

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 12, 2023

Jon Niski, PE
Tierra West LLC
5571 Midway Park Pl. NE
Albuquerque, NM 87109

Re: Albuquerque ER
8220 Montgomery Blvd. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 11-22-21 (G19-D004D)
Certification dated 05-01-23

Dear Mr. Niski ,

Based upon the information provided in your submittal received 05-04-23, Transportation Development cannot approve the release of Certificate of Occupancy for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- The site was inaccessible due to ongoing construction.

Once construction is complete resubmit

1. The approved and stamped TCL, Administrative Amendment, or Site Plan for Building Permit with changes drawn in red.
2. Transportation Certification letter on either the plan or applicant's letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services
\\ma via: email
C: CO Clerk, File

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

May 1, 2023

Marwa Al-najjar
Development Review Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: APPROVED TRAFFIC CIRCULATION PLAN FOR BUILDING
PERMIT CERTIFICATION
REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY
8220 MONTGOMERY BLVD NE ALBUQUERQUE NM 87123**

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Traffic Circulation Plan for issuance of a Temporary Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on April 27, 2023, and is in general accordance with the design intent of the Approved Traffic Circulation Plan dated 11/22/21.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the recorded document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Approved Traffic Circulation Plan. Therefore, we request approval of the as-built Approved Traffic Circulation Plan Permit and issuance of the Temporary Certificate of Occupancy. The purpose of this Temporary approval is to allow medical personnel and vendors to occupy the building while the contractor and developer complete the noted punch list items.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

The block contains a circular professional engineer seal for Ronald R. Bohannon, New Mexico, license number 7868. Below the seal is a handwritten signature in black ink.

Ronald R. Bohannon, P.E.

