

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 28, 2023

Donna J. Bohannon
Tierra West LLC
5571 Midway Park Pl., NE
Albuquerque, NM 87109

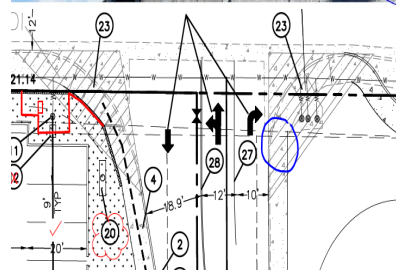
Re: Slim Chickens
8240 Montgomery Blvd. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 07-05-22 (G19-D004E)
Certification dated 11-13-23

Dear Ms. Bohannon,

Based upon the information provided in your submittal received 11-13-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please fix the concrete cracked on the northeast side of the site access.



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- Per site visit, there was a new egress within the drive-thru area. Please red-mark the approved site plan to represent the as-built situation. And “DO NOT ENTER” signs and pavement marking must be provided.



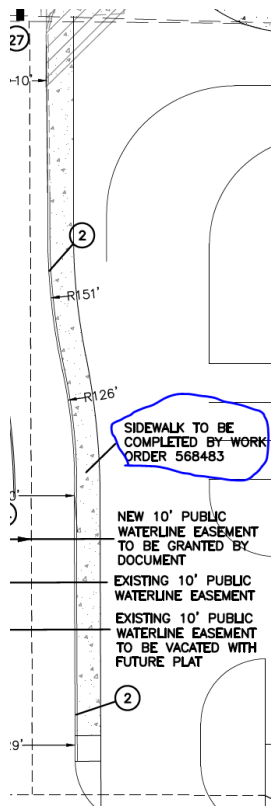
- Provide “MC” pavement marking.
- Remove the fence and construction debris from the site.
- As a condition of releasing the final CO, please provide a copy of modified approved plat, showing the 6 ft. wide public sidewalk easement on the east side of the property.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



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Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

