

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 12, 2022

Jon Niski  
Tierra West LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**Re: Slim Chickens**  
**8240 Montgomery Blvd. NE**  
**Traffic Circulation Layout**  
Engineer's Stamp 07-5-2022 (G19-D004E)

Dear Mr. Niski,

The TCL submittal received 07-07-2022 is approved for Building Permit with the condition that the Plat needs to be modified to match the site conditions along with easements necessary for this site design. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Modified Plat Action Approval is a condition for release a Final CO.**

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification and include proof of plating action approval. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Slim Chickens - Albuquerque **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** TRACT 1 WYMONT SUBDIVISION  
**City Address:** 8240 MONTGOMERY BLVD NE

**Applicant:** Tierra West LLC **Contact:** Jon Niski  
**Address:** 5571 MIDWAY PARK PLACE NE, ALBUQUERQUE, NM 87109  
**Phone#:** (505) 858-3100 **Fax#:** \_\_\_\_\_ **E-mail:** JNISKI@TIERRAWESTLLC.COM

**Other Contact:** AMREP Southwest Inc. **Contact:** Jarrold Likar  
**Address:** \_\_\_\_\_  
**Phone#:** (505) 896-9037 **Fax#:** \_\_\_\_\_ **E-mail:** jarrold@aswinc.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE  
**IS THIS A RESUBMITTAL?** ☒ Yes \_\_\_\_\_ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 07.05.22 **By:** Jon Niski

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



# TIERRA WEST, LLC

June 30, 2022

Mrs. Marwa G. Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

Re: **SLIM CHICKEN-ALBUQUERQUE  
8240 MONTGOMERY BLVD.NE  
TRAFFIC CIRCULATION LAYOUT  
ENGINEER'S STAMP 05-18-2022 (G19-D004E)**

Dear Ms. Al-najjar,

Per the correspondence dated May 27, 2022, please find the following responses addressing the comments listed below:

1. **Montgomery Frontage:**

- Suggestion: redesign the main entrance per COA std dwg. 2426 to provide a 6' valley gutter with 1" invert. Replace the existing 4' valley gutter with 6' valley gutter to serve ADA across the entrance.

**As we are not modifying the entrance itself and the existing valley gutter is in good condition we believe it best to leave it as is.**

2. **OVER ALL CERCULATION:**

- The proposed drive aisle located mostly on tract 2. Please provide certified agreement with Tract 2 land owner.  
**The same owner for Tract 1 owns Tract 2 and is aware of the shift in the access. This area will be replatted with the easements adjusted once we receive approval for this TCL.**
- Plat for Wymont subdivision keynote 40: Private Rodway Easement should serve Tract 1-8. And on sheet 6 the location of driveway easement doesn't match the proposed drive aisle. The easement will need to encompass the proposed drive aisle shown on site plan. Please address this concern.  
**We agree with this statement and plan to have the easement adjusted and recorded prior to the building opening for business.**
- Plat for Wymont subdivision keynote 41: Public sidewalk easement doesn't match site plan.  
**This will also be updated on the replat.**
- Provide sidewalk connectivity to serve Tract 2.  
**The connectivity between Tract 1 and Tract 2 is via the sidewalk along Montgomery Blvd.**
- The main drive aisle will need striping for ingress/egress vehicles movement. Striping will be needed on the frontage segment of Slim Chicken.  
**We are showing new striping as requested.**

3. **Slim Chicken Infrastructure:**

- Provide striping and arrows for the 24' proposed entrance.  
**We are showing new striping as requested.**

5571 Midway Park Pl. NE  
Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118  
tierrawestllc.com

- Drive-thru lane: The exit lane has not throat depth for sight distance (oncoming traffic right vision with oncoming headlights and opposing traffic perception reaction). Please provide one storage length at exit to straighten vehicle for reaction of oncoming vehicles in both directions.  
**This was reconfigured as we had discussed on the phone.**
- You will need the following: All one-way drives shall have "One Way" and "Do Not Enter" signage (both sides on exit) and pavement markings. Please show detail and location of posted signs and striping (include Stop Sign and sign face details).  
**This information was added to the Site Plan and Detail Sheet.**
- The exit vehicular movement will be dedicated to a left turn movement ONLY. Provide a sign specifying left turn and no right turn out due to the tight radius which cannot accommodate the turn movement  
**With the new drive thru configuration we believe this can be a full exit.**

