

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

November 8, 2021

Jonathan Niski, PE,  
Tierra West, LLC  
5571 Midway Park NE  
Albuquerque, NM 87109

**Re: Albuquerque ER & Hospital  
4315 Wyoming Blvd. NE  
Traffic Circulation Layout  
Engineer's Stamp 10-12-21 (G19-D004D)**

Dear Mr. Niski,

Based upon the information provided in your submittal received 11-02-21, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking. Please coordinate with Zoning because you proposed less parking spaces than the required.
2. Keyed Note 1, 3, 12, 13, & 18: Details' sheet is missing. Provide details for each infrastructure, reference COA standard DWG.
3. Key note 2: Please clarify is it 6ft, or 6in?
4. Key note 7: All the proposed infrastructures should be located inside the property line.
5. Key note 9: Proposed charging station might conflict with overhang cars. Suggestion, you may provide curb bumpers in this conflict area.
6. Key note 11: provide cross walk striping details.
7. Identify the right of way width, medians, curb cuts, and street widths on Montgomery Blvd..
8. The minimum parking stall dimensions are:

| Type of parking | Min. Width | Min. Length | Min. Overhang |
|-----------------|------------|-------------|---------------|
| Standard        | 8.5'       | 18'         | 2'            |
| Compact         | 7.5'       | 15'         | 1.5'          |
| Motorcycle      | 4'         | 8'          | N/A           |
| ADA             | 8.5'       | 18'         | 2'            |

9. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
10. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.

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11. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
12. All bicycle racks shall be designed according to the following guidelines:
  - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
  - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
  - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
  - d. The rack allows varying bicycle frame sizes and styles to be attached.
  - e. The user is not required to lift the bicycle onto the bicycle rack.
  - f. Each bicycle parking space is accessible without moving another bicycle.
13. Bicycle racks shall be sturdy and anchored to a concrete pad.
14. A 1-foot clear zone around the bicycle parking stall shall be provided.
15. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
16. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
17. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
18. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, public right-of-way, or abutting lots.
19. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way; provide a copy of refuse approval.
20. Provide Fire Marshal Approval.
21. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
22. Please provide a sight distance exhibit
23. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
24. Add note for existing Pedestal Sign to be located inside private property which includes Air Space.
25. Please specify the City Standard Drawing Number when applicable.
26. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

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Please include a copy of your shared access agreement with the adjacent property owner and an APPROVED PLAT for subdividing lot.

27. Water Tap: Will this be done by mini work order thru Water Authority? Explain since it is impacting COA/Public ROW.
28. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
29. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

PO Box 1293

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Albuquerque

NM 87103

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Albuquerque ER & Hospital **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADA SUBDIVISION (BEING COMPRISED OF LOTS 1-A AND 5-A LA MIRADA SUBDIVISION)