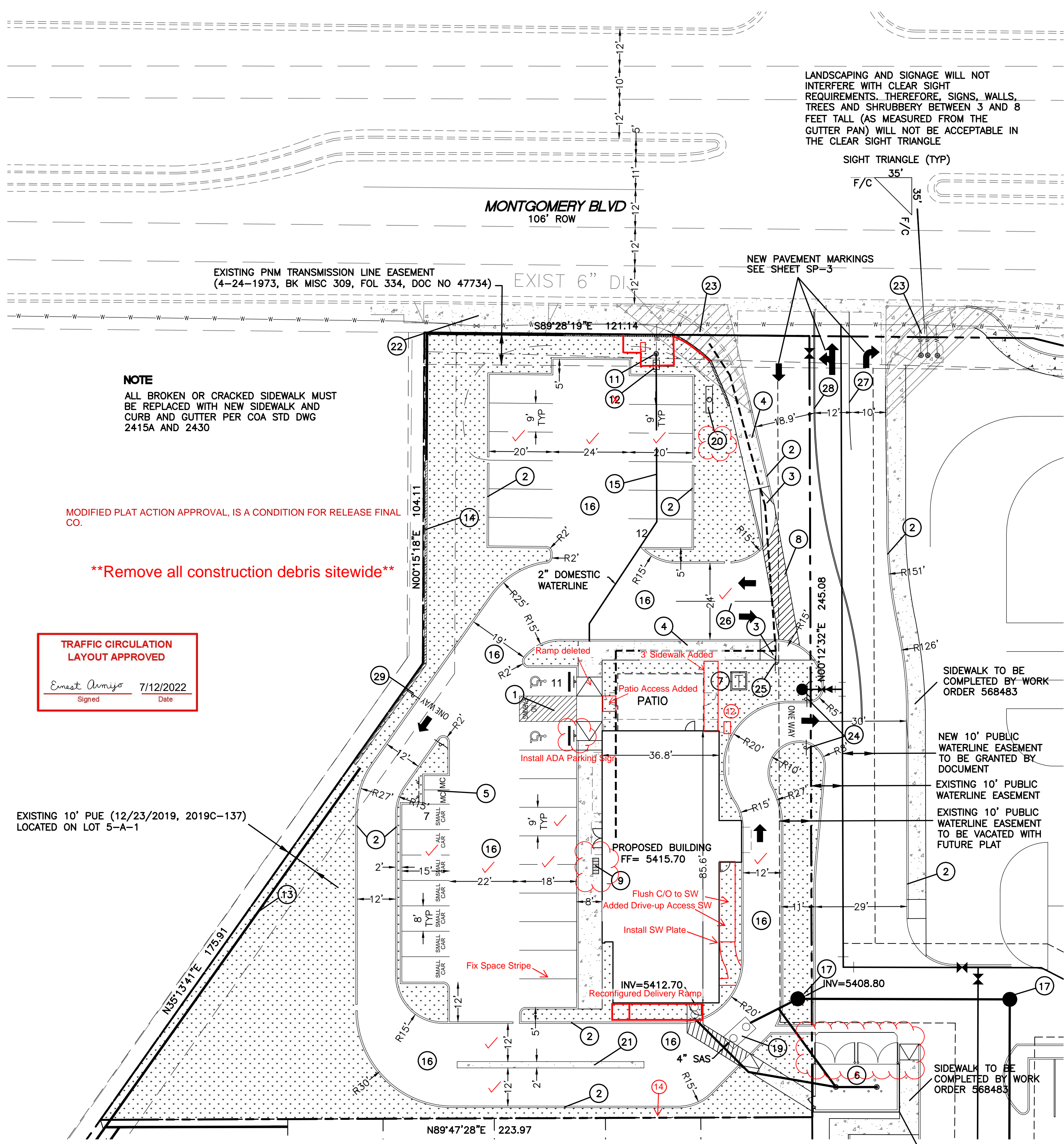
C: CO Clerk, File

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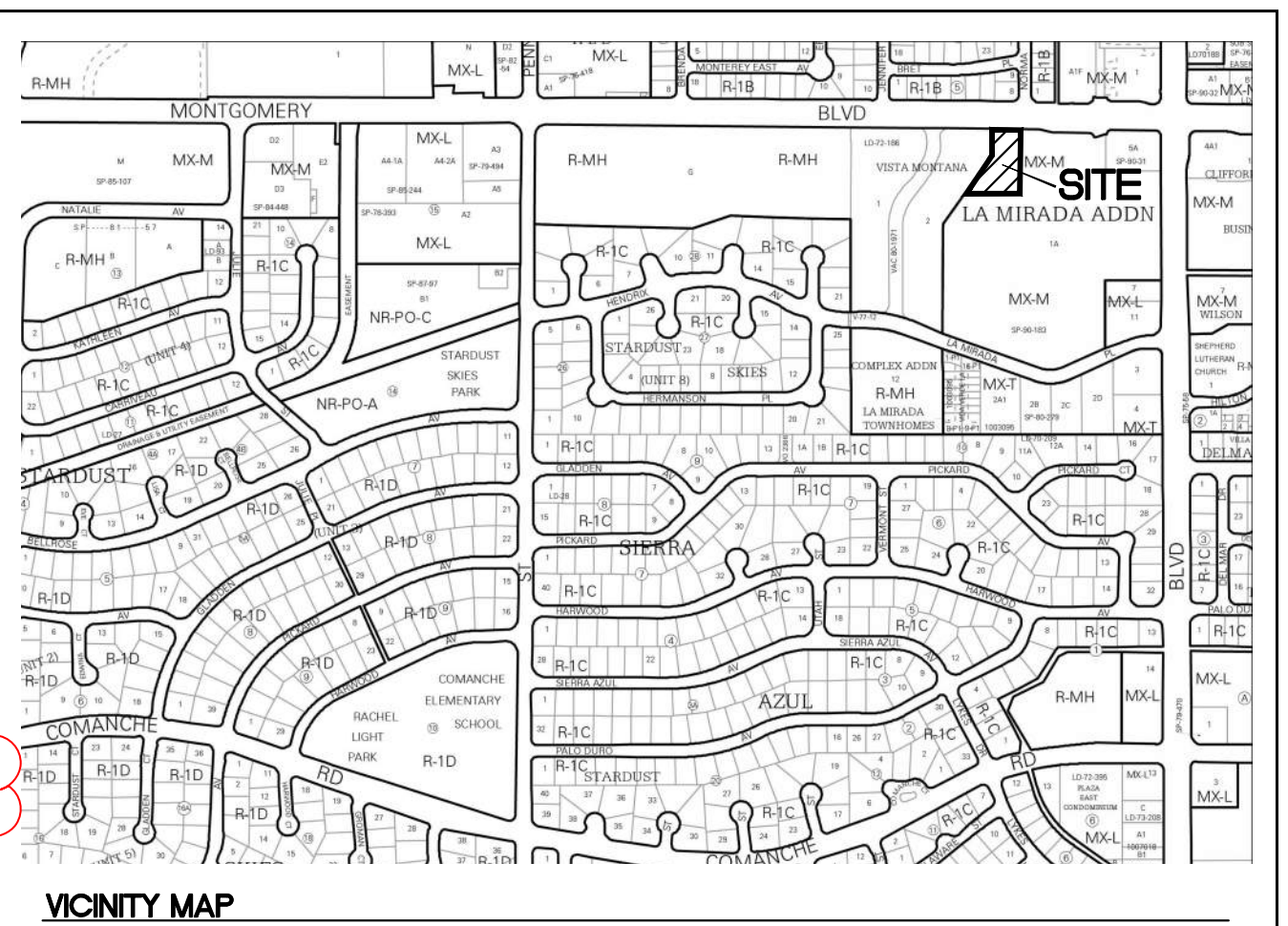
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- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - EXISTING CURB & GUTTER
 - PEDESTRIAN ROUTE
 - LANDSCAPE AREA
- KEYED NOTES**
- 1 ACCESSIBLE PARKING SPACE W/SIGN SEE DETAIL SHEET SP-2
 - 2 ACCESSIBLE SIGN TO BE 2' FROM FACE OF CURB
 - 3 6" CURB AND GUTTER (TYP) SEE DETAIL SHEET SP-2
 - 4 ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
 - 5 6" CONCRETE SIDEWALK PER COA STD DWG 2430
 - 6 MOTORCYCLE SPACES W/SIGN SEE DETAIL SHEET SP-2
 - 7 SIGN TO BE 2' FROM FACE OF CURB
 - 8 DOUBLE DUMPSTER W/RECYCLING SEE DETAIL SHEET SP-3
 - 9 TRANSFORMER
 - 10 6" PEDESTRIAN CROSSING SEE SHEET SP-3 FOR DETAIL
 - 11 BICYCLE RACK W/1' CLEAR ZONE SEE DETAIL SHEET SP-2