4. Provide Fire Marshal Approval.  
**This is now attached**
5. The proposed Work Order-CN 568483: A Condition of Final C.O. that the work order  
**This is understood.**
6. CN 568483 be completed/accepted/approved by the COA  
**This is understood.**
7. Proposed Dumpster: Provide a letter from adjacent property owner stating that it is okay ok to have Dumpster located outside the lot of proposed development.  
**The same owner owns Tract 2. We can provide an Agreement prior to CO if that is acceptable.**
8. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov). Please contact Matt Grush to fill TIS form.  
**There is an approved TIS already on file for this shopping center that includes this Tact.**

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

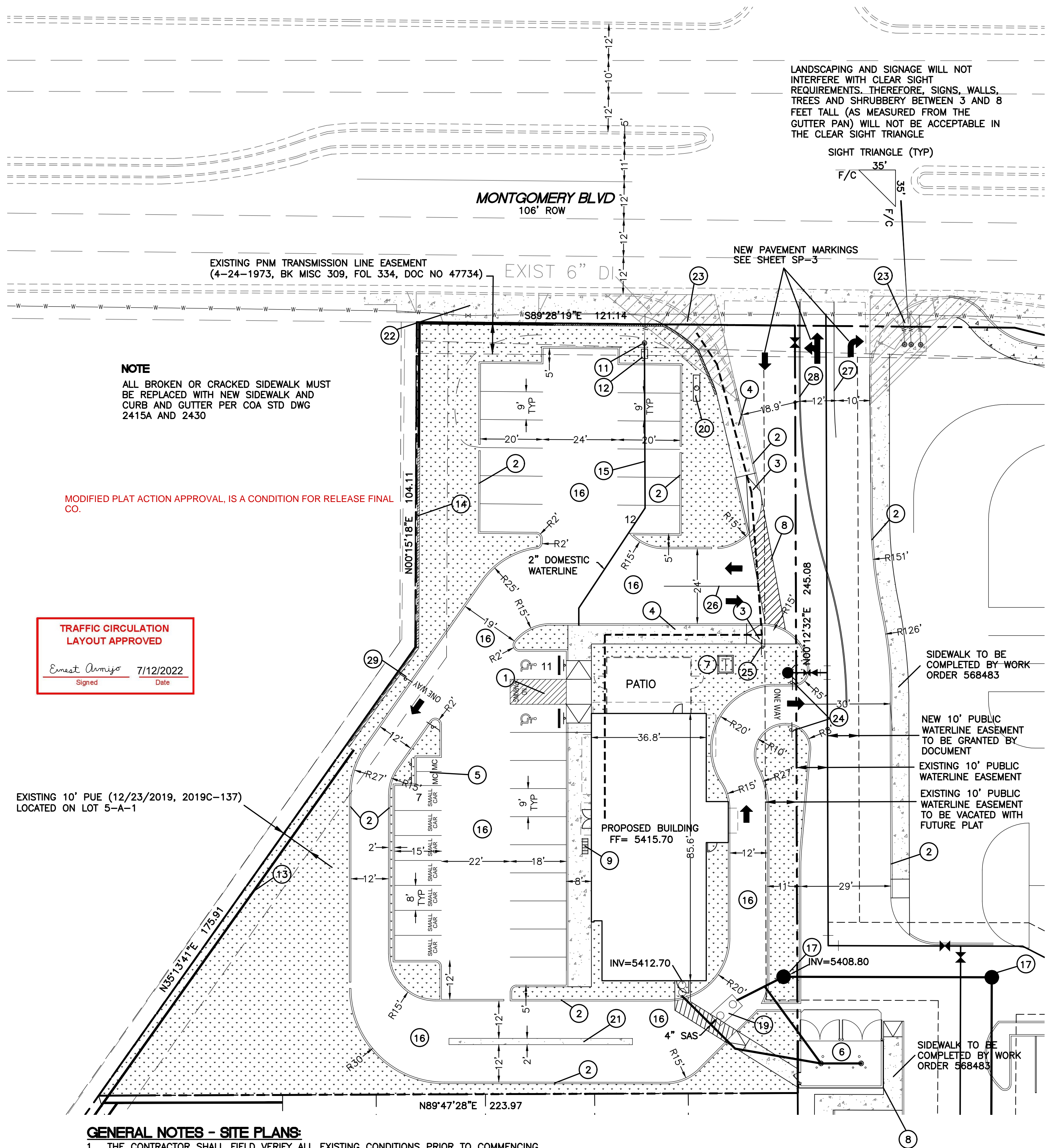
Sincerely,



Ronald R. Bohannon, P.E.