**City Address:** 4315 Wyoming Blvd NE Albuquerque NM 87109

**Applicant:** Tierra West, LLC **Contact:** \_\_\_\_\_

**Address:** 5571 Midway Park Place NE Albuquerque NM 87109

**Phone#:** 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

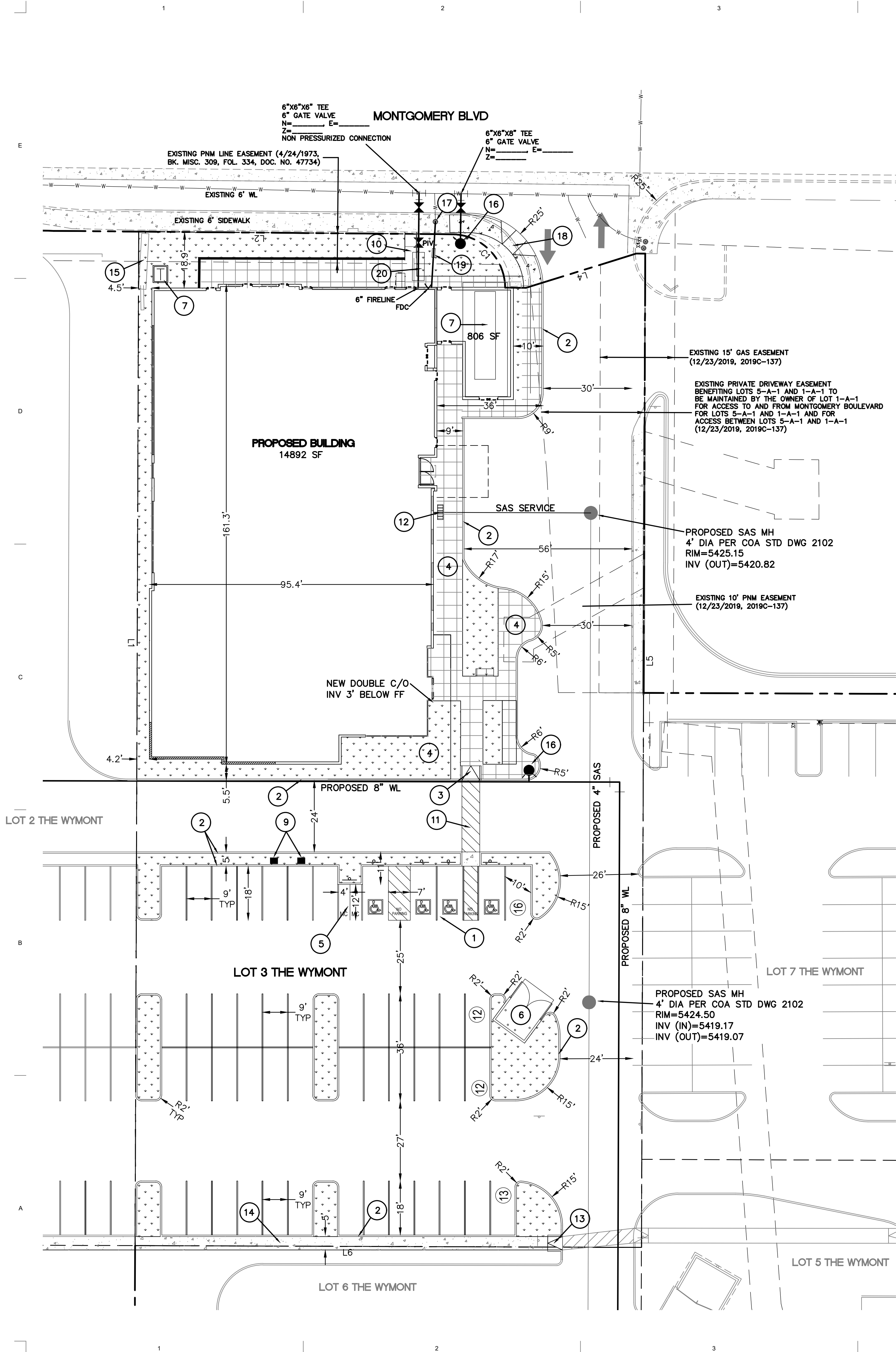
**DATE SUBMITTED:** 11/2/2021 **By:** Jonathan Niski

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER

KEYED NOTES

- ACCESSIBLE PARKING SPACE SEE DETAIL SHEET DET-1
- 6' CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- CONCRETE SIDEWALK PER COA STD DWG 2430
- MOTORCYCLE SPACES W/SIGN SEE DETAIL SHEET DET-1
- DUMPSTER SEE DETAIL SHEET DET-1
- GENERATOR
- TRANSFORMER
- CHARGING STATIONS
- 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- 6' PEDESTRIAN CROSSING
- BICYCLE RACK SEE DETAIL SHEET DET-1
- UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- 5' CONCRETE SIDEWALK PER COA STD DWG 2430
- EXISTING PEDESTAL SIGN
- NEW FIRE HYDRANT PER COA STD DWG 2340
- EXIST WATER METER CONTRACTOR TO FIELD VERIFY SIZE
- REMOVE AND DISPOSE EXIST CURB, SIDEWALK, ACCESSIBLE RAMP NEW CURB, SIDEWALK AND ACCESSIBLE RAMP SEE DET-1
- BACKFLOW PREVENTER (2'x3')
- BACKFLOW PREVENTER (4'x9.5')

| LINE TABLE |             |        |
|------------|-------------|--------|
| LINE       | BEARING     | LENGTH |
| L1         | S0°12'11"W  | 340.70 |
| L2         | N89°30'33"W | 105.28 |
| L4         | S72°42'55"W | 38.82  |
| L5         | N0°13'09"E  | 333.91 |
| L6         | S89°47'49"E | 170.12 |

