

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 17, 2022

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Slim Chicken
8240 Montgomery Blvd NE
Grading and Drainage Plans
Engineer's Stamp Date: 08/02/22
Hydrology File: G19D004E**

Dear Mr. Bohannon:

PO Box 1293

Based upon the information provided in your resubmittal received 08/03/2022, the Grading & Drainage Plan is approved for Building Permit and for action by the DRB on Site Plan for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Slim Chickens - Albuquerque Building Permit #: _____ Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TRACT 1 WYMONT SUBDIVISION
City Address: 8240 MONTGOMERY BLVD NE

Applicant: Tierra West LLC Contact: Jon Niski
Address: 5571 MIDWAY PARK PLACE NE, ALBUQUERQUE, NM 87109
Phone#: (505) 858-3100 Fax#: _____ E-mail: JNISKI@TIERRAWESTLLC.COM

Other Contact: AMREP Southwest Inc. Contact: Jarrold Likar
Address: _____
Phone#: (505) 896-9037 Fax#: _____ E-mail: jarrold@aswinc.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL? Yes _____ No

DEPARTMENT _____ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 08.03.2022 By: Jon Niski

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 25, 2022

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

RE: Slim Chicken
8240 Montgomery Blvd NE
Grading and Drainage Plans
Engineer's Stamp Date: 07/05/21
Hydrology File: G19D004E

Dear Mr. Bohannon:

PO Box 1293

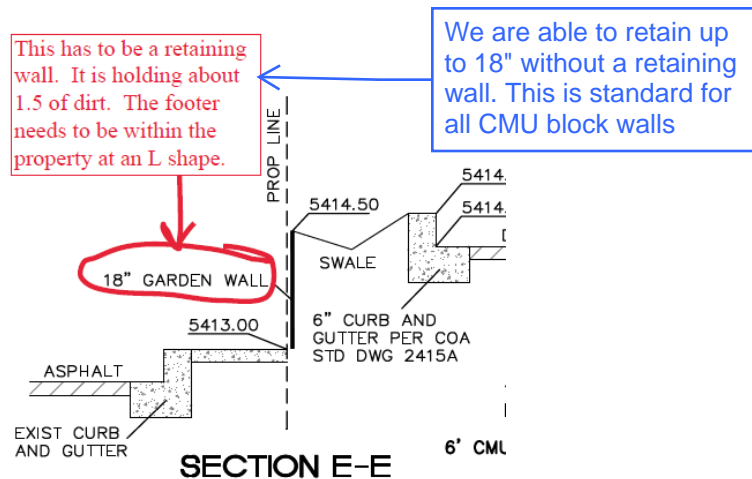
Based upon the information provided in your resubmittal received 07/05/2022, the Grading & Drainage Plan is **not** approved for Building Permit and for action by the DRB on Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. The retaining wall along Montgomery needs to be labeled as such in Section E-E. This also needs to show an L shaped footer within the property.

NM 87103

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2. There is still issues with the whole parking area by Montgomery drainage. Where is this area discharging to? The two ponds don't appear to go anywhere and this will trap standing water & mosquitoes when it rains. This area may just drain over the block wall to the southwest and drain onto the adjacent property which is not allowed. Another

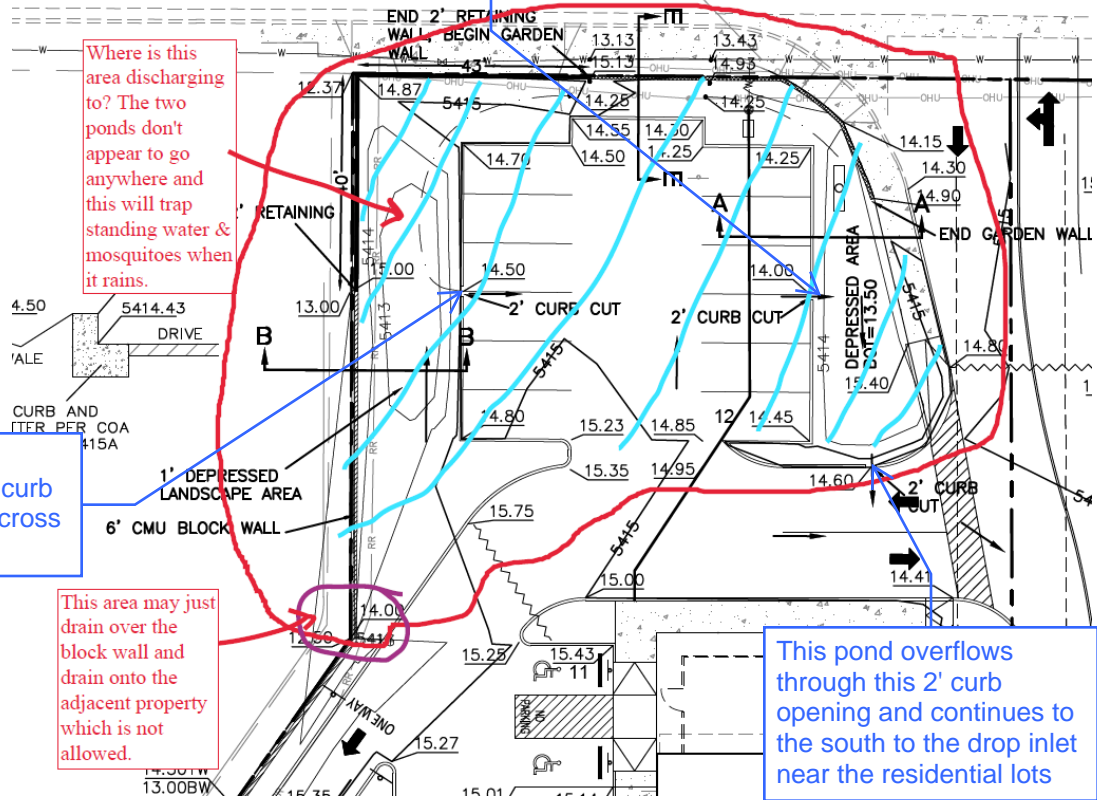
CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

