

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 18, 2021

Jonathan Niski, PE
Tierra West, LLC
5571 Midway Park NE
Albuquerque, NM 87109

Re: Albuquerque ER & Hospital
4315 Wyoming Blvd. NE
Traffic Circulation Layout
Engineer's Stamp 11-09-21 (G19-D004D)

Dear Mr. Niski,

Based upon the information provided in your submittal received 11-16-21, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Key note 18: Proposed driveway access Ramp on-site plan is not per COA standard DWG. Please modify the site plan.
2. Site plan showing that ADA Van access aisle is 8', but the details sheet shows 7'. Please address this concern.
3. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
4. ADA Van accessible aisle: Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
5. ADA Parking space: It appears there will be a conflict between the overhang vehicle and the proposed ADA sign. Please address this concern.
6. Provide Fire Marshal Approval.
7. Provide a copy of Approved Preliminary Plat. (This is a condition for approving TCL)

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Albuquerque ER & Hospital **Building Permit #:** _____ **Hydrology File #:** G19D004D
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LT 1-A-1 PLAT FOR LOTS 1-A-1 AND 5-A-1 LA MIRADASUBDIVISION (BEING COMPRISED OF LOTS 1-A AND 5-A LA MIRADASUBDIVISION)
City Address: 4315 Wyoming Blvd NE Albuquerque NM 87109

Applicant: Tierra West, LLC **Contact:** _____
Address: 5571 Midway Park Place NE Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/16/2021 **By:** Jonathan Niski

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 8, 2021

Jonathan Niski, PE,
Tierra West, LLC
5571 Midway Park NE
Albuquerque, NM 87109

Re: Albuquerque ER & Hospital
4315 Wyoming Blvd. NE
Traffic Circulation Layout
Engineer's Stamp 10-12-21 (G19-D004D)

Dear Mr. Niski,

Based upon the information provided in your submittal received 11-02-21, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking. Please coordinate with Zoning because you proposed less parking spaces than the required.
2. Keyed Note 1, 3, 12, 13, & 18: Details' sheet is missing. Provide details for each infrastructure, reference COA standard DWG.
3. Key note 2: Please clarify is it 6ft, or 6in?
4. Key note 7: All the proposed infrastructures should be located inside the property line.
5. Key note 9: Proposed charging station might be in conflict with overhang cars. Suggestion, you may provide curb bumpers in this conflict area.
6. Key note 11: provide cross walk striping details.
7. Identify the right of way width, medians, curb cuts, and street widths on Montgomery Blvd..
8. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

9. The ADA accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.
10. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

11. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
12. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
13. Bicycle racks shall be sturdy and anchored to a concrete pad.
14. A 1-foot clear zone around the bicycle parking stall shall be provided.
15. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
16. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
17. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
18. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, public right-of-way, or abutting lots.
19. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way; provide a copy of refuse approval.
20. Provide Fire Marshal Approval.
21. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
22. Please provide a sight distance exhibit
23. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
24. Add note for existing Pedestal Sign to be located inside private property which includes Air Space.
25. Please specify the City Standard Drawing Number when applicable.
26. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement.

PO Box 1293

Albuquerque

NM 87103

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CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

Please include a copy of your shared access agreement with the adjacent property owner and an APPROVED PLAT for subdividing lot.

27. Water Tap: Will this be done by mini work order thru Water Authority? Explain since it is impacting COA/Public ROW.
28. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
29. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

PO Box 1293

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

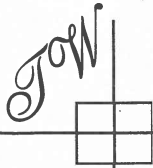
Albuquerque

NM 87103

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

www.cabq.gov

via: email
C: CO Clerk, File



TIERRA WEST, LLC

November 15, 2021

Ms. Marwa Al-najjar
City of Albuquerque, Planning Department
PO BOX 1293
Albuquerque, NM 87103

**RE: ALBUQUERQUE ER & HOSPITAL
4315 WYOMING BLVD NE
TRAFFIC CIRCULATION LAYOUT**

Dear Ms. Al-najjar

Per the correspondence dated November 8, 2021, please find the following responses addressing the comments listed below:

1. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking. Please coordinate with Zoning because you proposed less parking spaces than the required.

All parking space calculations are shown in the Site Data Table.

2. Keyed Note 1, 3, 12, 13, & 18: Details' sheet is missing. Provide details for each infrastructure, reference COA standard DWG.

COA Standard Drawings are referenced where applicable. Sheet SP-2 is now included showing all of the details.

3. Key note 2: Please clarify is it 6ft, or 6in?

The note was updated to reflect a six inch curb.

4. Key note 7: All the proposed infrastructures should be located inside the property line

Key note 7 is for a generator that is located within the property.

5. Key note 9: Proposed charging station might be conflict with overhang cars. Suggestion, you may provide curb bumpers in this conflict area.

The charging stations are now shown to be 2' from the curb to allow for vehicle overhang.

6. Key note 11: Provide cross walk striping details.

The pedestrian crossing are concrete and a details is shown on Sheet SP-2

7. Identify the right of way width, median, curb cuts, and street widths on Montgomery Blvd..

All of the Montgomery lane and median information is now shown on the plan.

8. The Minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

All parking spaces meet these requirements.

9. The ADA accessible spaces must include as access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.

The aisles are dimensioned accordingly and shown in a detail on Sheet SP-2.

10. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978
"Violations Are Subject to a Fine and/or Towing." Please call out detail and location of signs.
The sign detail is shown on Sheet SP-2
11. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
The sign detail is shown on Sheet SP-2.
12. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frames sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.**The bicycle rack complies with these requirements and details are shown on Sheet SP-2.**
13. Bicycle racks shall be sturdy and anchored to a concrete pad.
This detail is shown on Sheet SP-2.
14. A 1-foot clear zone around the bicycle parking stall shall be provided.
This detail is shown on Sheet SP-2.
15. Bicycle parking spaces shall be at least 6feet long and 2feet wide.
This detail is shown on Sheet SP-2.
16. Per the IDO, a 6ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
The ADA pathway is now shown on Sheet SP-1 as a heavy dashed line. Details are shown on Sheet SP-2.
17. Per DPM, a 6ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
The ADA pathway is now shown on Sheet SP-1 as a heavy dashed line. Details are shown on Sheet SP-2.
18. Parking areas shall have barriers to prevent vehicles from extending over public sidewalks, public right-of-way; or abutting lots.
Sidewalks are now shown to be 2' away from the parking spaces to all for vehicle overhang.
19. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into public right of way: provide a copy of refuse approval.
The dumpster enclosure is located on private property and accessed via private access aisles. Solid Waste has signed the plan.
20. Provide Fire Marshal Approval
The approved Fire One Sheet is now included.
21. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles
General Note 7 was added stating the parking area shall be asphalt pavement.
22. Please provide a sight distance exhibit
Not sure what is being requested as this is an existing access on Montgomery and there are not sight issues at this location.

23. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
The clear sight triangle is now shown on the plan and the note was added as well.
24. Add note for existing Pedestal Sign to be located inside private property which includes Air Space.
The existing sign is fully contained within the property which includes the Air Space.
25. Please specify the City Standard Drawing Number when applicable.
These are specified where applicable.
26. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner and an APPROVED PLAT for subdividing lot.
The Preliminary Plat was approved at DRB and contains cross lot drainage, parking and access easements. A copy of the plat is included.
27. Water Tap: Will this be done by mini work order thru Water Authority? Explain since it is impacting COA/Public ROW.
These improvements are shown on the City Work Order Plans currently being reviewed at DRC.
28. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
This note was added to Sheet SP-1.
29. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
This note was added to Sheet SP-1.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

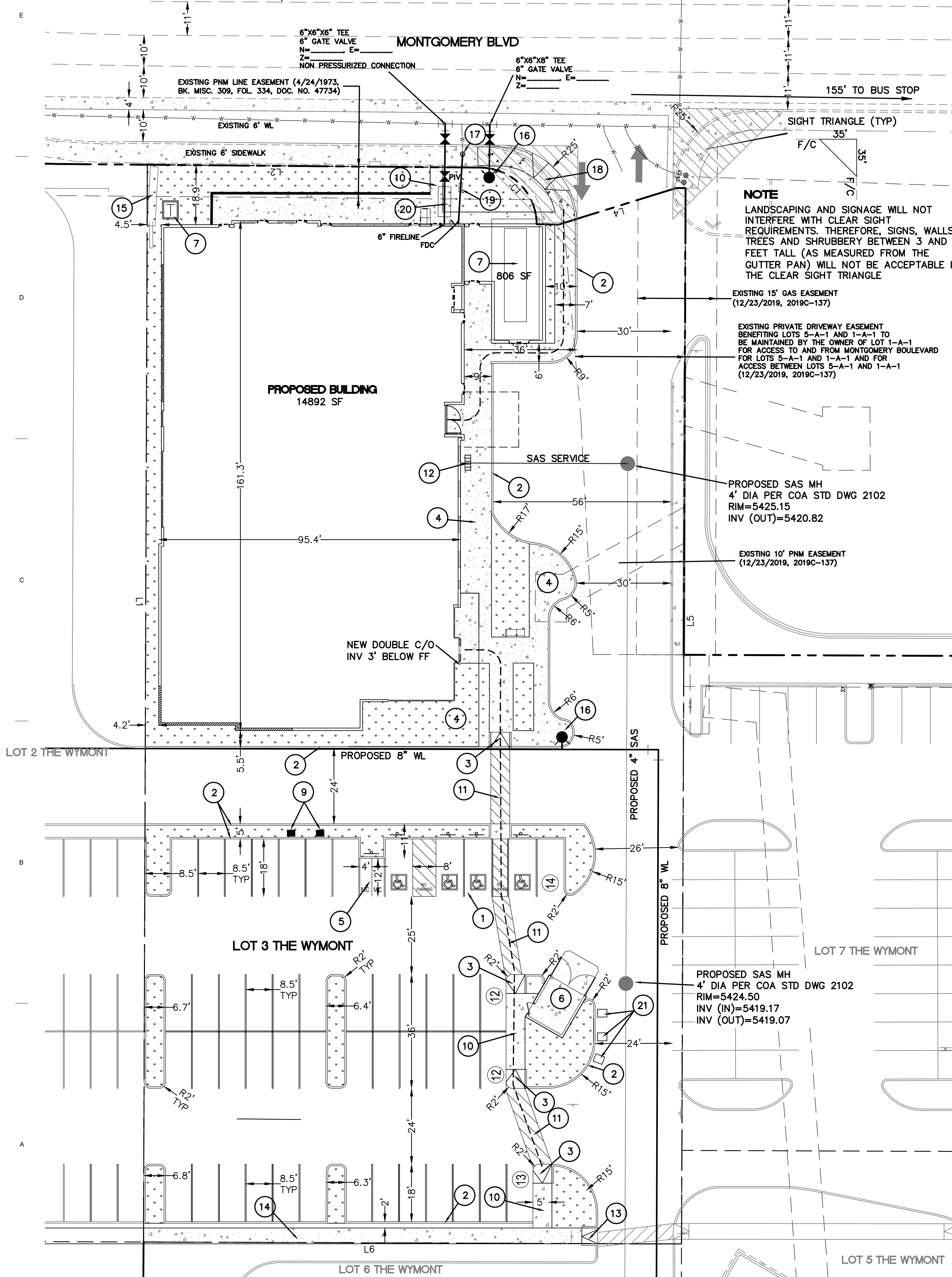


Ronald R. Bohannon, P.E

JN: 2020084
RRB/jn/mc

NOTES

1. ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK, CURB AND GUTTER PER COA STD DWG 2430 AND 2415A
2. ALL IMPROVEMENTS LOCATED IN THE CITY ROW SHALL BE COMPLETED BY WORK ORDER



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- PEDESTRIAN ROUTE
- LANDSCAPE AREA

KEYED NOTES

- 1 ACCESSIBLE PARKING SPACE SEE DETAIL SHEET SP-21
- 2 6\"/>

LINE TABLE		
LINE	BEARING	LENGTH
L1	S0°12'11"W	340.70
L2	N89°30'33"W	105.28
L4	S72°42'55"W	38.82
L5	N0°13'09"E	333.91
L6	S89°47'49"E	170.12

