

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

December 27, 2021

Jonathan Niski, P.E.
Tierra West
5571 Midway Park Place NE
Albuquerque, NM 87109

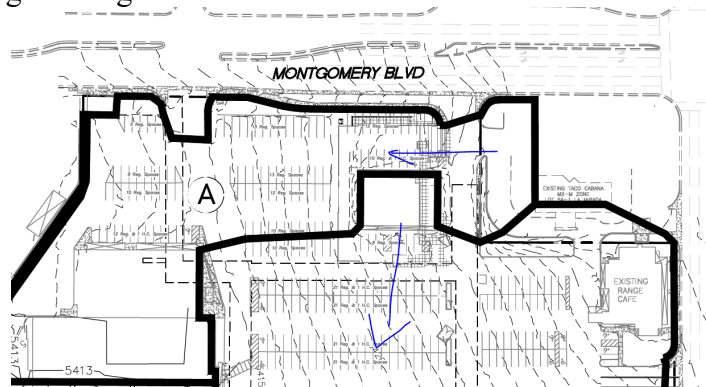
**RE: Albuquerque ER & Hospital
4315 Wyoming Blvd NE
Grading and Drainage Plan
Engineer's Stamp Date: 11/2/21
Hydrology File: G19D004D**

Dear Mr. Niski:

Based upon the information provided in your submittal received 11/2/2021, the Grading & Drainage Plan is **not** approved for Building Permit, and for action by the DRB on Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

SHEET GR-1

1. Please provide results from DPM Part 6-2(A) regarding what zone the property lies in and associated rainfall and calculations. No information was included to specify existing or proposed flows.
2. Part of this submittal, specify where drainage is going and the drainage area. Currently this site drains to the west. According to the master drainage plan G19D004, that is currently under review, you had a small portion of this site draining to Montgomery that currently does not drain towards Montgomery and will not be allowed. Explain how this will now drain. Please reference the master drainage plan and ensure it aligns with it.
3. Existing Drainage:



4. Proposed Drainage:

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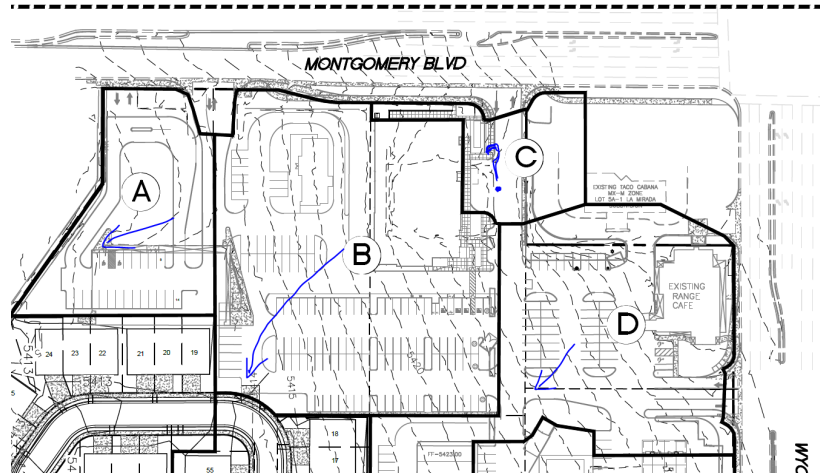
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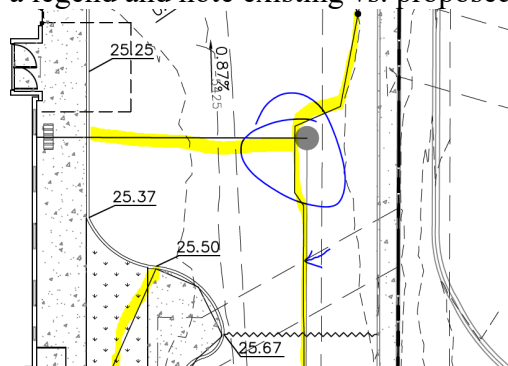
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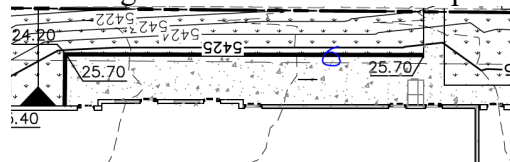
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5. What offsite drainage is this accepting?
6. How will the drainage for this site get to the are shown on the master G & D? Please elaborate and clarify on this submittal. Please show how this site ties into adjacent properties with spot elevations.
7. The plan calls out retention of the Water Quality Volume for this parcel. Where is this information? I do not see any retention areas. Label ponds and volume for each.
8. Provide a legend and note existing vs. proposed contours on it. What is the grey circle?