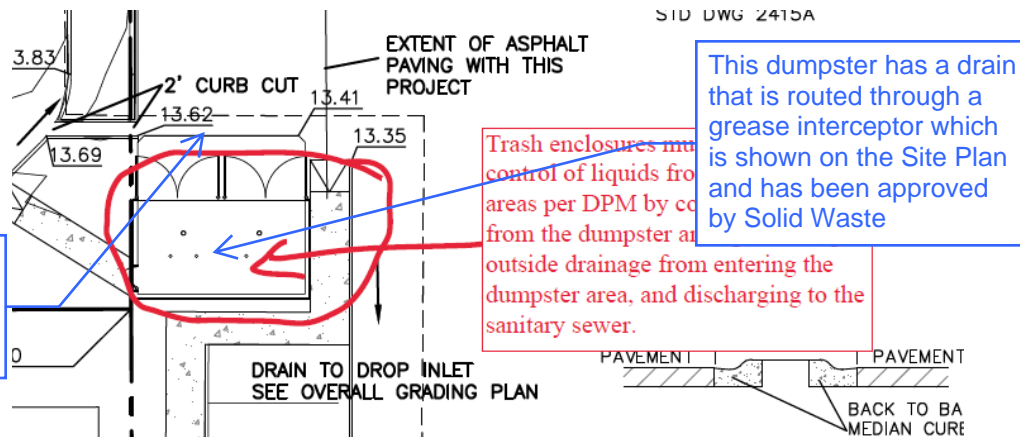


Mayor Timothy M. Keller

issue is that the depressed area of this Tract is covered by the overall development's Stormwater Quality Pond to the south next to La Mirada Place.



- Trash enclosures must demonstrate control of liquids from dumpster areas per DPM by containing runoff from the dumpster area, preventing outside drainage from entering the dumpster area, and discharging to the sanitary sewer. Please show an inlet in the middle and label. "Inlet to be connected to the sanitary sewer. See Utility Plan."



NM 87103

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CITY OF ALBUQUERQUE

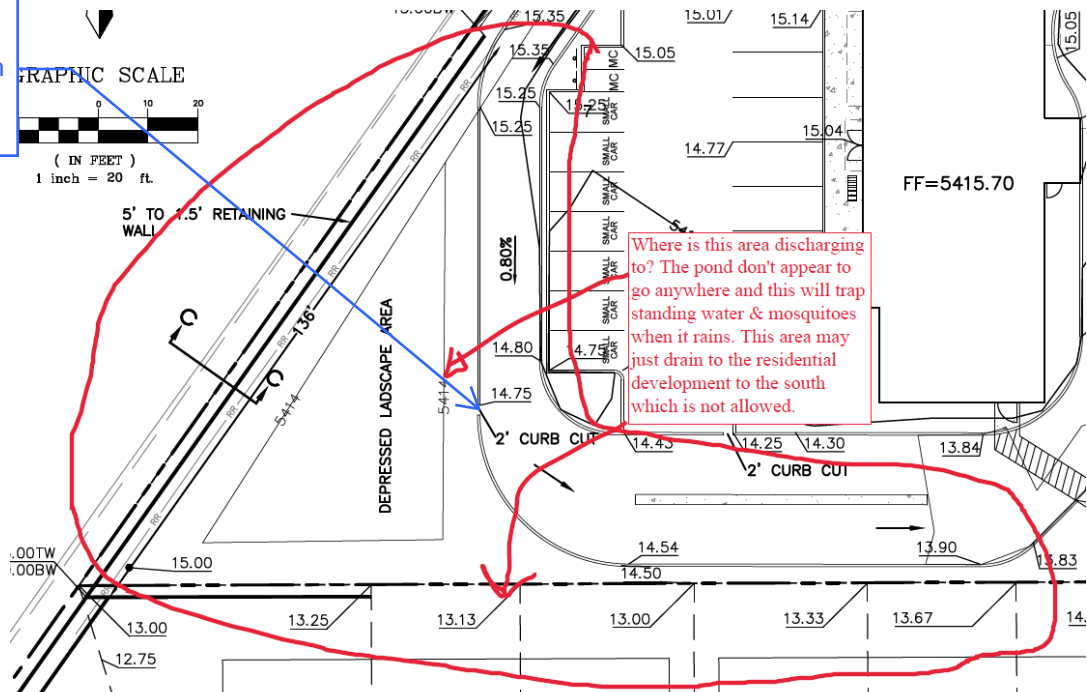
Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

- The low area in the Southwest corner has some drainage issues. Where is this area discharging to? The pond doesn't appear to go anywhere and this will trap standing water & mosquitoes when it rains. This area may just drain to the residential development to the south which is not allowed. Again there is an issue is that the depressed area which is not needed since this Tract is covered by the overall development's Stormwater Quality Pond to the south next to La Mirada Place.

This pond overflows through this curb opening to the east and then south to the drop inlet near the residential lots.



PO Box 1293

Albuquerque

NM 87103

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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



TIERRA WEST, LLC

August 3, 2022

Ms. Renee C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department – City of Albuquerque

RE: **SLIM CHICKEN – ALBUQUERQUE
8240 MONTGOMERY BLVD. NE
GRADING AND DRAINAGE PLANS
ENGINEER'S STAMP 05-18-2022 (G19-D004E)**

Dear Ms. Brissette:

Per the correspondence dated July 25, 2022, please find the following responses addressing the comments listed below:

1. The retaining wall along Montgomery needs to be labeled as such in Section E-E. This also needs to show an L shaped footer within the property.
Garden walls are capable of supporting up to 18 inches of retainage before the need to be a retaining wall. The section was updated to show an L-shaped footing that does not encroach in the City right of way.
2. There is still issues with the whole parking area by Montgomery drainage. Where is this area discharging to? The two ponds don't appear to go anywhere and this will trap standing water and mosquitoes when it rains. This area may just drain over the block wall to the southwest and drain onto the adjacent property which is not allowed. Another issue is that the depressed area which is not needed since this Tract is covered by the overall development's Stormwater Quality Pond to the south next to La Mirada Place.
As stating in the Proposed Drainage Narrative and in the previous response letters these areas are passive water harvesting areas that overflow through 2' wide curb cuts. All drainage flows to the southeast corner of the property per the Overall Drainage Plan and drain to a drop inlet near the residential neighborhood. We had previously place flow arrows on the plan showing direction of flow and how these depressed landscaped areas drain through the curb openings. We have no added a note to each areas stating that these depressed landscaped areas overflow through the 2' curb openings. The only storm water that is in these areas is what falls on it and will either infiltrate the ground or evaporate prior to the gestation period of mosquitoes.
3. Trash enclosures must demonstrate control of liquids from dumpster areas per DPM by containing runoff from the dumpster area, preventing outside drainage from entering the dumpster area, and discharging to the sanitary sewer. Please show an inlet in the middle and label. "Inlet to be connected to the sanitary sewer. See Utility Plan."
The trash enclosure has drains connected to a grease interceptor that drains to the sanitary sewer. A note was added to the grading plan stating as much.
4. The low area in the Southwest corner has some drainage issues. Where is this area discharging to? The pond doesn't appear to go anywhere and this will trap standing water and mosquitoes when it rains. This area may just drain to the residential development to the south which is not allowed. Again there is an issue is that the depressed area which is not needed

5571 Midway Park Pl. NE
(505) 858-3100
Albuquerque, NM 87109
fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

since this Tract is covered by the overall development's Stormwater Quality Pond to the south net to Las Mirada Place.

As stating in the Proposed Drainage Narrative and in the previous response letters these areas are passive water harvesting areas that overflow through 2' wide curb cuts. All drainage flows to the southeast corner of the property per the Overall Drainage Plan and drain to a drop inlet near the residential neighborhood. We had previously place flow arrows on the plan showing direction of flow and how these depressed landscaped areas drain through the curb openings. We have no added a note to each areas stating that these depressed landscaped areas overflow through the 2' curb openings. The only storm water that is in these areas is what falls on it and will either infiltrate the ground or evaporate prior to the gestation period of mosquitoes. There is also a CMU block wall along the west property line that will prevent any flows from entering or existing this parcel from/to the residential development to the west.

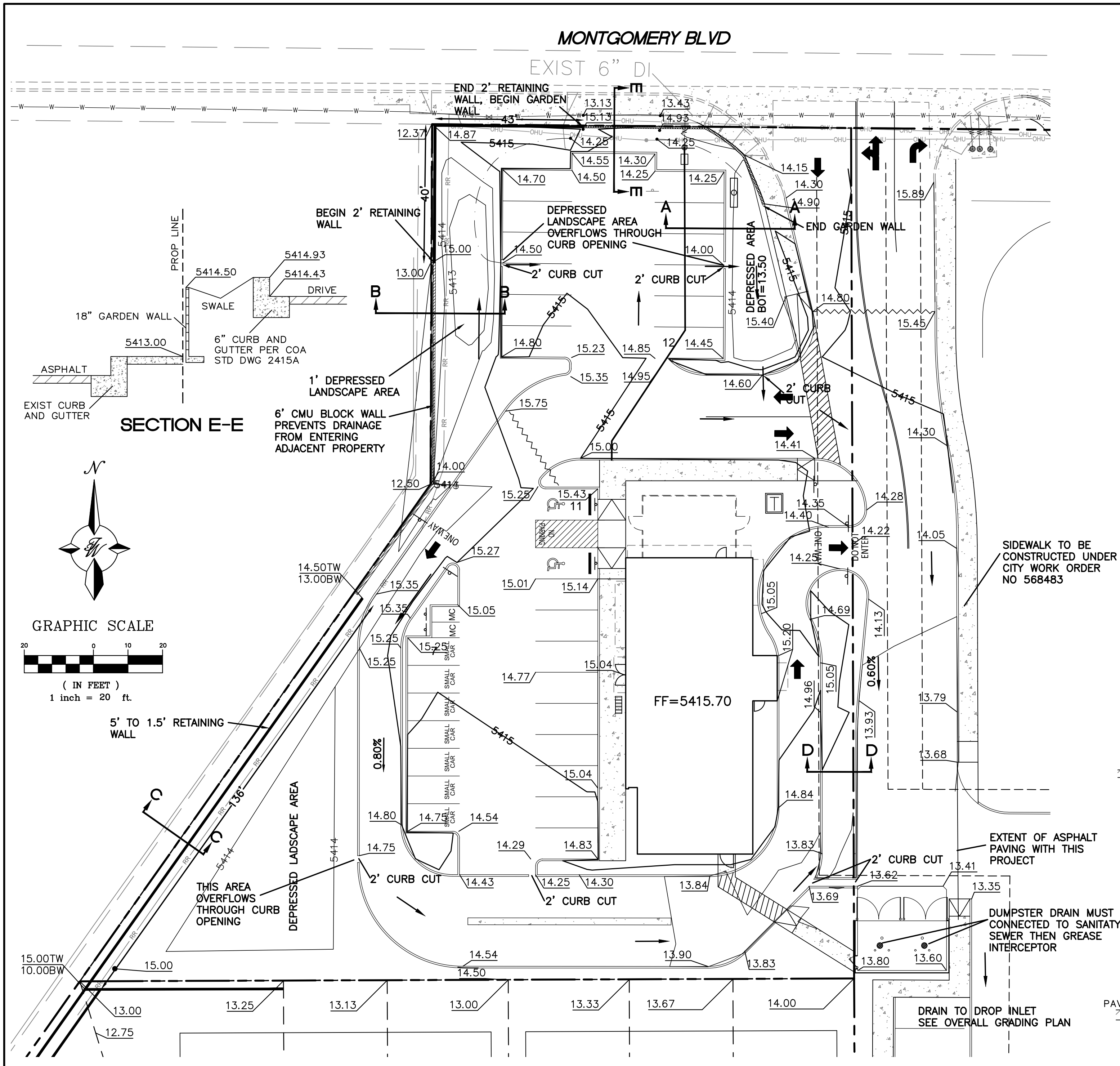
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E