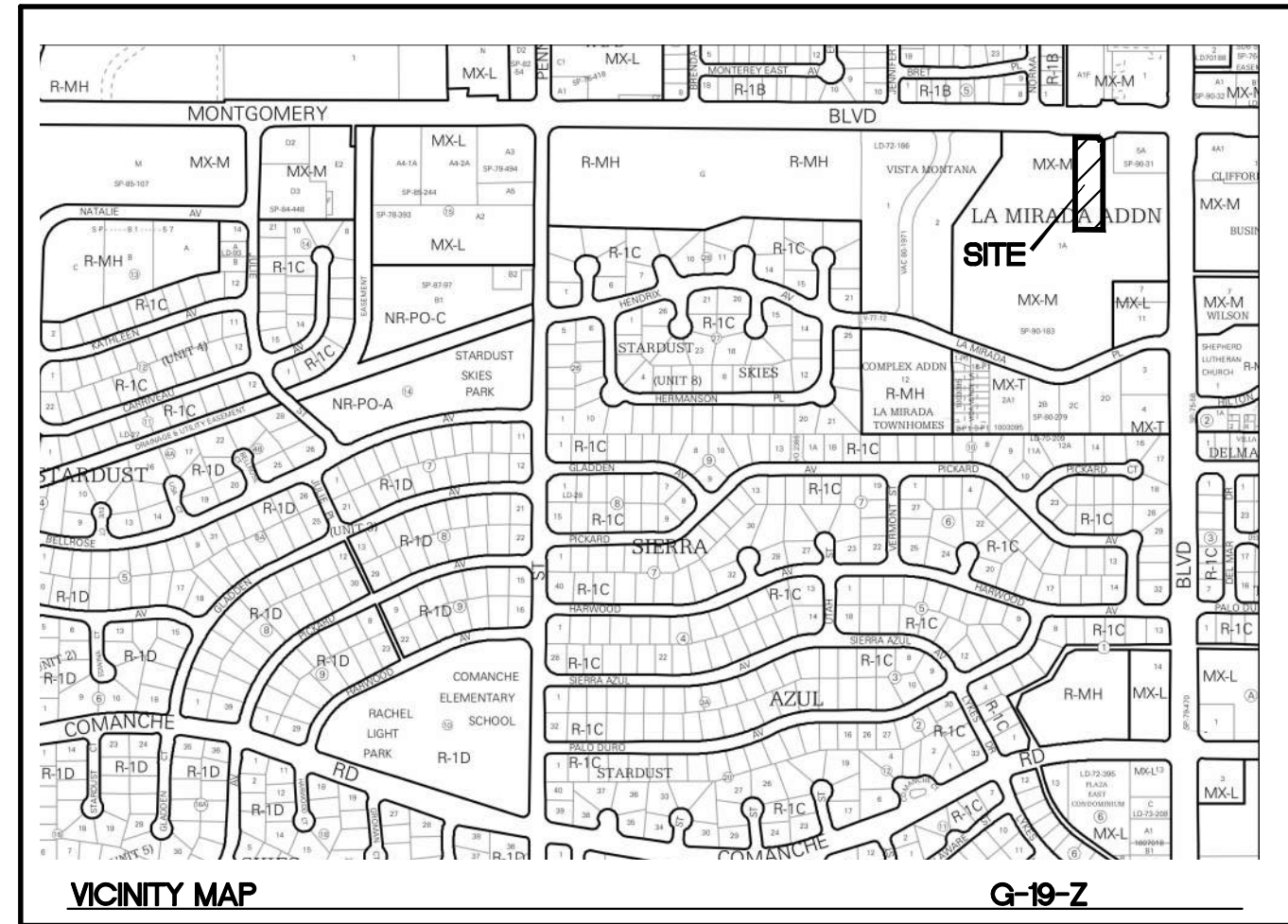
CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	89°08'53"	18.02	28.04

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

GENERAL NOTES - SITE PLANS:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
2. WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
3. GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
4. GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
5. GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
6. PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2\"/>
7. PARKING LOT SHALL BE ASPHALT PAVING



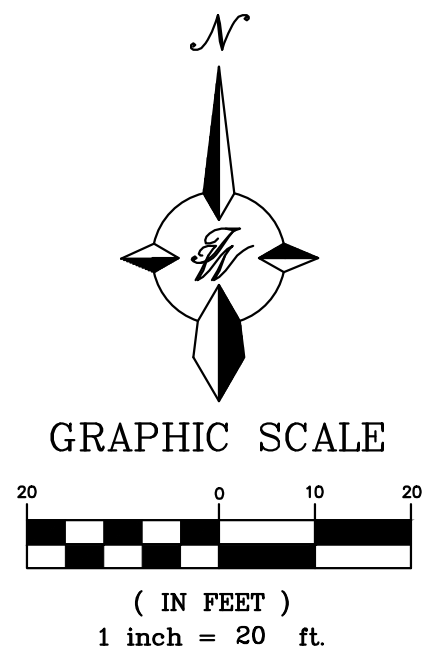
LEGAL DESCRIPTION

TRACT 3, THE WYMONT

SITE DATA

PROPOSED USAGE:	AMBULATORY CARE CENTER
ZONE:	MX-M
LOT AREA:	57253 SF (1.31 ACRES)
SETBACKS	
FRONT	5'
REAR	15'
SIDE	0'
BUILDING AREA:	20759 SF
PARKING REQUIRED	44 SPACES
	1 PER 400 SF FOR AMBULATORY CARE (52 SPACES)
	15% BUS SHELTER CREDIT (-8 SPACES)
TOTAL PARKING PROVIDED	51 SPACES
HC PARKING REQUIRED:	4 SPACES
HC PARKING PROVIDED:	4 SPACES (1 VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	5 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES
LANDSCAPE AREA REQUIRED:	5353 SF
LANDSCAPE AREA PROVIDED:	5618 SF

Approved for access by the Solid Waste Department
Herman Gallegos 11-12-21
Herman Gallegos