9. Is this a retaining Wall? If so call out and provide a detail.



10. What is this slope? Will a retaining wall/stem wall be necessary? Please provide a detail/section. Slope looks too steep to stabilize as shown.

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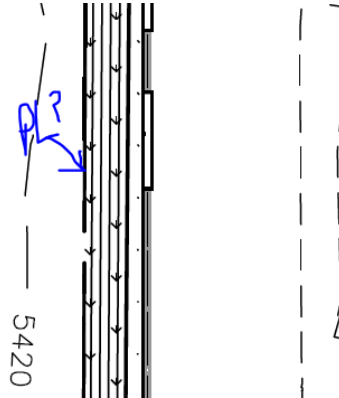
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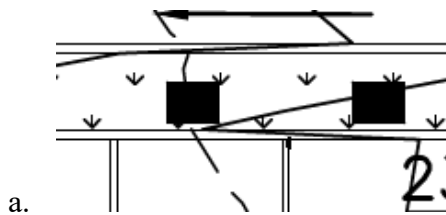
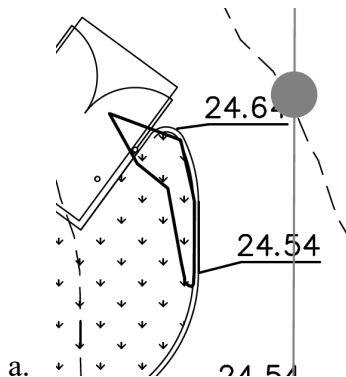
11. Please add a note under Grading Notes. "Side slopes need to be stabilized with Native Grass Seed (per City Spec 1012) with Aggregate Mulch or equal (Must satisfy the "Final Stabilization criteria" CGP 2.2.14.b.)".
12. Provide a section of the stem wall.
13. Provide downstream capacity and Storm Water Quality control.

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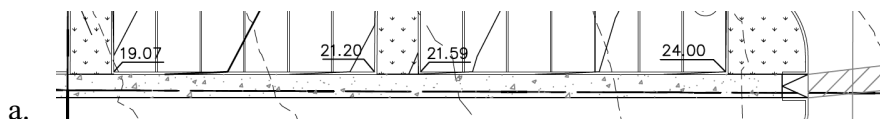
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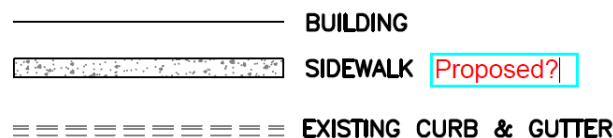
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16. Show any shared easements.



18. Include a legend for all proposed and existing information shown.



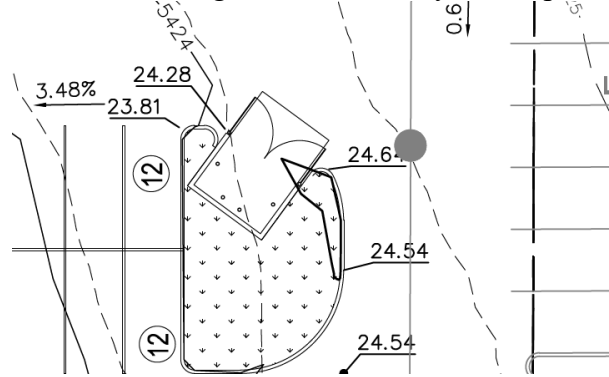
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19. Will this site have any restaurants? If so, please ensure the trash bin has sanitary sewer and contains the drainage into the SAS system. Spot elevations for this as well.



