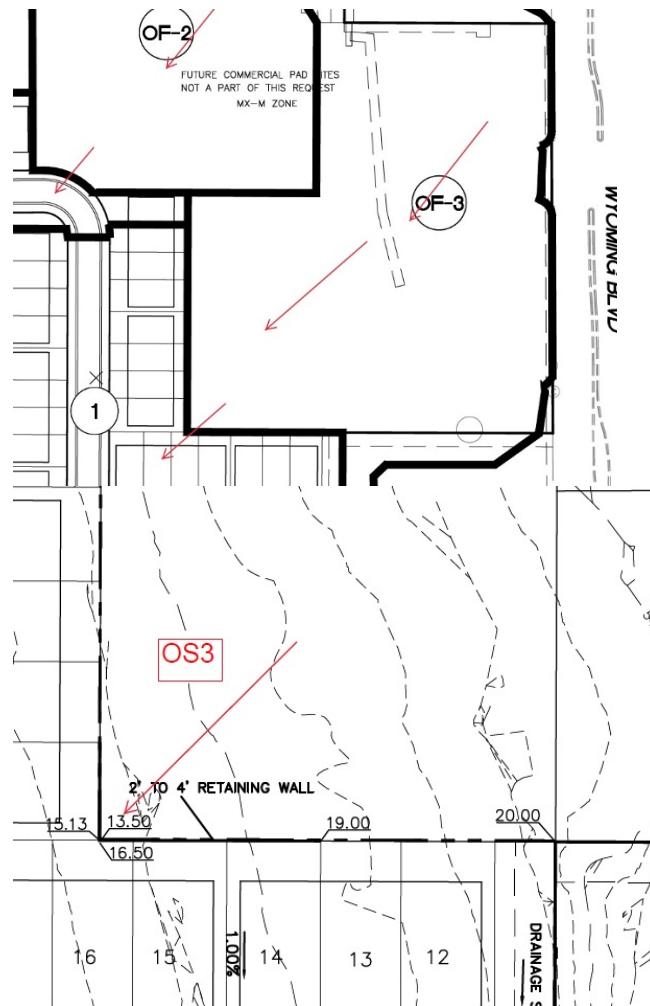
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going to accommodate for this drainage pattern? Please provide a section and calculations for the drainage feature that you are going to use.



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10. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.
11. Standard review fee of \$300 (for DRB Site) will be required at the time of resubmittal.

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: La Mirada **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: (Land Only) LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION (BEING COMPRISED OF LOTS 1-A AND 5-A LA MIRADA SUBDIVISION)

City Address: 4315 Wyoming Blvd NE Albuquerque, NM 87109

Applicant: Tierra West, LLC **Contact:** Jonanthan Niski

Address: 5571 Midway Park Place NE Albuquerque, NM 87109

Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** jniski@tierrawestllc.com

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☒ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