JN: 2021089
RRB/jn/ca



Weighted E Method

Existing Basins								100-Year		10-Year		
Basin	Area (sf)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)
A	36,215	0.83	0%	7%	0%	93%	2.460	0.170	3.62	1.549	0.107	2.23

Proposed Basins								100-Year		10-Year		
Basin	Area (sf)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)
A	36,215	0.83	0%	15%	0%	85%	2.322	0.161	3.48	1.445	0.100	2.12

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

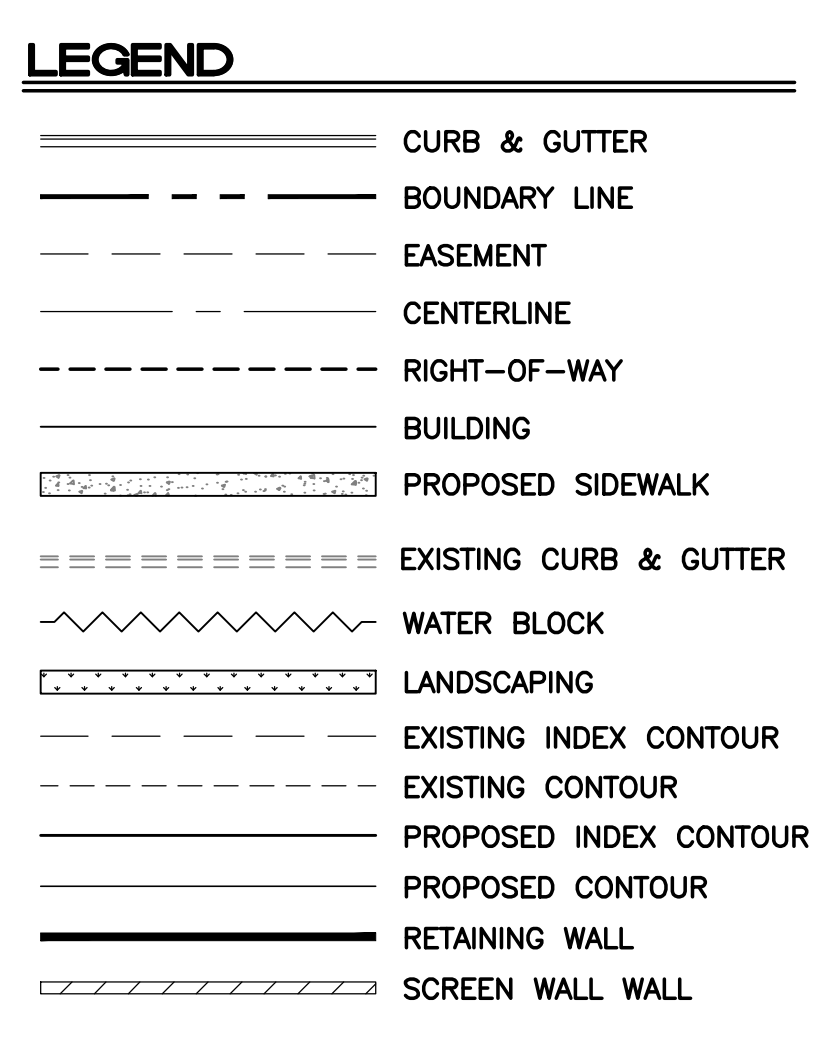
Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