20. Overall the Grading & Drainage Plan seems to lack a company review or quality control (QA/QC). This review typically ensures that the line weights and text used creates clarity and accuracy which helps both the reviewer and contractor understand the scope of the project. Currently the Grading & Drainage Plan has line weights for the proposed and existing work about the same weight which makes it difficult to tell what is to be constructed. The proposed spot elevations should use some type of terminology which should also be added to the Legend. For example, TP (top of pavement), FL (flow line), TC (top of curb), TW (top of wall), etc. Please ensure that all hatching is called out in the Legend.

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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3965 or dggutierrez@cabq.gov

Sincerely,

David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Albuquerque ER & Hospital **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION (BEING COMPRISED OF LOTS 1-A AND 5-A LA MIRADA SUBDIVISION)

City Address: 4315 Wyoming Blvd NE Albuquerque NM 87109

Applicant: Tierra West, LLC **Contact:** _____

Address: 5571 Midway Park Place NE Albuquerque NM 87109

Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

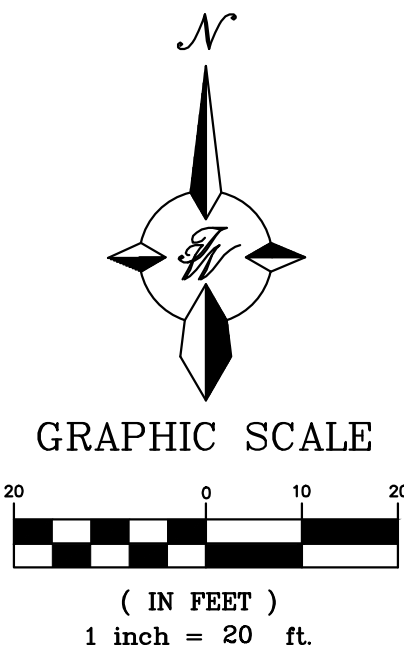
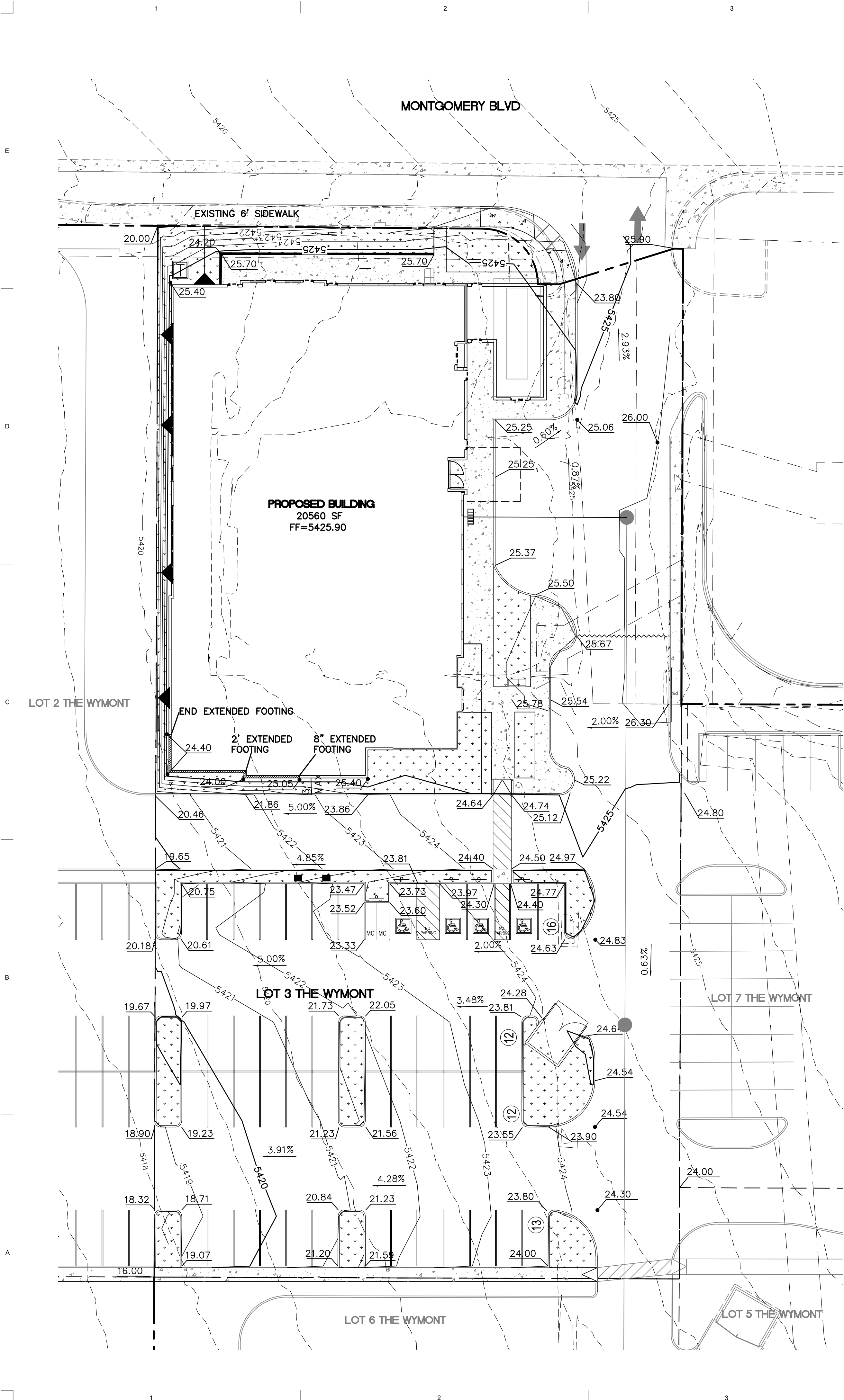
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/2/2021 **By:** Jonathan Niski