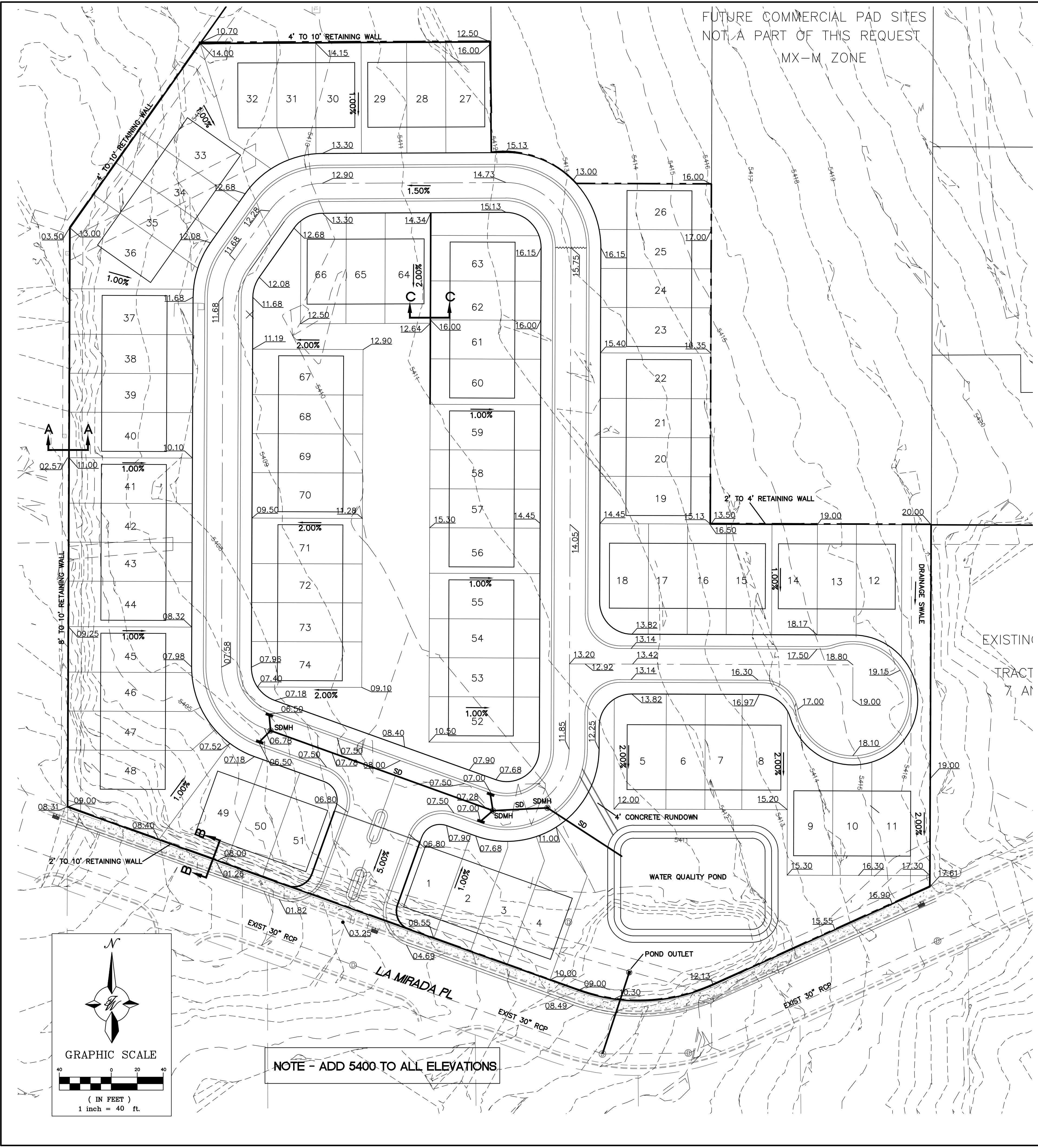
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 3-1-21 **By:** Jonathan Niski