ALBUQUERQUE ER
AND HOSPITAL

REVISIONS

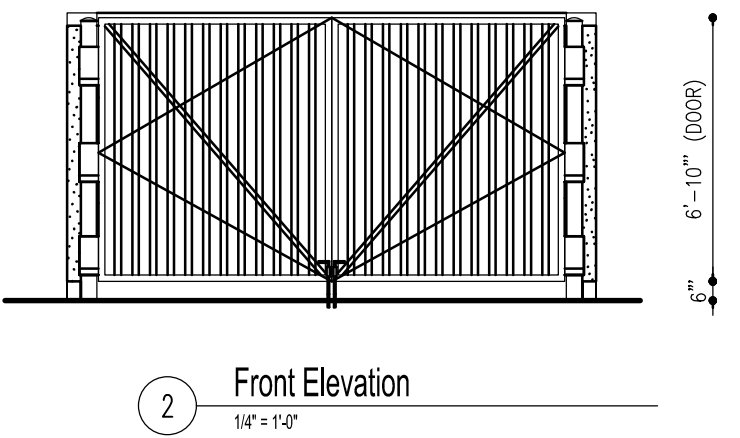
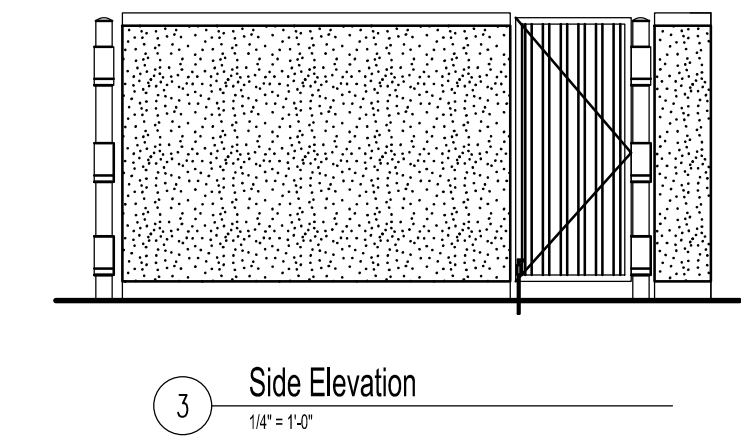
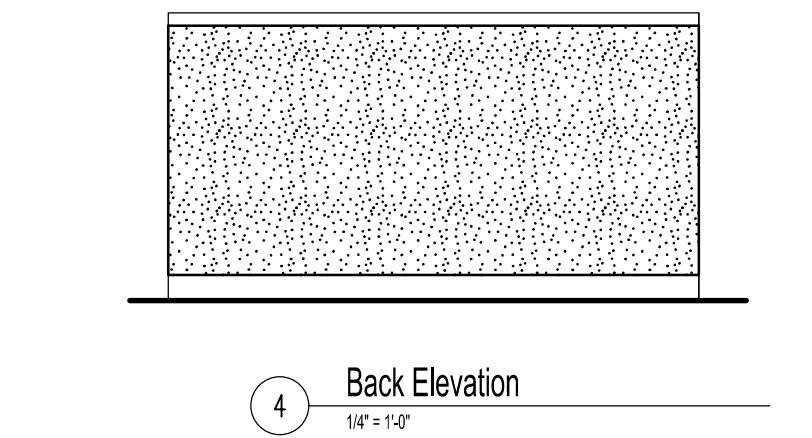