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - EXISTING CURB & GUTTER
 - WATER BLOCK
 - LANDSCAPING

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES:

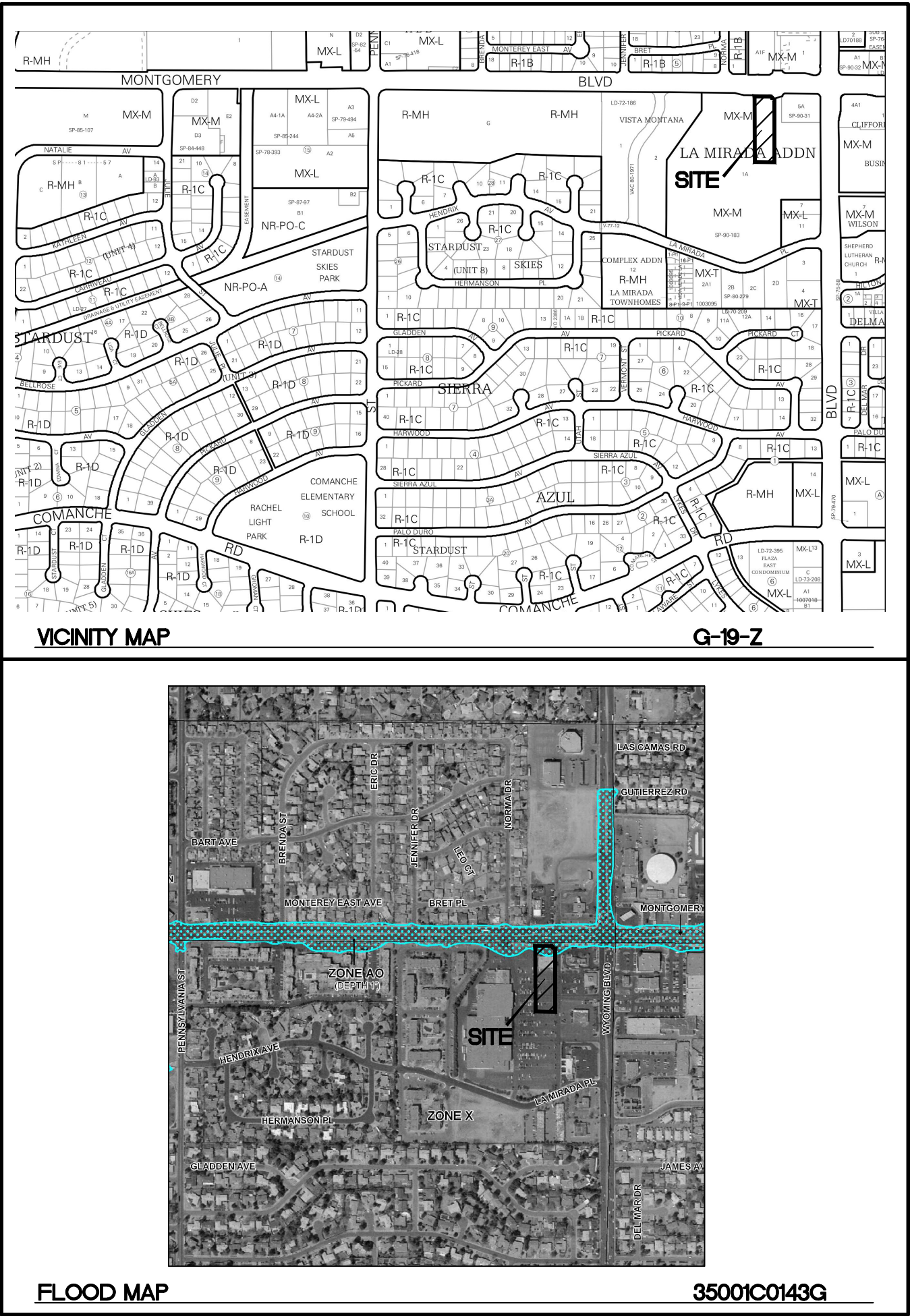
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 2" GRAVEL