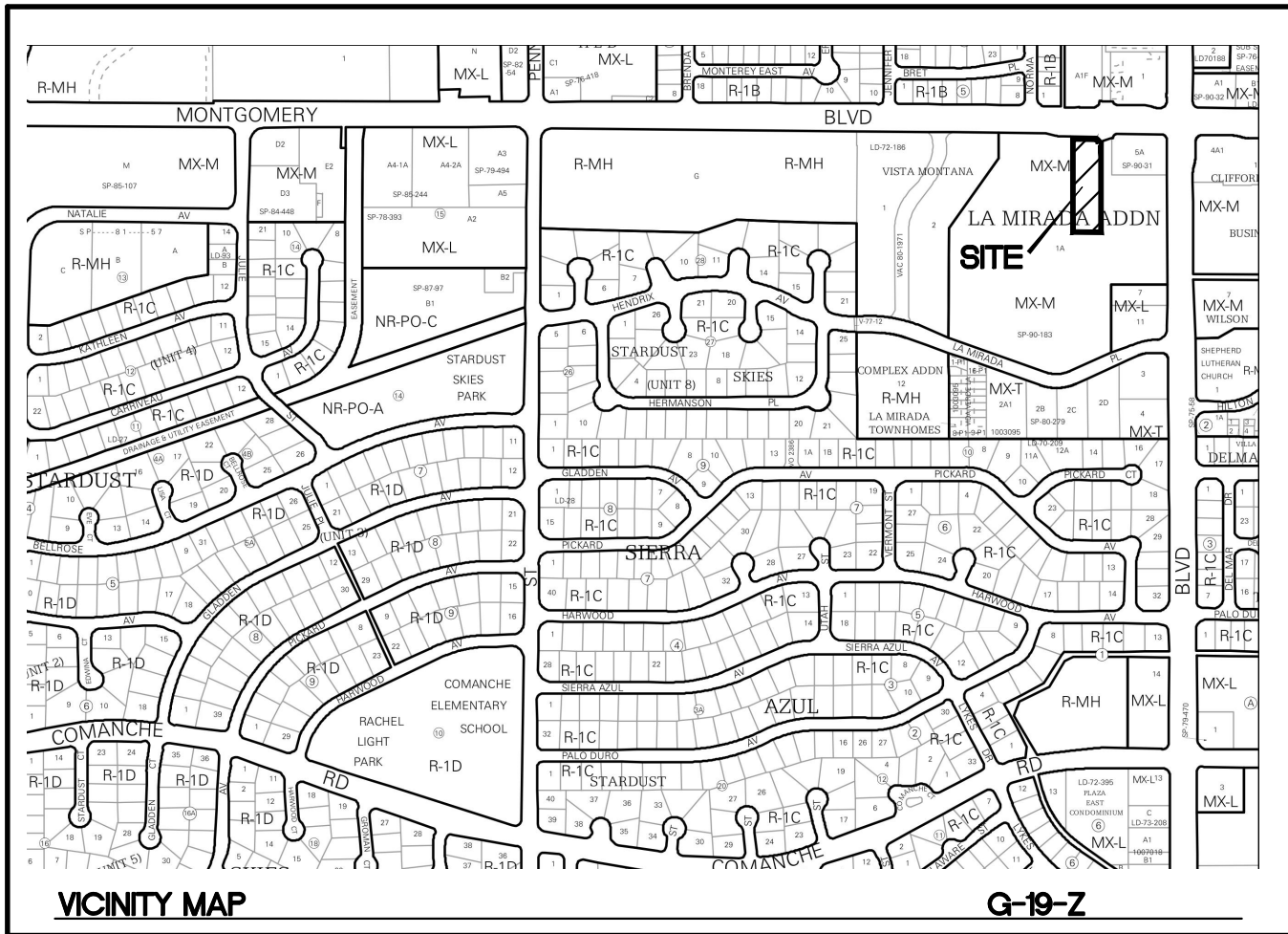
| CURVE TABLE |           |        |        |
|-------------|-----------|--------|--------|
| CURVE       | DELTA     | RADIUS | LENGTH |
| C1          | 89°08'53" | 18.02  | 28.04  |