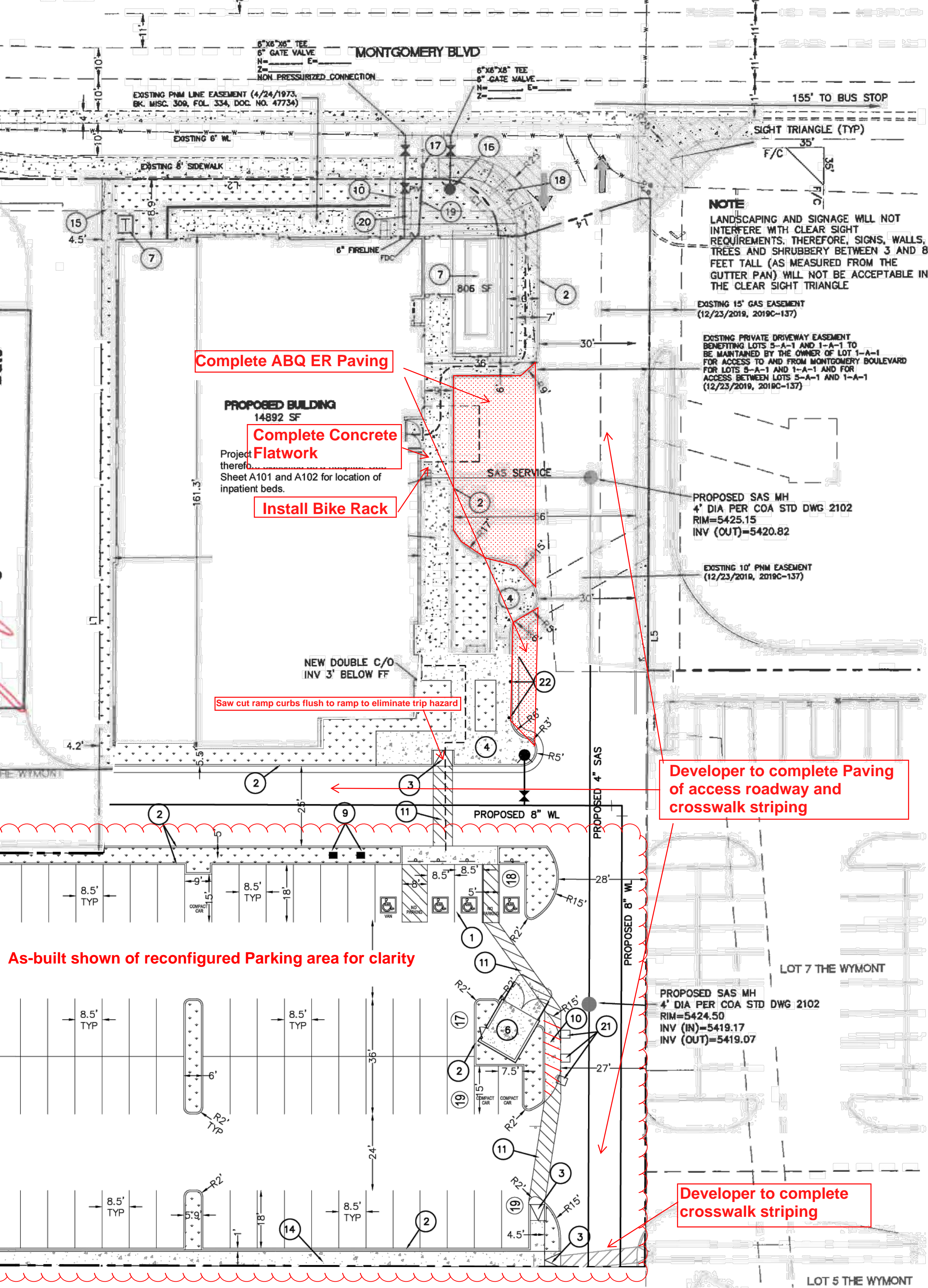
Enclosure/s

JN: 2020084
RRB/JN/bf

2020084 Temp Traffic Circulation Plan Submittal Letter-05-01-23.pdf

NOTES

1. ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK. CURB AND GUTTER PER COA STD DWG 2430 AND 2415A.
2. ALL IMPROVEMENTS LOCATED IN THE CITY ROW SHALL BE COMPLETED BY WORK ORDER.



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- PEDESTRIAN ROUTE
- LANDSCAPE AREA

KEYED NOTES

1. ACCESSIBLE PARKING SPACE W/SIGN SEE DETAIL SHEET SP-21
2. ACCESSIBLE SIGN TO BE 2' FROM FACE OF CURB SP-21
3. ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
4. CONCRETE SIDEWALK PER COA STD DWG 2430
5. MOTORCYCLE SPACES W/SIGN SEE DETAIL SHEET SP-2
6. SIGN TO BE 2' FROM FACE OF CURB
6. DUMPSTER W/RECYCLING SEE DETAIL SHEET SP-3
7. GENERATOR
8. TRANSFORMER
9. CHARGING STATIONS TO BE 2' FROM FACE OF CURB
10. 6" CONCRETE SIDEWALK PER COA STD DWG 2430
11. 6" PEDESTRIAN CROSSING
12. BICYCLE RACK W/1' CLEAR ZONE SEE DETAIL SHEET SP-2
13. UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
14. 5' CONCRETE SIDEWALK PER COA STD DWG 2430
15. EXISTING PEDESTAL SIGN
16. NEW FIRE HYDRANT PER COA STD DWG 2340
17. EXIST WATER METER CONTRACTOR TO FIELD VERIFY SIZE
18. NEW ACCESSIBLE RAMP PER COA STD DWG 2444A
19. BACKFLOW PREVENTER (2"x3")
20. BACKFLOW PREVENTER (4"x9.5")
21. PLACE RECYCLE CARTS AT THE CURB BY 7:00 AM ON SERVICE DAY

LINE TABLE		
LINE	BEARING	LENGTH
L1	S0°12'11"W	340.70
L2	N89°30'33"W	105.28
L4	S72°42'55"W	38.82
L5	N0°13'09"E	333.91
L6	S89°47'49"E	170.12