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY VACANT SHOPPING CENTER AND IS LOCATED ON THE SOUTHWEST CORNER OF WYOMING BOULEVARD AND MONTGOMERY BOULEVARD. THE SITE IS BOUNDED BY ROADS ON THE NORTH, SOUTH AND EAST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE WEST SIDE AND CONTAINS APPROXIMATELY 15.69 ACRES. THE SITE DRAINS FROM EAST TO WEST WITH MOST OF IT DRAINING ONTO AN EXISTING DETENTION POND. THE REMAINDER OF THE SITE DRAINS INTO AN EXISTING DROP INLET LOCATED AT THE SOUTHWEST ENTRANCE. ACCORDING TO AN APPROVED GRADING AND DRAINAGE PLAN (G-19/D4) COMPLETED BY JEFF MORTENSEN AND ASSOCIATES THE EXISTING POND MAY BE ELIMINATED AND ALL FLOW DISCHARGED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE. THOSE IMPROVEMENTS WERE NEVER COMPLETED AND THE POND HAS REMAINED IN PLACE. BASED ON THE REVISED DRAINAGE VALUES IN THE CURRENT DPM THE TOTAL FLOW DISCHARGED FROM THIS SITE IS 68.15 CFS. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE NOT OFFSITE FLOWS THAT ENTER THE SITE.

PROPOSED DRAINAGE:

THE SITE IS ONE PARCEL OF THE WYMONT COMMERCIAL CENTER AND WILL DRAIN IN ACCORDANCE WITH THE APPROVED CONCEPTUAL GRADING AND DRAINAGE PLAN. THIS PARCEL WILL DRAIN TO THE SOUTHWEST TO THE RESIDENTIAL NEIGHBORHOOD AND TO THE EXISTING DETENTION POND LOCATED IN THE SOUTHEAST CORNER OF THE RESIDENTIAL NEIGHBORHOOD. THIS POND ALSO RETAINS THE WATER QUALITY VOLUME FOR THIS PARCEL.



dg
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Planners • Urban Designers • LEED®
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CONSULTANT

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www.tierawestllc.com

STAMP
ENGINEER'S
SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
11-2-21
RONALD R. BOHANNAN
P.E. #7868

PROJECT NAME

ALBUQUERQUE ER
AND HOSPITAL

REVISIONS

Copyright: Design Group	
Drawn by	pm
Checked by	JN
Date	11-2-21
Project number	2021008

SHEET TITLE

GRADING PLAN

SHEET NUMBER

GR-1