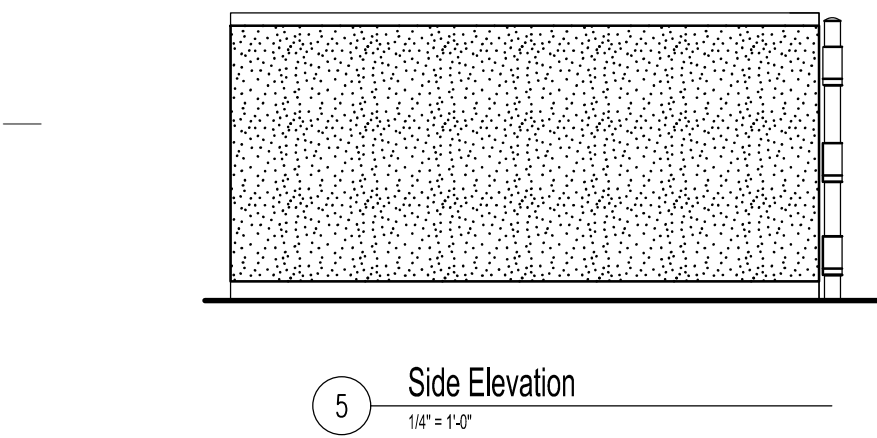
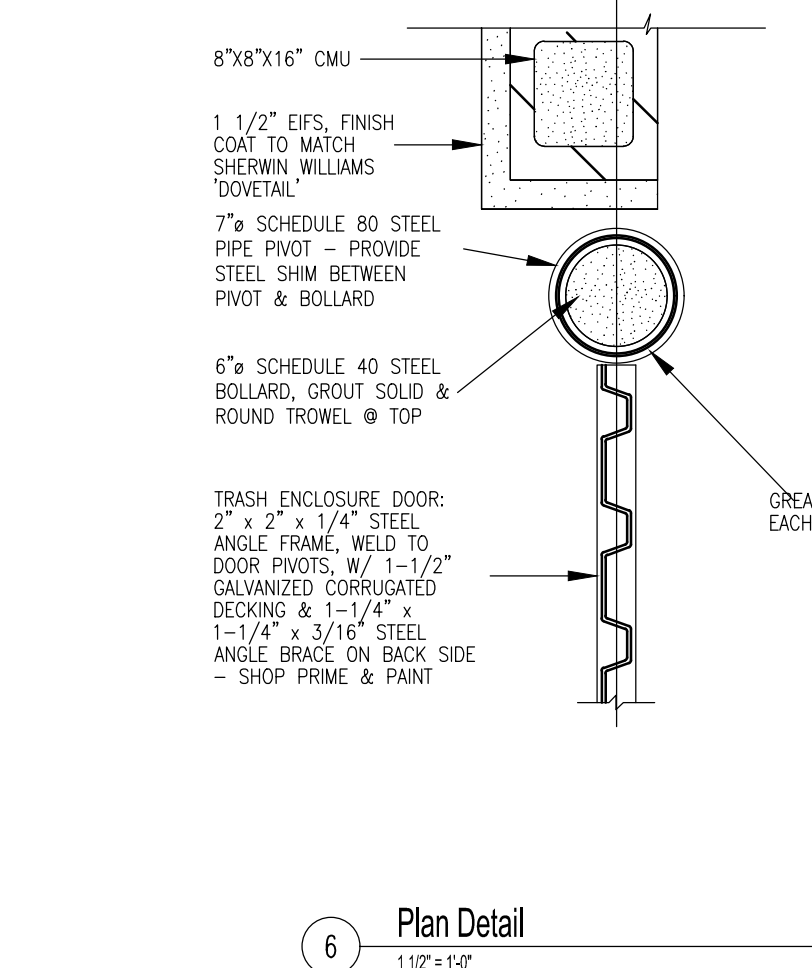
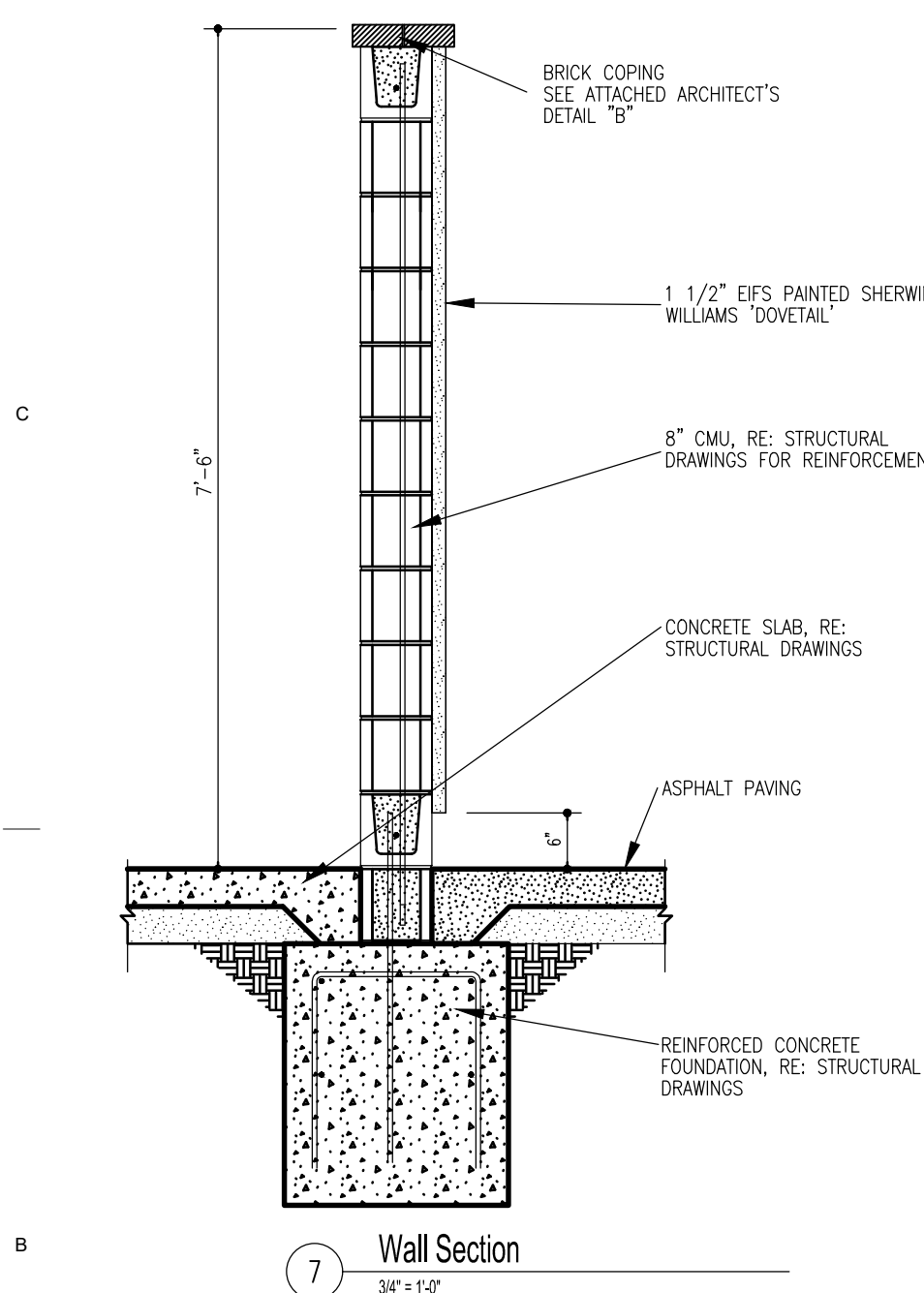
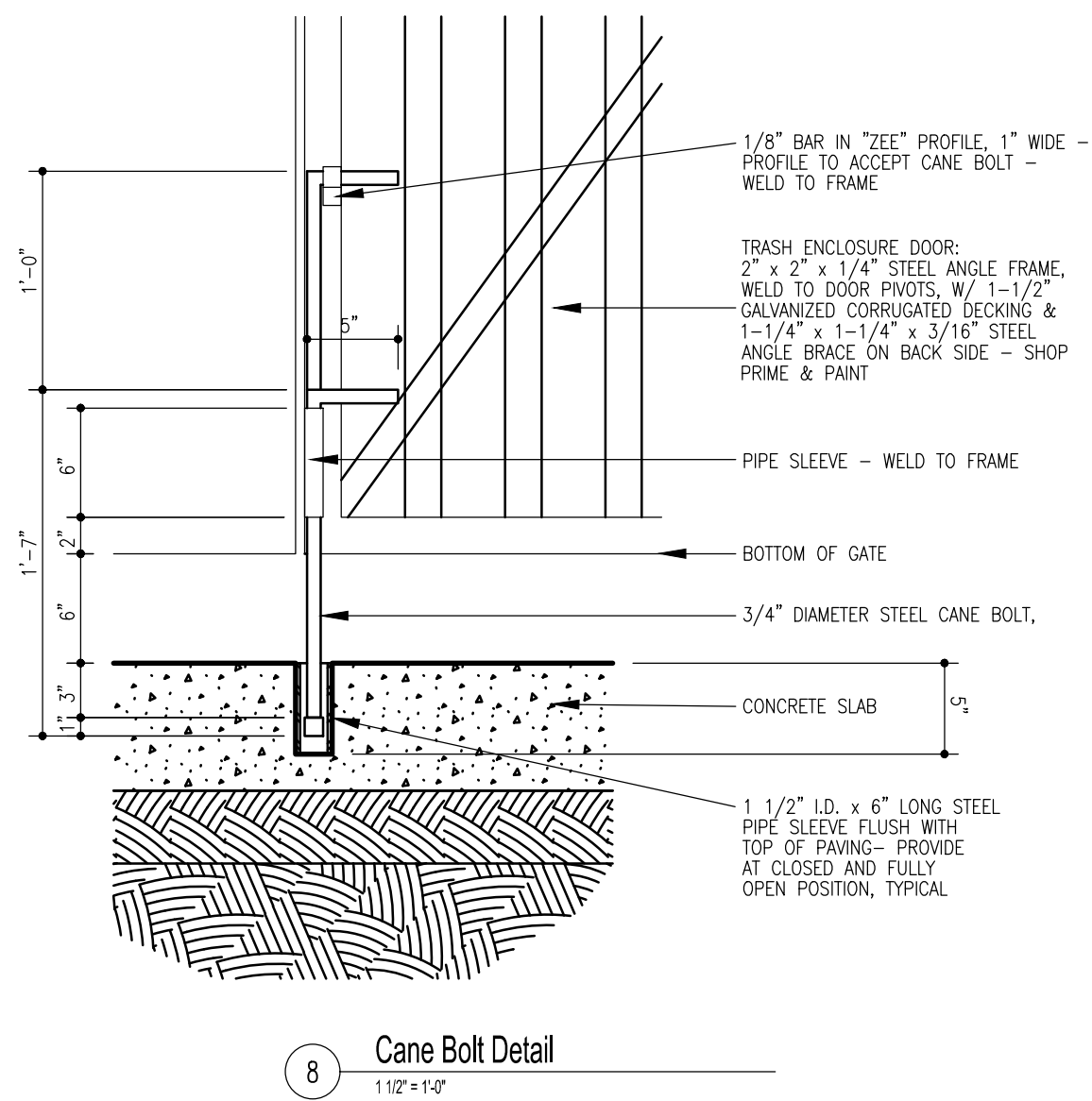