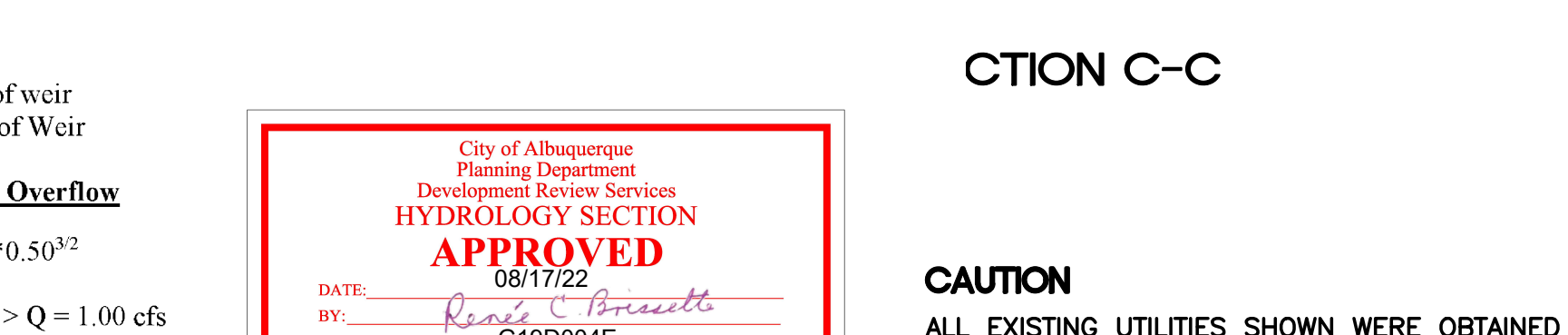
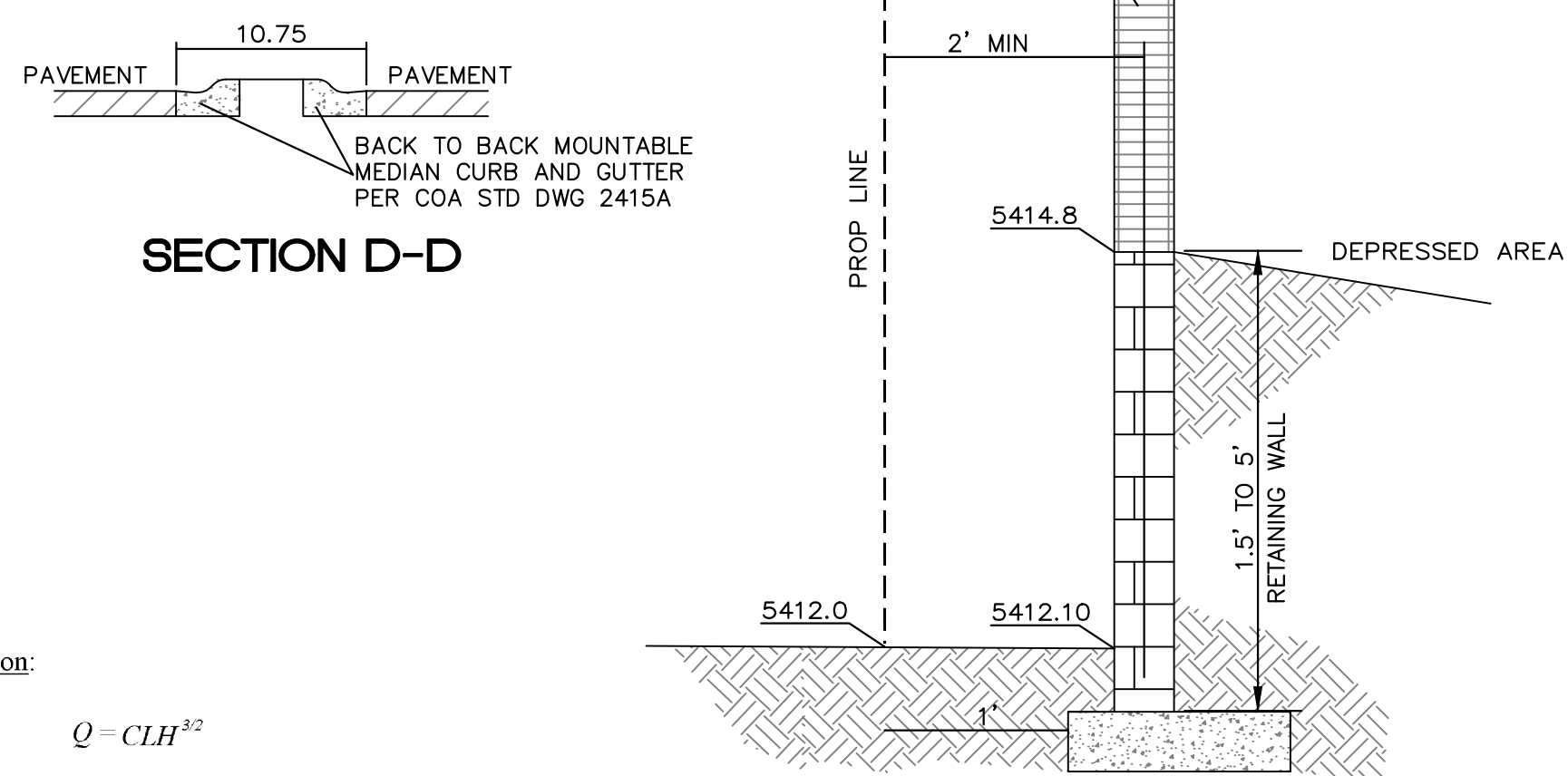
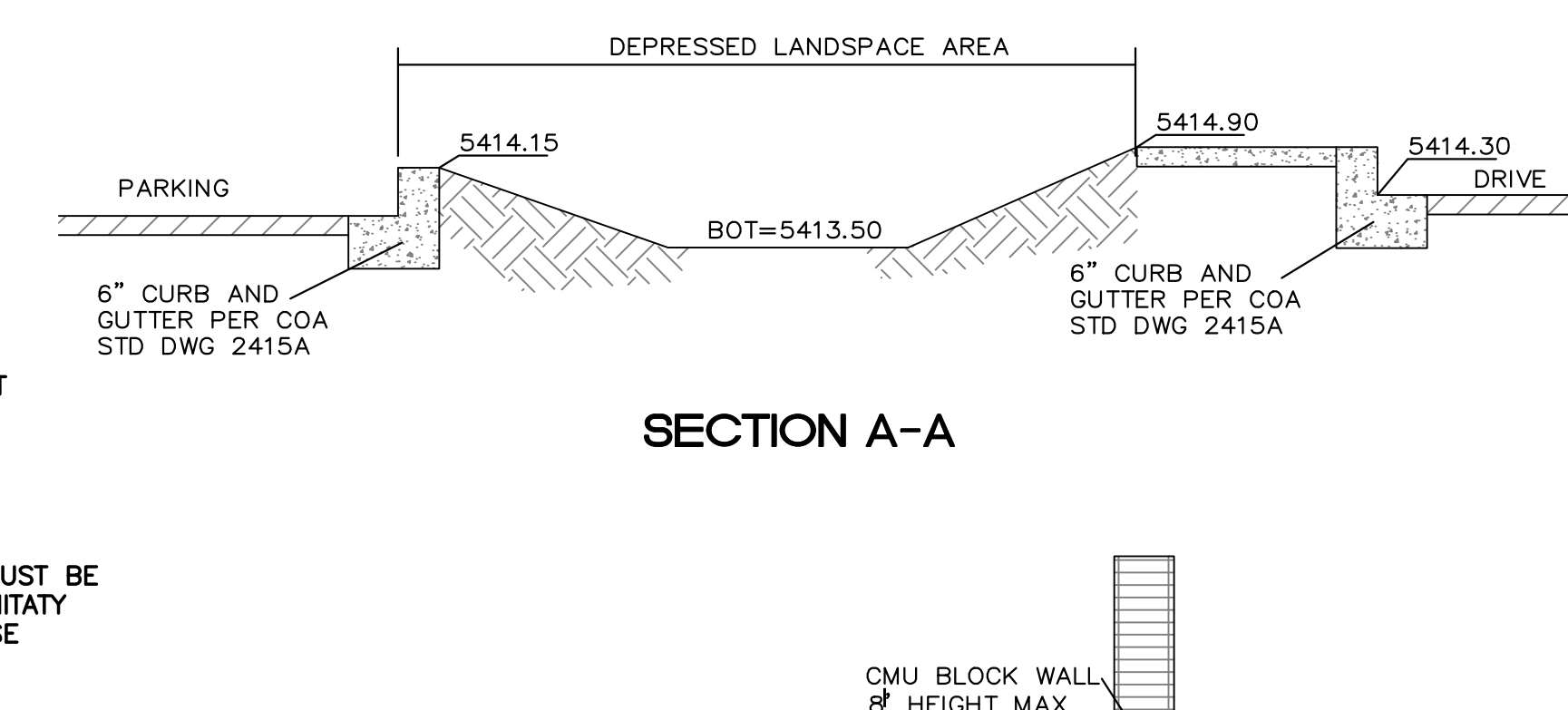
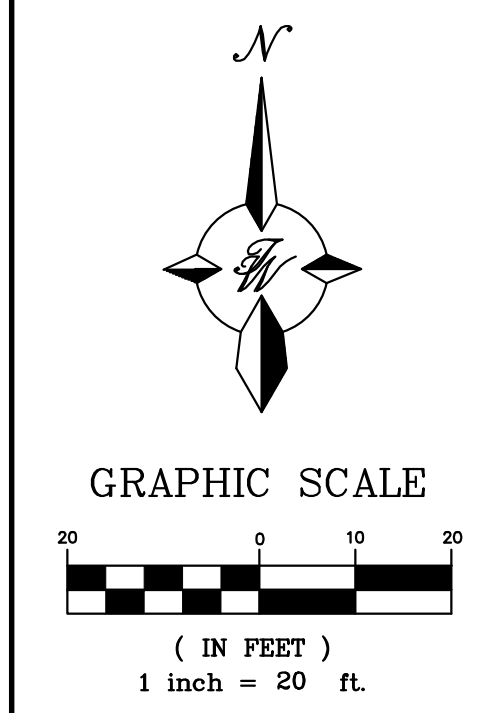
	Excess Precipitation, E (inches)		Peak Discharge (cfs/acre)	
	Zone 3	100-Year	100-Year	10-Year
E_a	0.67	0.18	Q_a	1.84
E_b	0.86	0.34	Q_b	2.49
E_c	1.09	0.52	Q_c	3.17
E_d	2.58	1.64	Q_d	4.49