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



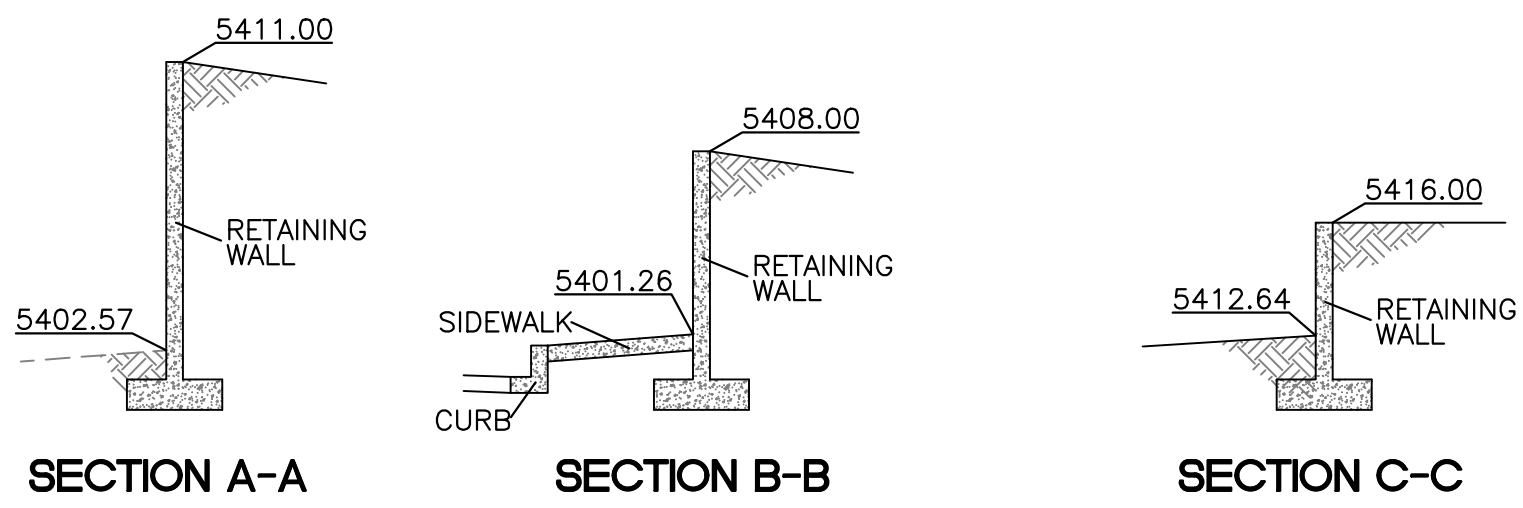
FUTURE COMMERCIAL PAD SITES
NOT A PART OF THIS REQUEST
MX-M ZONE

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - BUILDING
 - EXISTING CURB & GUTTER
 - PROPOSED HYDRANT
 - NEW SD MH
 - NEW CURB INLET
 - EXISTING SAS MH
 - EXISTING GATE VALVE
 - EXISTING WATERLINE
 - EXISTING SAS
 - RETAINING WALL