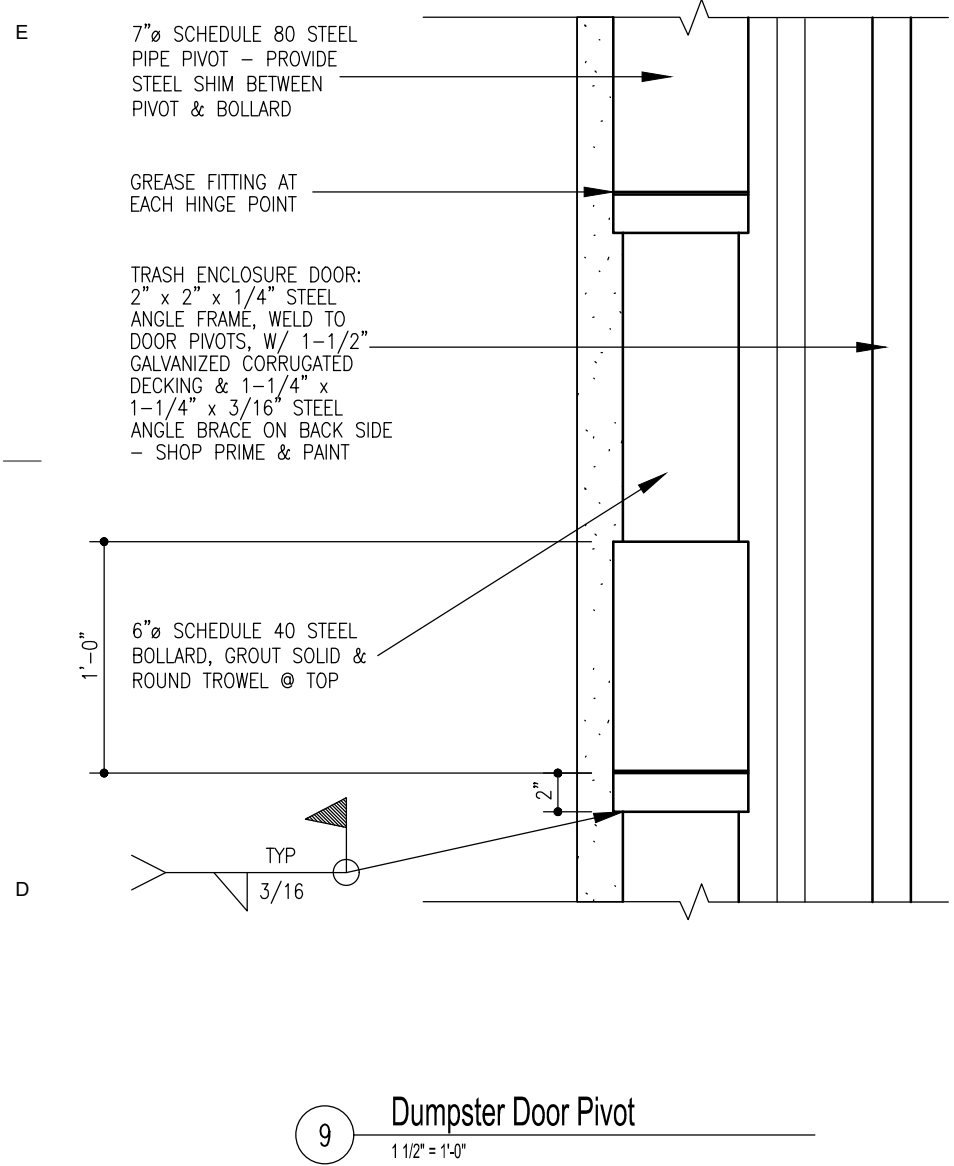
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Drawn by:	pm
Checked by:	JN
Date:	11-9-21
Project number:	2021008