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

GENERAL NOTES - SITE PLANS:

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
- WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
- GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
- GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
- PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
  - 1/2" @ ALL EXIT DOORS
  - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
  - 1/2" @ OVERHEAD DOORS
  - 1/2" @ PRE-FAB METAL WALL PANELS

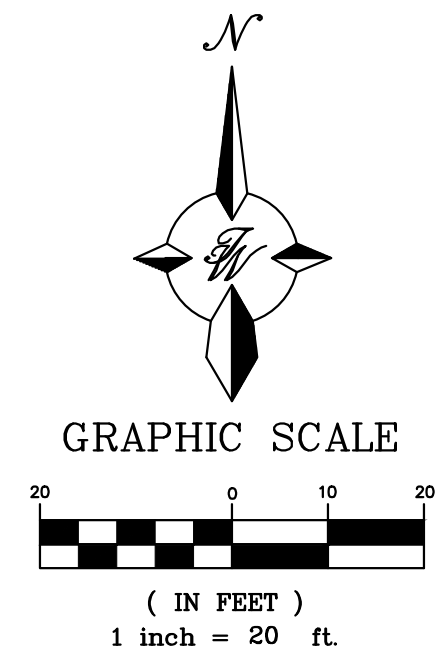


LEGAL DESCRIPTION

TRACT 3, THE WYMONT

SITE DATA

|                           |  |
|---------------------------|--|
| PROPOSED USAGE:           | AMBULATORY CARE CENTER                       |
| ZONE:                     | MX-M   |
| LOT AREA:                 | 57253 SF (1.31 ACRES)                        |
| SETBACKS                  |  |
| FRONT                     | 5'   |
| REAR                      | 15'  |
| SIDE                      | 0'   |
| BUILDING AREA:            | 15699 SF                                     |
| PARKING REQUIRED          | 52 SPACES (1 PER 400 SF FOR AMBULATORY CARE) |
| TOTAL PARKING PROVIDED    | 45 SPACES                                    |
| HC PARKING REQUIRED:      | 4 SPACES                                     |
| HC PARKING PROVIDED:      | 4 SPACES (1 VAN ACCESSIBLE)                  |
| MC PARKING REQUIRED:      | 2 SPACES                                     |
| MC PARKING PROVIDED:      | 2 SPACES                                     |
| BICYCLE PARKING REQUIRED: | 5 SPACES                                     |
| BICYCLE PARKING PROVIDED: | 5 SPACES                                     |
| LANDSCAPE AREA REQUIRED:  | 6233 SF                                      |
| LANDSCAPE AREA PROVIDED:  | 6244 SF                                      |



95% CONSTRUCTION SET

**dg**  
THE HARTMAN • MAJEWSKI  
**DESIGN GROUP**  
Architects • Engineers • Interior Design  
Planners • Urban Designers • LEED®  
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Albuquerque New Mexico 87106  
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CONSULTANT

**TERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
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www.tierwestllc.com

STAMP  
ENGINEER'S  
SEAL  
RONALD R. BOHANNAN  
NEW MEXICO  
7868  
PROFESSIONAL ENGINEER  
10-12-21  
RONALD R. BOHANNAN  
P.E. #7868

PROJECT NAME

# ALBUQUERQUE ER AND HOSPITAL

REVISIONS

|                 |              |
|-----------------|--------------|
| Copyright:      | Design Group |
| Drawn by:       | pm           |
| Checked by:     | JN           |
| Date:           | 10-12-21     |
| Project number: | 2021008      |

SHEET TITLE

TRAFFIC CIRCULATION  
LAYOUT

SHEET NUMBER

SP-1