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

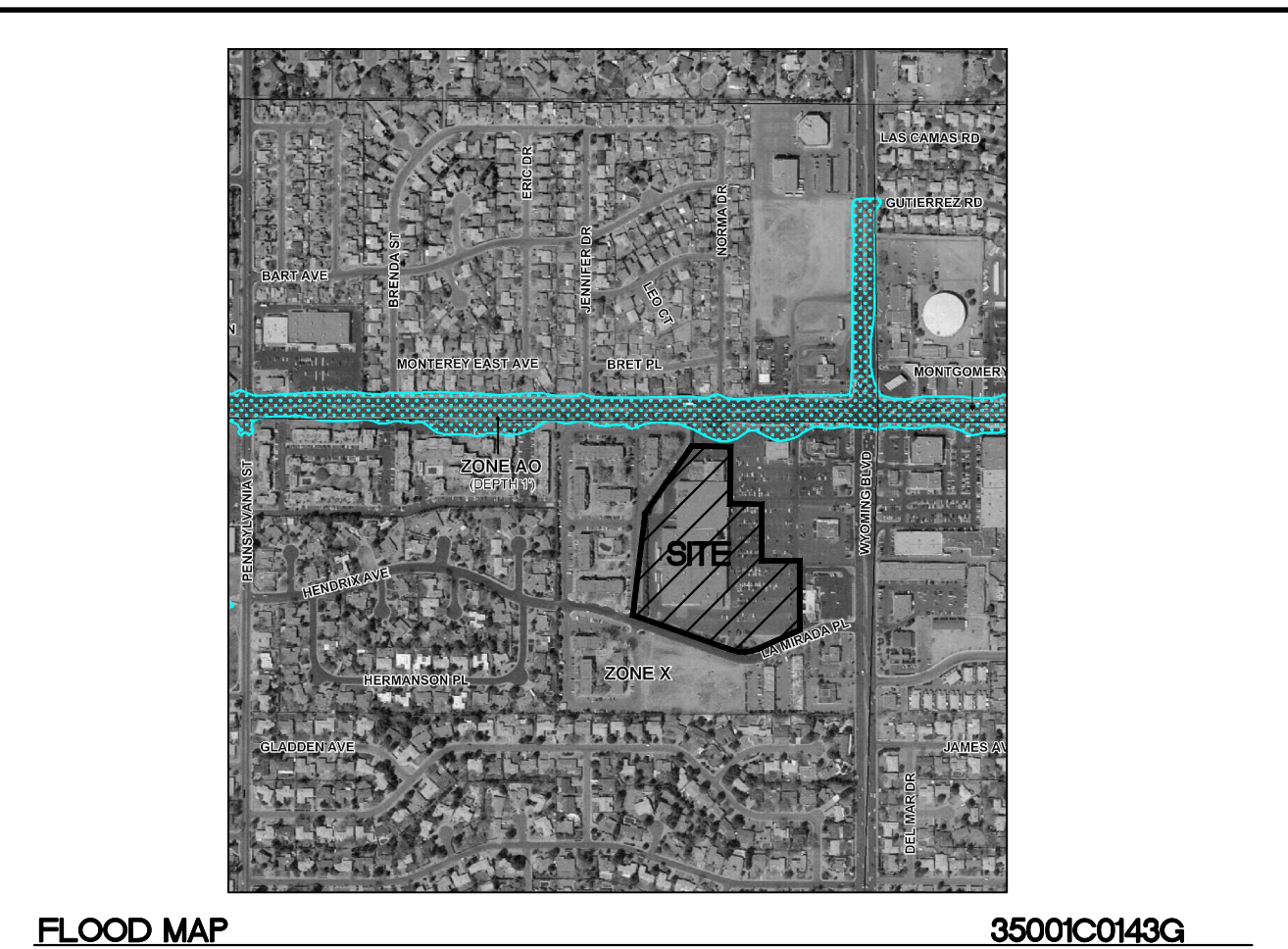
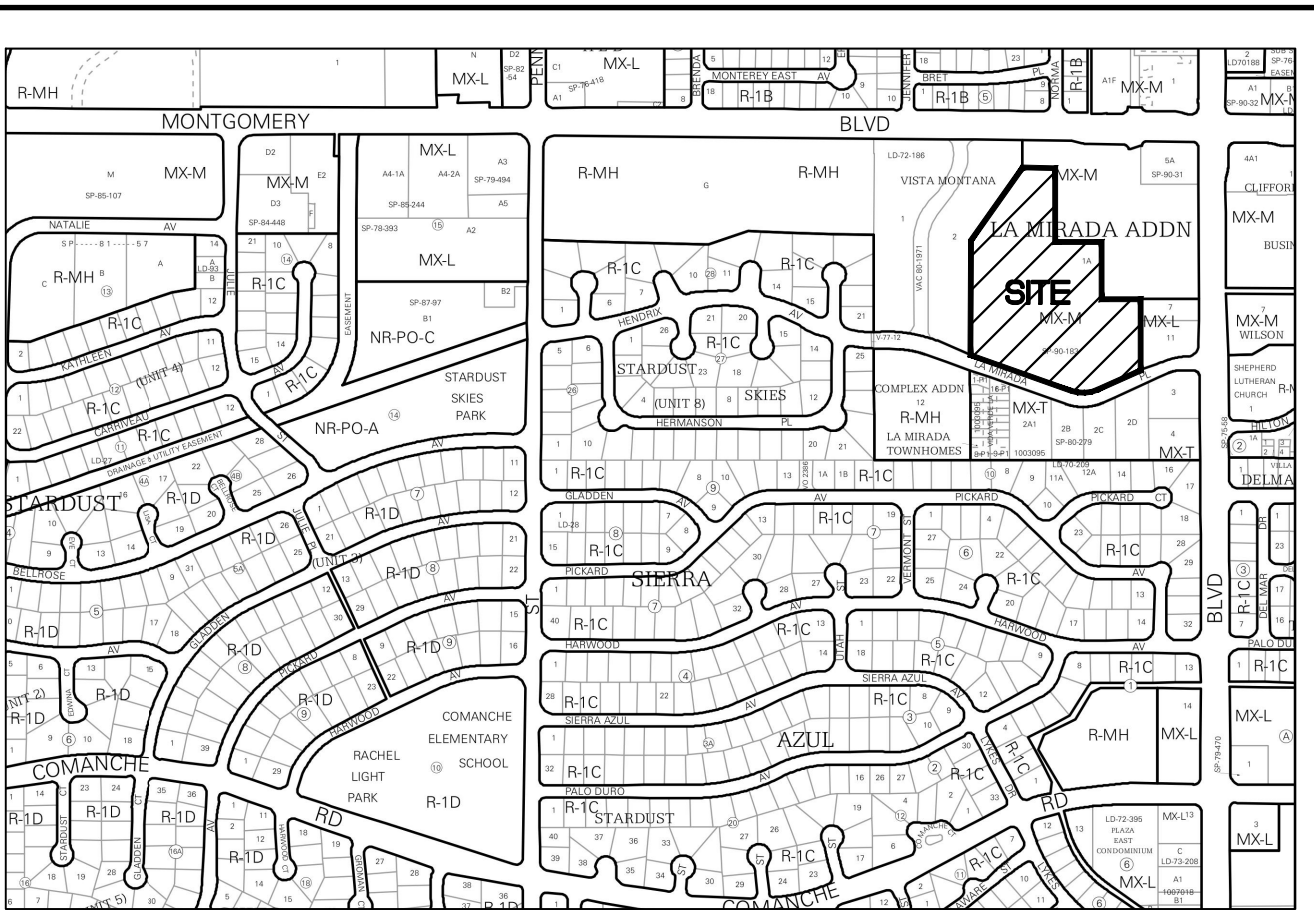
- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.


- PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR
(SPECIAL ORDER 19-80-19)**
1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" FOR (505) 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 7. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
 8. CONTRACTOR MUST CONTACT LUGIE ARMIJO AT (505) 857-8607 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

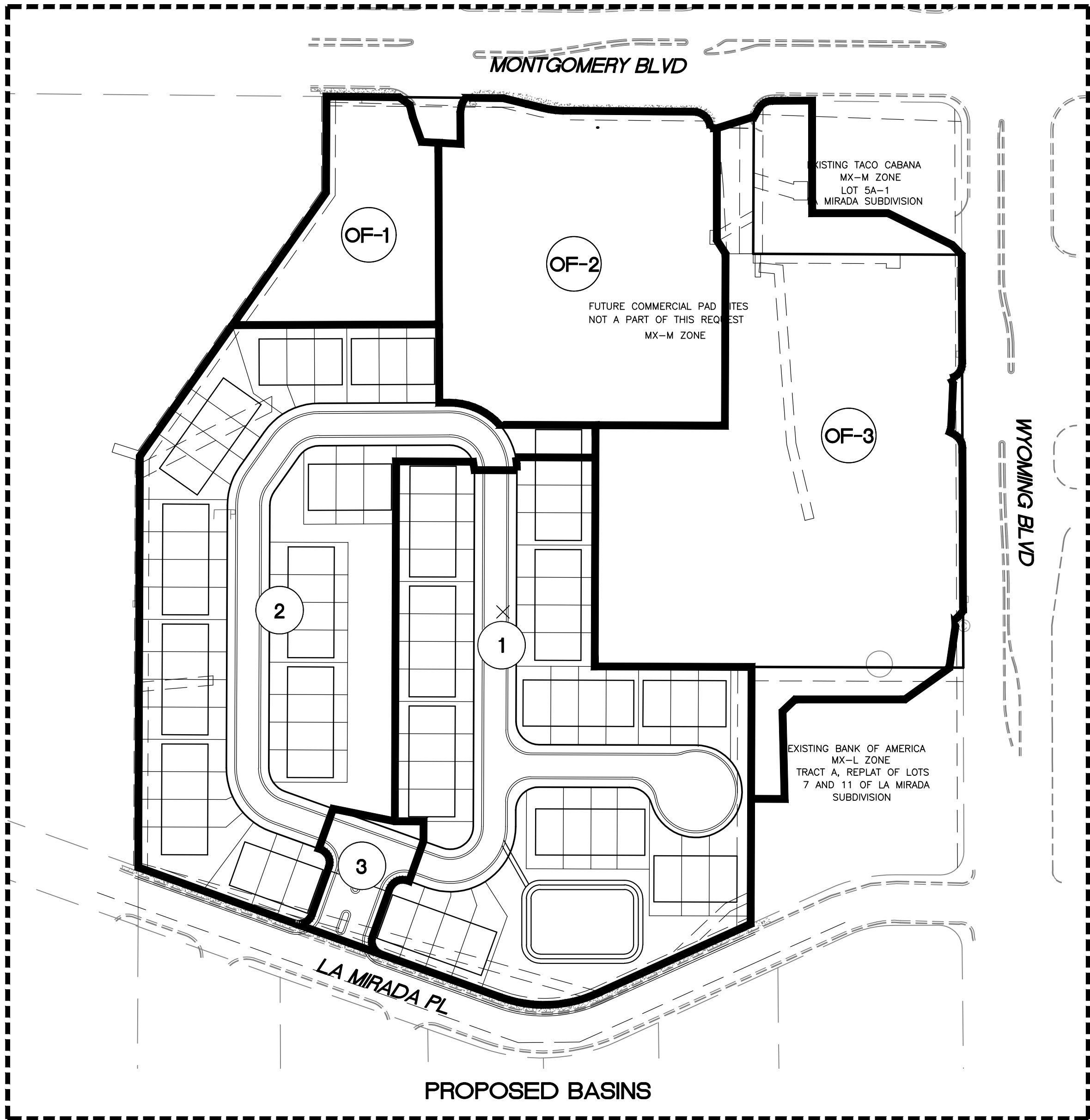
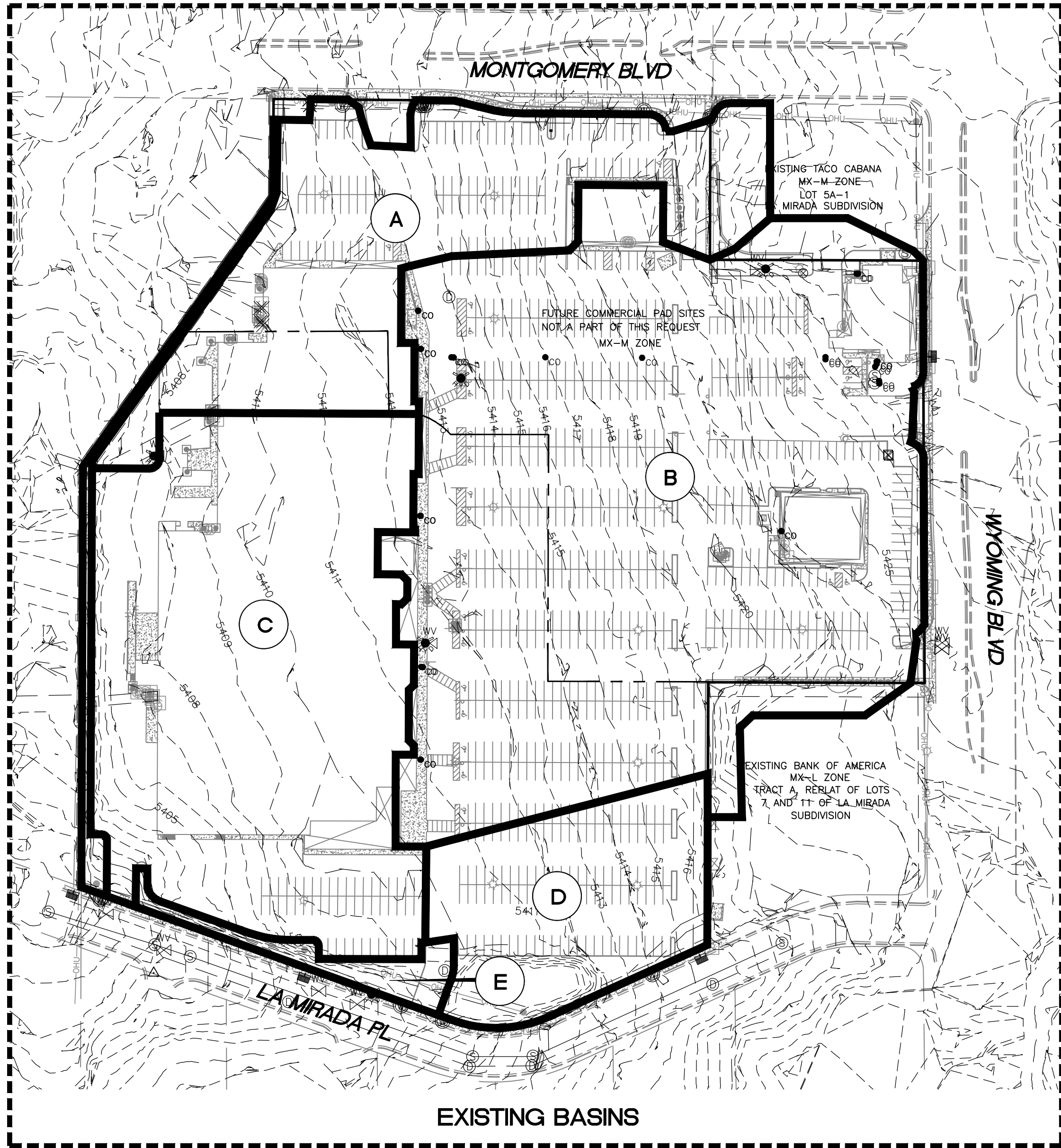
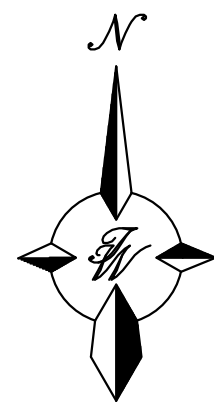


CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING ANY WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL	LA MIRADA ALBUQUERQUE, NM	DRAWN BY pm
		DATE 2-25-21
RONALD R. BOHANNAN P.E. #7868	CONCEPTUAL GRADING PLAN	DRAWING
	 <i>TIERRA WEST, LLC</i> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1
		JOB # 2021008



Weighted E Method												
Existing Basins												
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year	
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)
A	114,831	2.64	0%	0	7%	0.18	0%	0.00	93%	2.45	2.460	0.540
B	314,923	7.23	0%	0	5%	0.36	0%	0.00	95%	6.87	2.494	1.503
C	178,480	4.10	0%	0	0%	0.00	0%	0.00	100%	4.10	2.580	0.881
D	57,852	1.33	0%	0	21%	0.28	0%	0.00	79%	1.05	2.219	0.246
E	9,747	0.22	0%	0	0%	0.00	100%	0.22	0%	0.00	1.090	0.020
F	7,497	0.17	0%	0	100%	0.17	0%	0.00	0%	0.00	0.860	0.012
		15.69									3.202	68.15
Proposed Basins												
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year	
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)
OF-1	36,043	0.83	0%	0	15%	0.12	0%	0.00	85%	0.70	2.322	0.160
OF-2	103,118	2.37	0%	0	15%	0.36	0%	0.00	85%	2.01	2.322	0.458
OF-3	181,851	4.17	0%	0	15%	0.63	0%	0.00	85%	3.55	2.322	0.808
1	177,020	4.06	0%	0	60%	2.44	0%	0.00	40%	1.63	1.548	0.524
2	173,502	3.98	0%	0	57%	2.27	0%	0.00	43%	1.71	1.600	0.531
3	11,770	0.27	0%	0	10%	0.03	0%	0.00	90%	0.24	2.408	0.054
		15.69									9.85	2.535
												58.75
Equations:												
Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)			Excess Precipitation, E (inches)				Peak Discharge (cfs/acre)					
Volume = Weighted D * Total Area			Zone 3				Zone 3					
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad			100-Year				100-Year					
			10 - Year				10 - Year					
			Ea				Qa					
			Eb				Qb					
			Ec				Qc					
			Ed				Qd					
Water Quality Calculation: 0.34" x 9.85ac = 12,157 cubic feet (0.28 ac-ft)												