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 - ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR #3 GRAVEL.



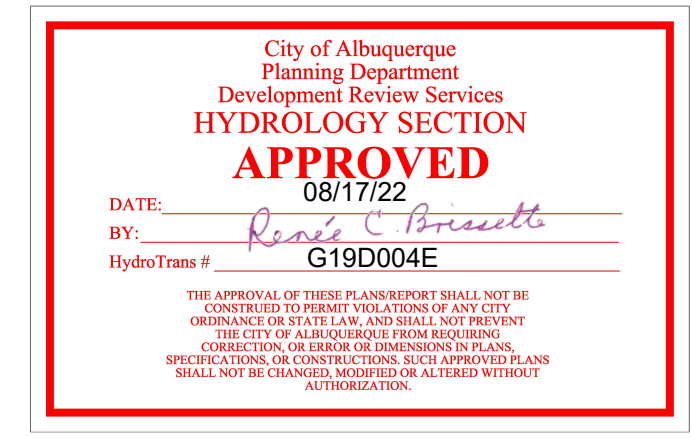
NOTE
ALL ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED
ADD 5400 TO ALL SPOT ELEVATIONS



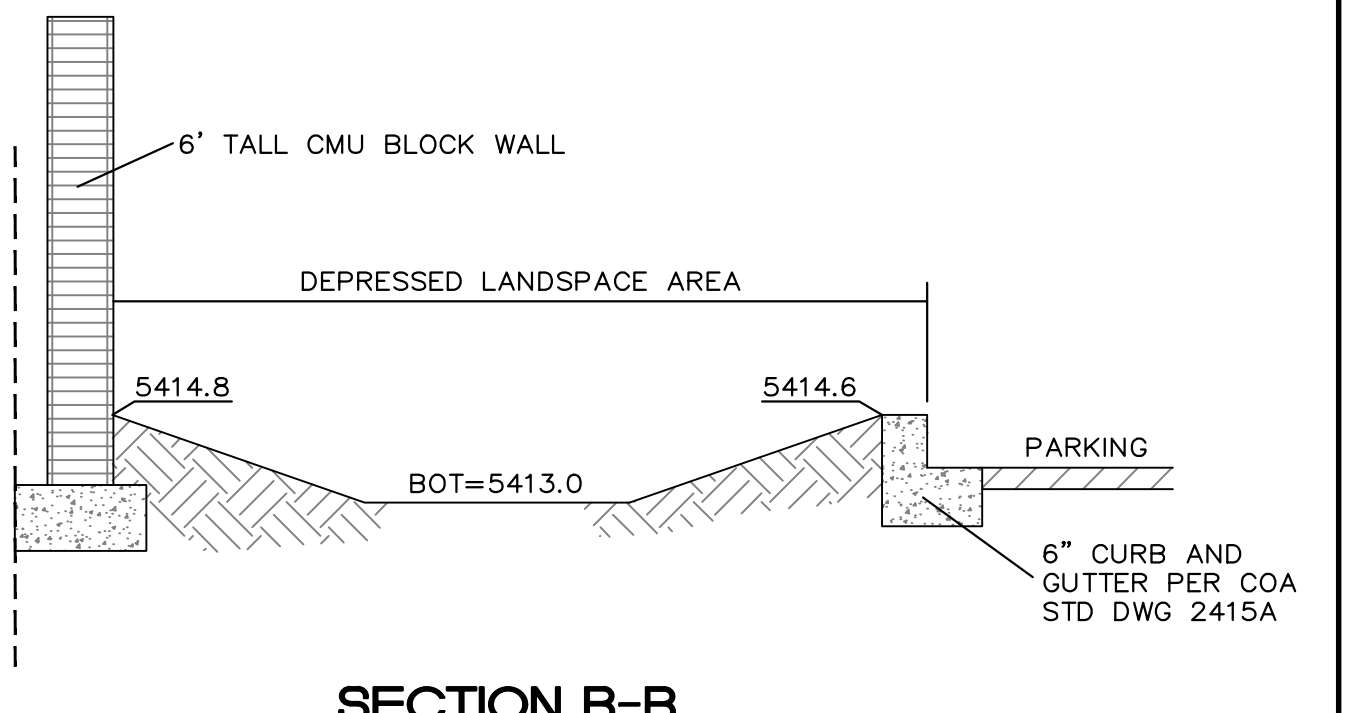
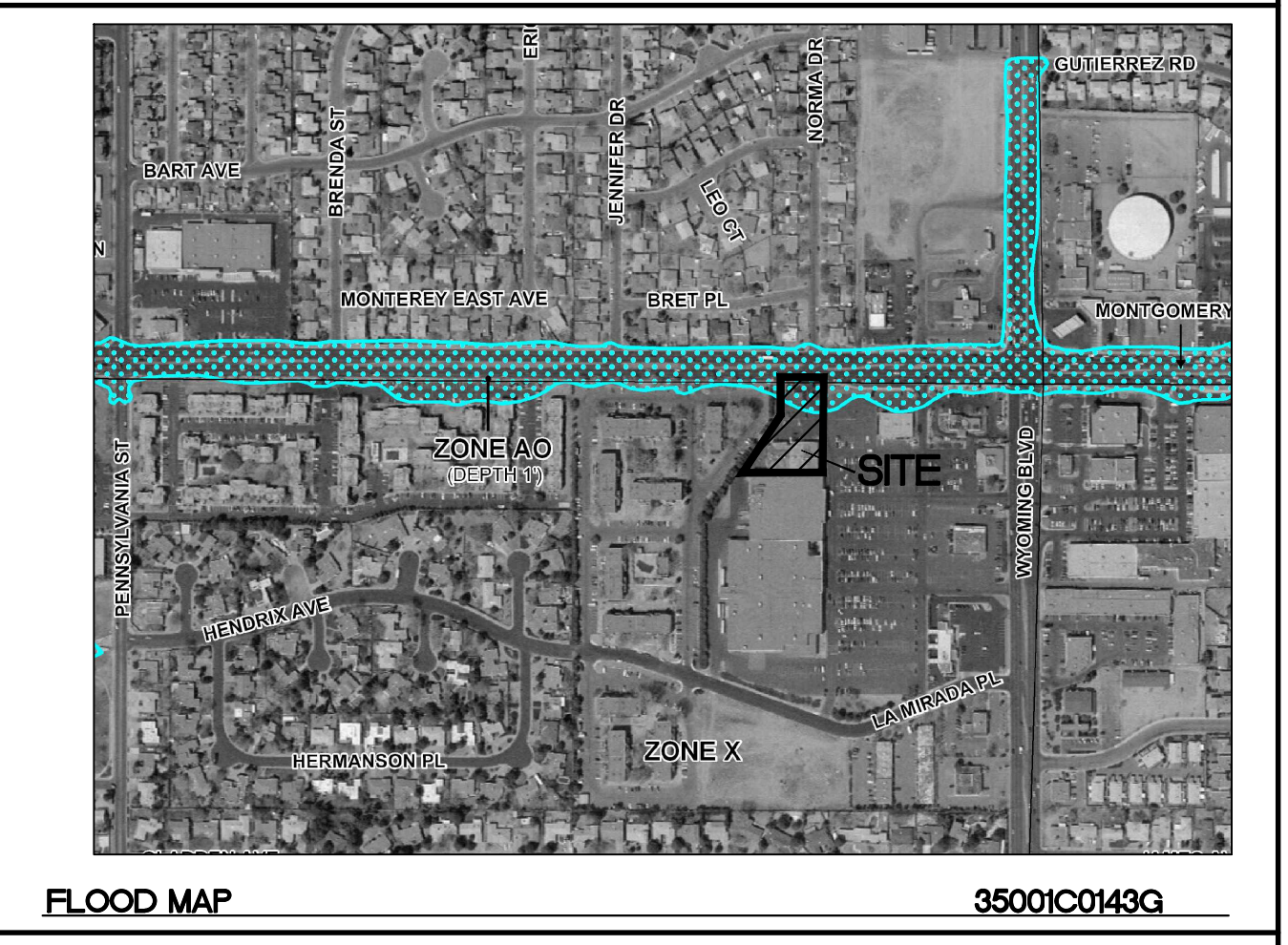
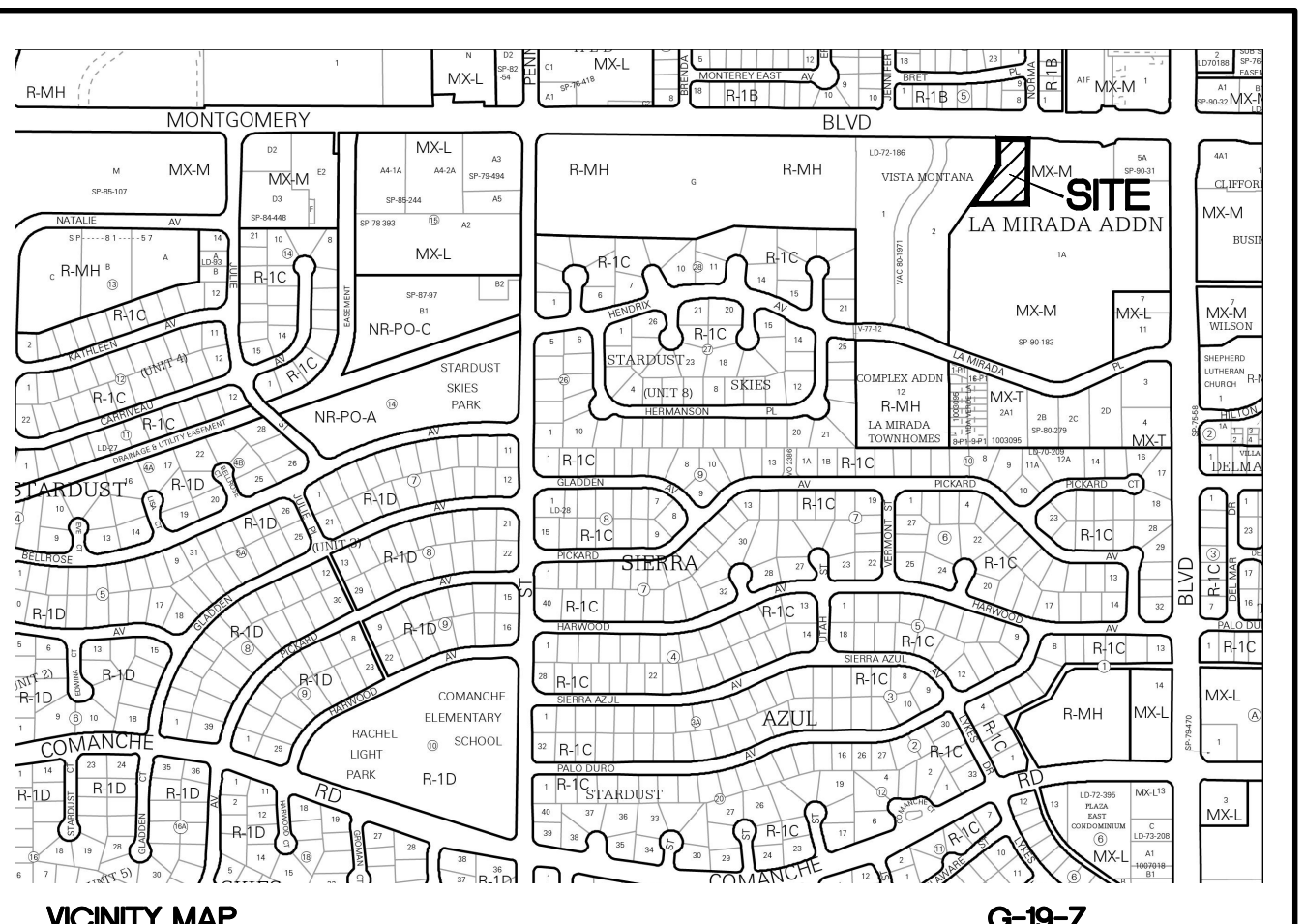
Weir Equation:
 $Q = CLH^{3/2}$