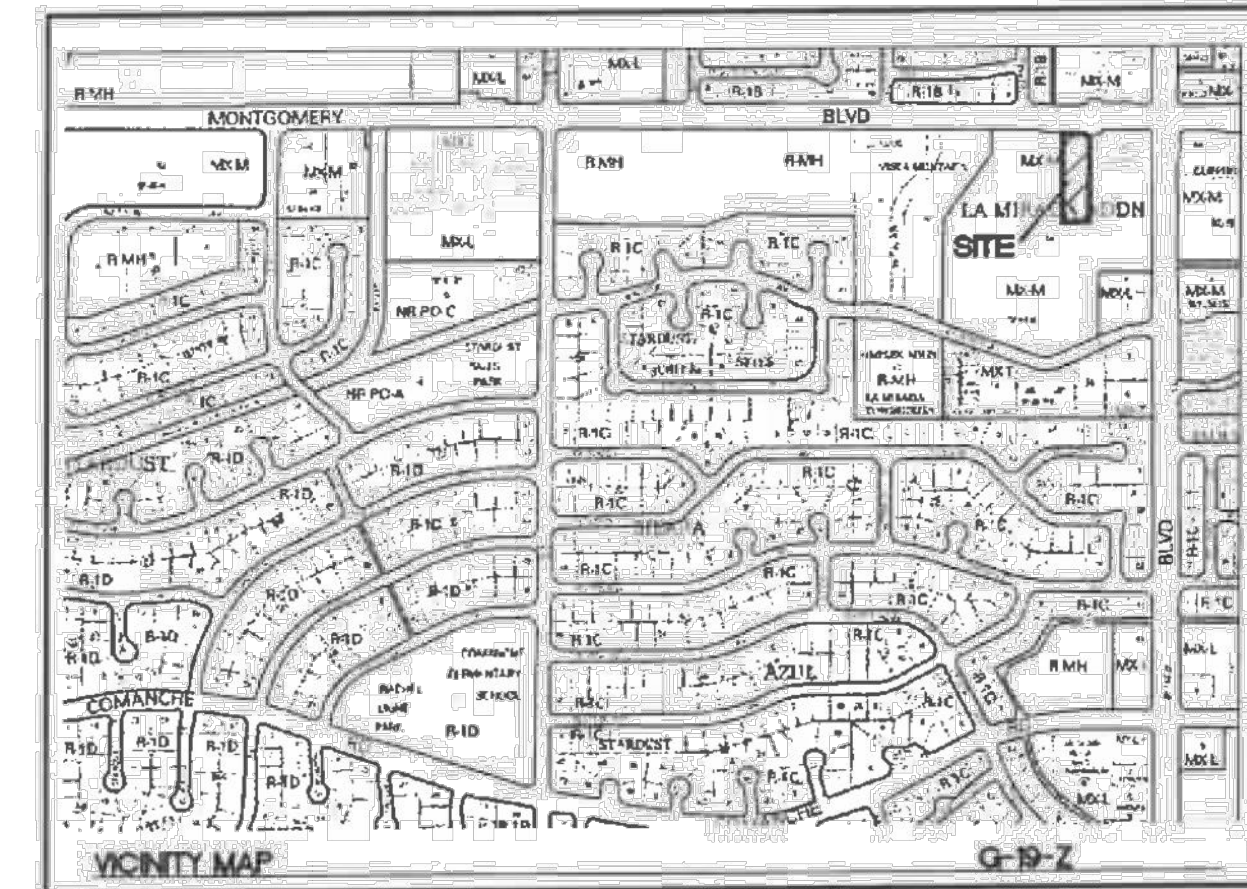
CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	89°08'53"	18.02	28.04

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

GENERAL NOTES - SITE PLANS

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
2. WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
3. GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
4. GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
5. GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
6. PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @ PRE-FAB METAL WALL PANELS
7. PARKING LOT SHALL BE ASPHALT PAVING



LEGAL DESCRIPTION

TRACT 3, THE WYMONT

SITE DATA

PROPOSED USAGE:	AMBULATORY CARE CENTER
ZONE:	MX-M
LOT AREA:	57253 SF (1.31 ACRES)
SETBACKS:	
FRONT	5'
REAR	15'
SIDE	0'
BUILDING AREA:	20759 SF
PARKING REQUIRED:	44 SPACES
	1 PER 400 SF FOR AMBULATORY CARE (52 SPACES)
	15% BUS SHELTER CREDIT (-8 SPACES)
TOTAL PARKING PROVIDED:	51 SPACES
HC PARKING REQUIRED:	4 SPACES
HC PARKING PROVIDED:	4 SPACES (1 VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	5 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES
LANDSCAPE AREA REQUIRED:	5353 SF
LANDSCAPE AREA PROVIDED:	5618 SF

dg
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CONSULTANT

TIERRA WEST, LLC
5571 MIDWAY PARK PL. NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.getwestllc.com

STAMP
ENGINEER'S
SEAL
RONALD R. BOHANNAN
PROFESSIONAL ENGINEER
11-22-21
P.E. #7898
PROJECT NAME

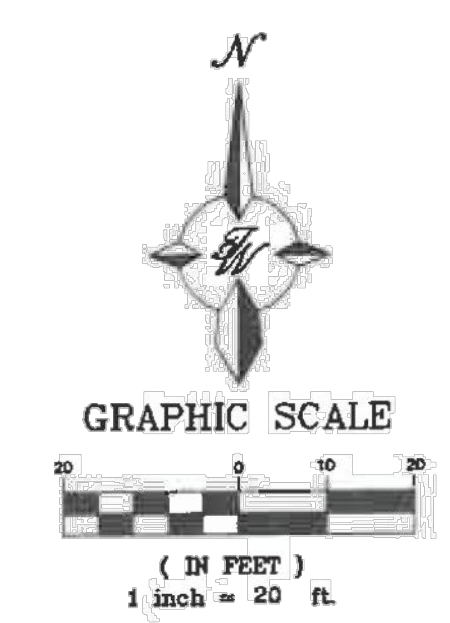
ALBUQUERQUE ER
AND HOSPITAL

REVISIONS

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SHEET TITLE
**TRAFFIC CIRCULATION
LAYOUT**

SHEET NUMBER
SP-1



TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed _____
Date _____

CONDITION OF FINAL C.O. APPROVAL:
PROVIDE THE APPROVED/RECORDED
FINAL PLAN TO TRANSPORTATION
DEVELOPMENT SECTION

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

619-D004D