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY VACANT SHOPPING CENTER AND IS LOCATED ON THE SOUTHWEST CORNER OF WYOMING BOULEVARD AND MONTGOMERY BOULEVARD. THE SITE IS BOUNDED BY ROADS ON THE NORTH, SOUTH AND EAST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE WEST SIDE AND CONTAINS APPROXIMATELY 15.69 ACRES. THE SITE DRAINS FROM EAST TO WEST WITH MOST OF IT DRAINING ONTO AN EXISTING DETENTION POND. THE REMAINDER OF THE SITE DRAINS INTO AN EXISTING DROP INLET LOCATED AT THE SOUTHWEST ENTRANCE. ACCORDING TO AN APPROVED GRADING AND DRAINAGE PLAN (G-19/D4) COMPLETED BY JEFF MORTENSEN AND ASSOCIATES THE EXISTING POND MAY BE ELIMINATED AND ALL FLOW DISCHARGED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE. THOSE IMPROVEMENTS WERE NEVER COMPLETED AND THE POND HAS REMAINED IN PLACE. BASED ON THE REVISED DRAINAGE VALUES IN THE CURRENT DPM THE TOTAL FLOW DISCHARGED FROM THIS SITE IS 68.15 CFS. THE SITE IS NOT LOCATED WITH IN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE NOT OFFSITE FLOWS THAT ENTER THE SITE.


PROPOSED DRAINAGE:

THE SITE IS BEING SUBDIVIDED INTO A FUTURE COMMERCIAL CENTER AND A RESIDENTIAL NEIGHBORHOOD. EACH AREA IS DIVIDED INTO THREE BASINS. OFFSITE BASINS 1 AND 2 WILL DRAIN THROUGH THE RESIDENTIAL SUBDIVISION THROUGH AN EMERGENCY ACCESS LOCATED AT THE NORTHEAST CORNER OF THE RESIDENTIAL AREA. BASIN 3 WILL DRAIN TO A PROPOSED DRAINAGE CHANNEL LOCATED ON THE WEST SIDE OF THE RESIDENTIAL AREA. ALL OFFSITE FLOWS WILL BE CONVEYED TO A WATER QUALITY POND LOCATED AT THE SOUTHEAST CORNER OF THE RESIDENTIAL AREA. TOTAL OFF-SITE FLOWS PASSING THROUGH THE RESIDENTIAL AREA IS 30.88 CFS.

THE RESIDENTIAL SUBDIVISION WILL ALSO DRAIN TO THE WATER QUALITY POND VIA SURFACE FLOWS AND VIA A STORM SEWER. A SMALL AREA, SHOWN AS BASIN 3 WILL DRAIN DIRECTLY TO HENDRIX AVENUE. DUE TO THE GRADES BETWEEN HENDRIX AVENUE AND THE SUBDIVISION THERE IS NO WAY TO CAPTURE THIS FLOW AND IT BASICALLY FOLLOWS THE SAME DRAINAGE PATTERN AS IT CURRENTLY DOES. THIS FLOW (1.16 CFS) IS CAPTURED IN EXISTING DROP INLETS IN HENDRIX AVENUE.

THE WATER QUALITY POND IS SIZED TO CONTAIN THE REQUIRED VOLUME FROM THE OFFSITE BASINS AS WELL AS THE RESIDENTIAL BASINS. BASED ON CURRENT REQUIREMENTS THE POND WILL RETAIN A VOLUME OF 0.28 AC-FT. AN OUTLET WILL BE PROVIDED IN THE POND AND CONNECTED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE.

THE TOTAL FLOW DISCHARGED TO THE HENDRIX AVENUE STORM SEWER WILL BE 58.75 CFS WHICH IS 9.40 CFS LESS THAN WHAT IS CURRENT DISCHARGED TO THAT SYSTEM.

ENGINEER'S SEAL	LA MIRADA ALBUQUERQUE, NM	DRAWN BY pm
		DATE 2-25-21
	CONCEPTUAL DRAINAGE PLAN	DRAWING
 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # GR-2
		JOB # 2021008
RONALD R. BOHANNAN P.E. #7868		