Q = Flow
 C = 2.95
 L = Length of weir
 H = Height of Weir

Emergency Overflow
 $Q = 2.70 \cdot 2 \cdot 0.50^{3/2}$
 $Q = 1.91 \text{ cfs} > Q = 1.00 \text{ cfs}$



CAUTION
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



EXISTING DRAINAGE:
THIS SITE IS CURRENTLY VACANT SHOPPING CENTER AND IS LOCATED ON THE SOUTHWEST CORNER OF WYOMING BOULEVARD AND MONTGOMERY BOULEVARD. THE SITE IS BOUNDED BY ROADS ON THE NORTH, SOUTH AND EAST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE WEST SIDE AND CONTAINS APPROXIMATELY 15.69 ACRES. THE SITE DRAINS FROM EAST TO WEST WITH MOST OF IT DRAINING ONTO AN EXISTING DETENTION POND. THE REMAINDER OF THE SITE DRAINS INTO AN EXISTING DROP INLET LOCATED AT THE SOUTHWEST ENTRANCE. ACCORDING TO AN APPROVED GRADING AND DRAINAGE PLAN (G-19/D4) COMPLETED BY JEFF MORTENSEN AND ASSOCIATES THE EXISTING POND MAY BE ELIMINATED AND ALL FLOW DISCHARGED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE. THOSE IMPROVEMENTS WERE NEVER COMPLETED AND THE POND HAS REMAINED IN PLACE. BASED ON THE REVISED DRAINAGE VALUES IN THE CURRENT DPM THE TOTAL FLOW DISCHARGED FROM THIS SITE IS 68.15 CFS. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE NOT OFFSITE FLOWS THAT ENTER THE SITE.

PROPOSED DRAINAGE:
THE SITE IS TRACT ONE OF THE WYMONT COMMERCIAL CENTER AND WILL DRAIN IN ACCORDANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN. THERE ARE THREE DEPRESSED LANDSCAPED AREAS LOCATED ON THIS PARCEL PROMOTING PASSIVE WATER HARVESTING. THESE AREAS WILL BE ALLOWED TO OVERFLOW INTO THE DRIVE AISLES. THIS PARCEL IS CONTAINED WITHIN DRAINAGE BASIN "A" OF THE APPROVED MASTER DRAINAGE PLAN AND WILL DRAIN TO THE SOUTHEAST TO A DROP INLET LOCATED JUST NORTH OF THE RESIDENTIAL NEIGHBORHOOD. FROM THERE THE WATER WILL BE CONVEYED VIA PRIVATE STORM SEWER TO THE EXISTING DETENTION POND LOCATED IN THE SOUTHEAST CORNER OF THE RESIDENTIAL NEIGHBORHOOD. THIS POND ALSO RETAINS THE WATER QUALITY VOLUME FOR THIS PARCEL.

	SLIM CHICKEN	DRAWN BY
	8240 MONTGOMERY BLVD NE	pm
	GRADING AND DRAINAGE PLAN	DATE
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierwestllc.com	8-2-22
		DRAWING
		2021089-GR
		SHEET #
		GR-1
		JOB #
		2021089