 - 12 FIRE HYDRANT BUILT UNDER PROJECT NO 568483
 - 13 EXIST WATER METER CONTRACTOR TO FIELD VERIFY SIZE
 - 14 BACKFLOW PREVENTER (2"x3")
 - 15 RETAINING WALL SEE DETAIL SHEET SP-3
 - 16 SCREEN WALL SEE DETAIL SHEET SP-3
 - 17 2" WL SERVICE
 - 18 ASPHALT PAVING
 - 19 SAS MH BUILT UNDER PROJECT NO 568483
 - 20 4" SAS SERVICE
 - 21 GREASE TRAP
 - 22 POLE SIGN
 - 23 RAISED CURB
 - 24 REMOVE AND DISPOSE EXISTING DRIVEWAY
 - 25 REPLACE WITH NEW CURB AND GUTTER AND SIDEWALK PER COA STD DWG 2430 AND 2415A
 - 26 REMOVE AND DISPOSE EXISTING ACCESSIBLE RAMP
 - 27 REPLACE WITH NEW ACCESSIBLE RAMP PER COA STD DWG 2444A
 - 28 DO NOT ENTER SIGN R5-1
 - 29 STOP SIGN R1-1
 - 30 4" SOLID WHITE STRIPE (30' LONG)
 - 31 4" SOLID WHITE STRIPE (44' LONG)
 - 32 4" DOUBLE YELLOW STRIPE (130' LONG)
 - 33 ONE WAY SIGN R6-1L

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.