SHEET TITLE

TRAFFIC CIRCULATION
LAYOUT

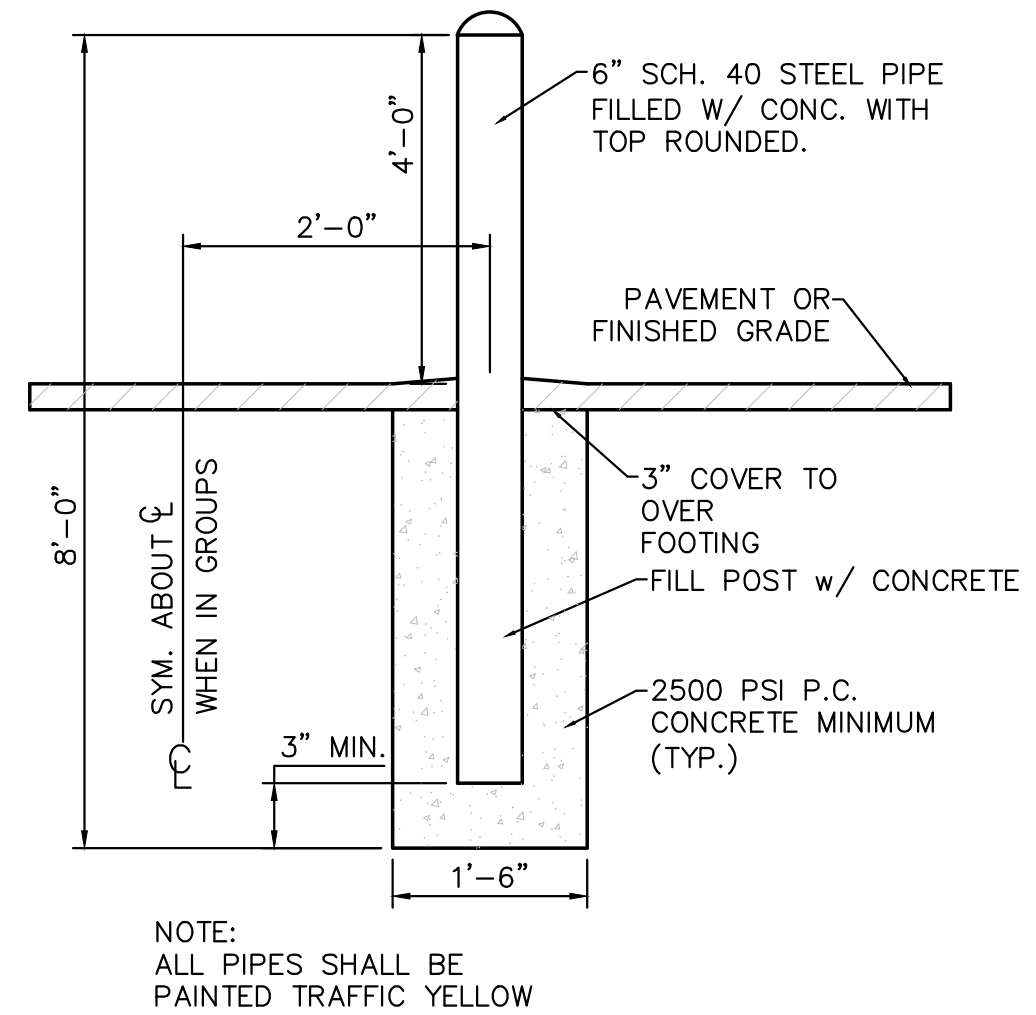
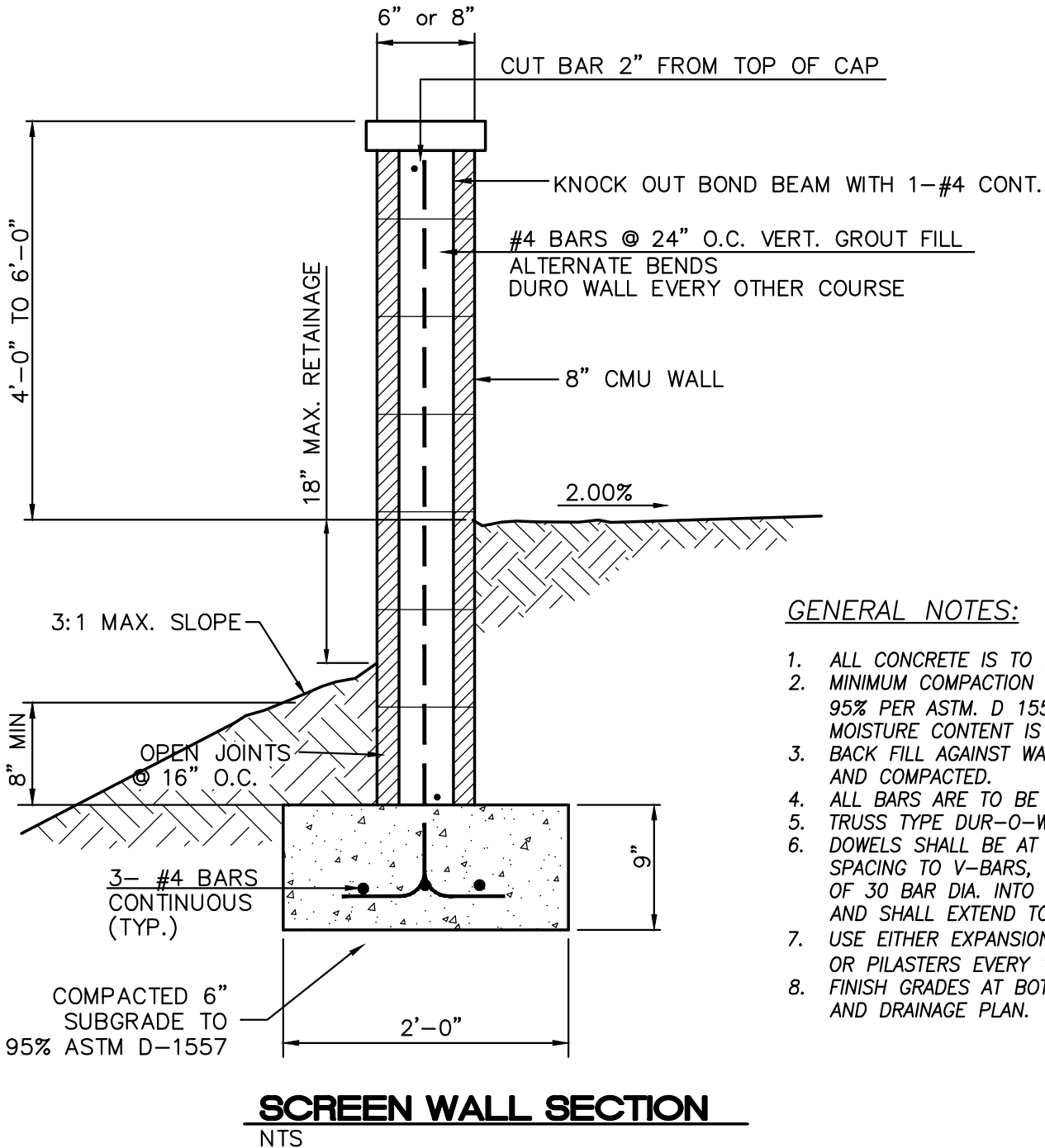
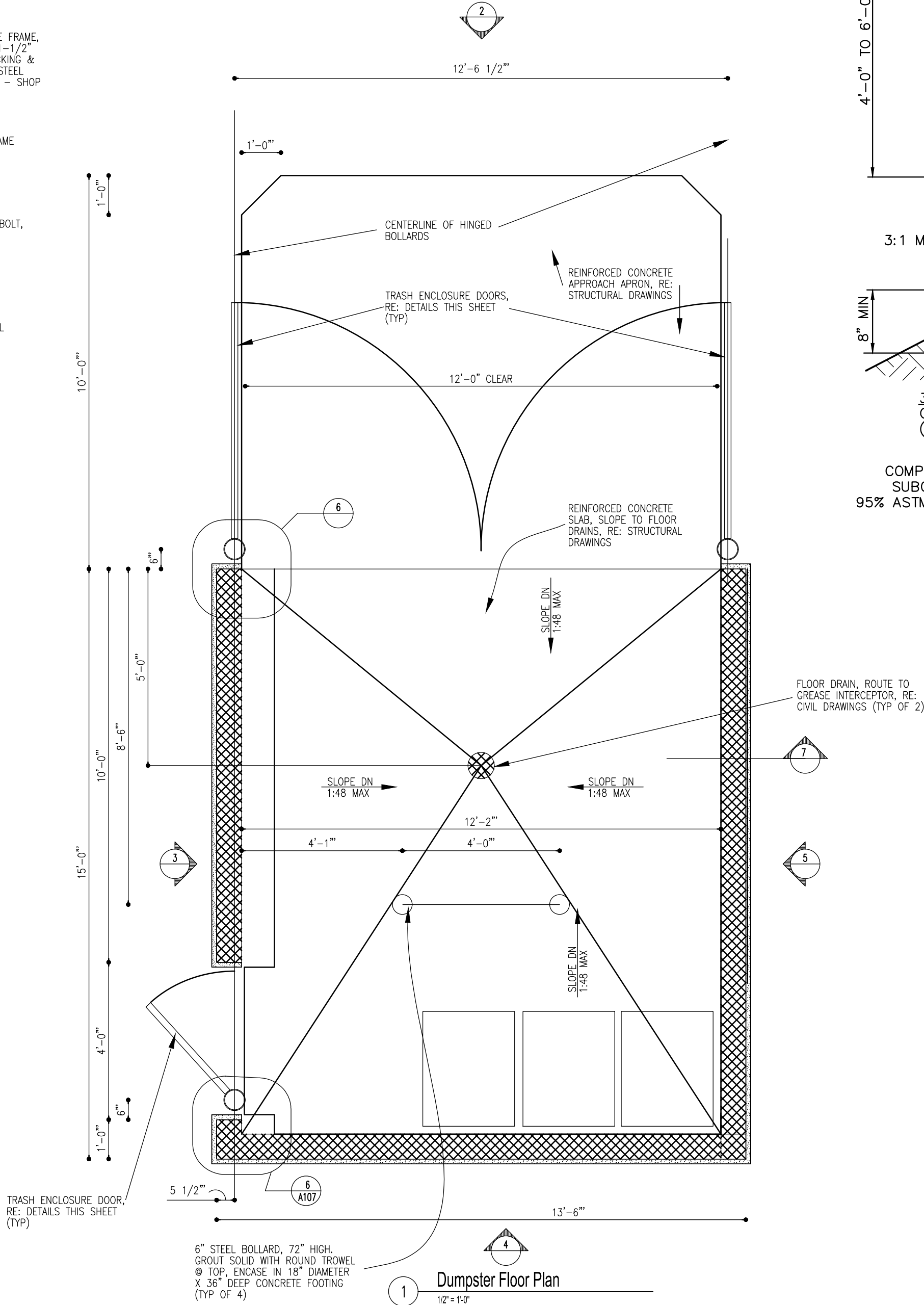
SHEET NUMBER

SP-1



General Notes

1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS



ALBUQUERQUE ER AND HOSPITAL

REVISIONS	
Copyright: Design Group	
Drawn by	pm
Checked by	JN
Date	11-9-21
Project number	2021008

SHEET TITLE
**CONSTRUCTION
DETAILS**

SHEET NUMBER
SP-3