LEGAL DESCRIPTION

TRACT 1 THE WYMONT

SITE DATA

PROPOSED USAGE

RESTAURANT

LOT AREA

37352 SF (0.86 ACRES)

ZONING

SU

BUILDING AREA

3570 SF

PARKING REQUIRED

8 spaces / 1000 gsf = 28 spaces

5 spaces / 1000 patio = 2 spaces

REQUIRED

30 SPACES

PARKING PROVIDED

28 SPACES

HC PARKING REQUIRED

2 SPACES

HC PARKING PROVIDED

2 SPACES

TOTAL

30 SPACES

MOTORCYCLE SPACES REQUIRED

2 SPACES

MOTORCYCLE SPACES PROVIDED

2 SPACES

BICYCLE SPACES REQUIRED

2 SPACES

BICYCLE SPACES PROVIDED

4 SPACES

LANDSCAPE NEEDED

5067 SF

LANDSCAPE PROVIDED

11385 SF

- GENERAL NOTES - SITE PLANS:**
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
 - WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
 - GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
 - GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
 - GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
 - PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @PRE-FAB METAL WALL PANELS
 - PARKING LOT SHALL BE ASPHALT PAVING

Approved for access by the Solid Waste Department for a double trash enclosure
Herman Gallegos 07-05-22
The property owner will disclose to the resident that purchases unit 19 at the neighboring Condo's there is a trash enclosure directly north of their property.
Herman Gallegos

Temporary Site Plan Certification 11-9-23

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN</div> <div>PROFESSIONAL ENGINEER</div> <div>7868</div> <div>7-5-22</div> <div>RONALD R. BOHANNAN</div> <div>P.E. #7868</div>	<div>SLIM CHICKEN</div> <div>8240 MONTGOMERY BLVD NE</div> <div>SITE PLAN FOR</div> <div>BUILDING PERMIT</div> <div>TIERRA WEST, LLC</div> <div>5571 MIDWAY PARK PL NE</div> <div>ALBUQUERQUE, NEW MEXICO 87109</div> <div>(505) 858-3100</div> <div>www.tierrawestllc.com</div>	DRAWN BY	pm
		DATE	7-5-22
		DRAWING	2021089-SP
		SHEET #	SP-1
		JOB #	2021089

TW

TIERRA WEST, LLC

November 13, 2023

Marwa Al-najjar
Development Review Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: APPROVED SITE PLAN FOR BUILDING PERMIT CERTIFICATION
REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY
8240 MONTGOMERY BLVD, NE, ALBUQUERQUE NM 87109**

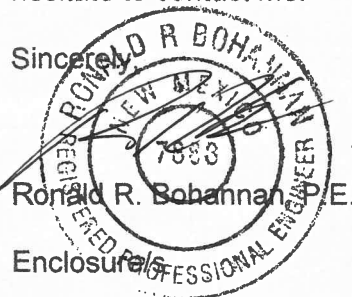
I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Site Plan for Building Permit for issuance of a Temporary Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on November 9, 2023, and is in general accordance with the design intent of the Approved Site Plan for Building Permit dated 7/05/22.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the recorded document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Approved Site Plan for Building Permit. Therefore, we request approval of the as-built Approved Site Plan and issuance of the Temporary Certificate of Occupancy to allow stocking and training to proceed while the contractor/developer completes the noted punchlist items.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,


Ronald R. Bohannon, P.E.
Enclosures

11/13/23

JN: 20201089
RRB/JN/bf

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100
fax (505) 858-1118
tierrawestllc.com