JN: 2021089  
RRB/jn/ca





LEGEND

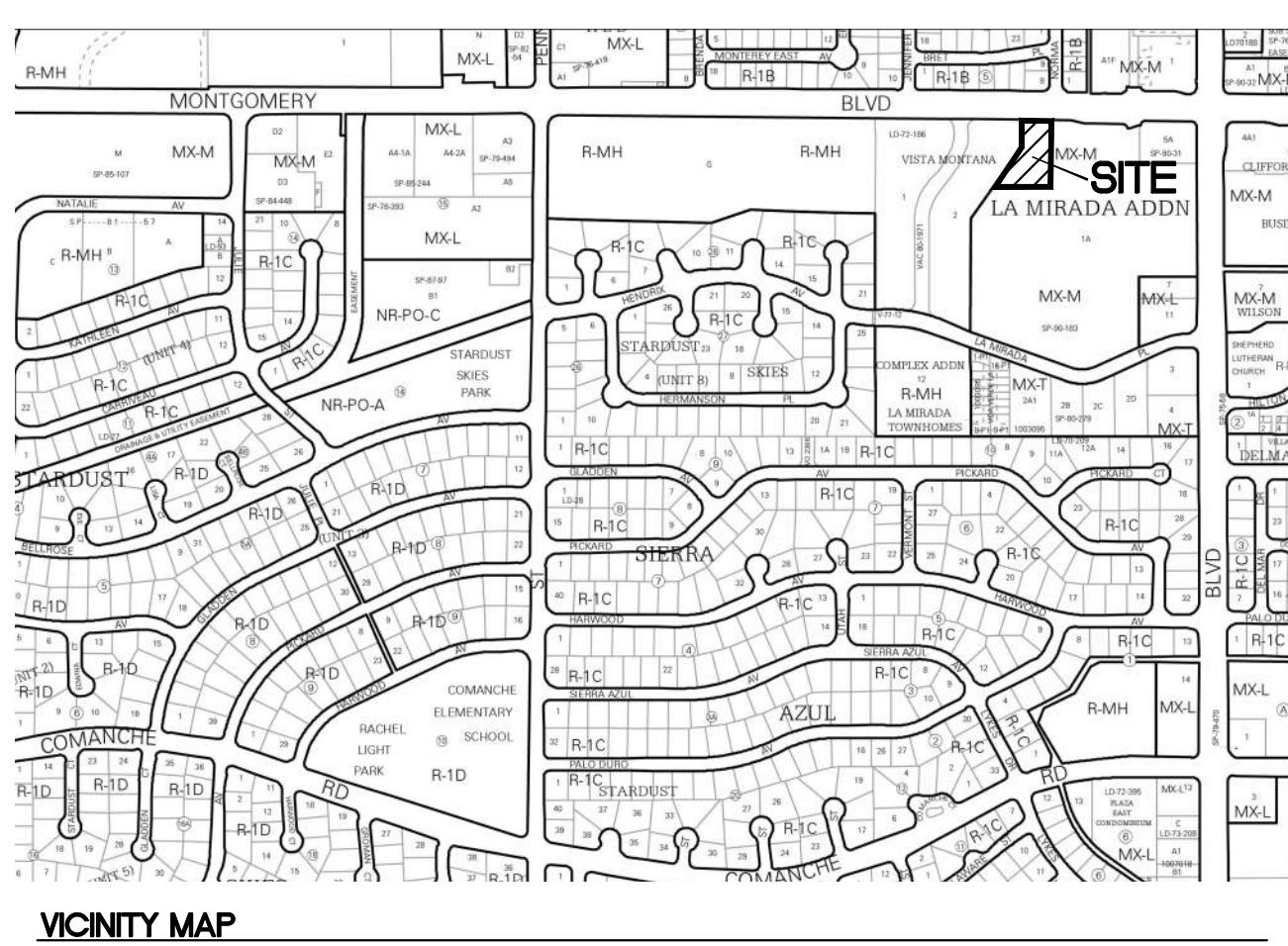
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- PEDESTRIAN ROUTE
- LANDSCAPE AREA

KEYED NOTES

- ACCESSIBLE PARKING SPACE W/SIGN SEE DETAIL SHEET SP-2  
ACCESSIBLE SIGN TO BE 2' FROM FACE OF CURB
- 6" CURB AND GUTTER (TYP) SEE DETAIL SHEEP SP-2
- ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
- 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- MOTORCYCLE SPACES W/SIGN SEE DETAIL SHEET SP-2  
SIGN TO BE 2' FROM FACE OF CURB
- DOUBLE DUMPSTER W/RECYCLING SEE DETAIL SHEET SP-3
- TRANSFORMER
- 6' PEDESTRIAN CROSSING SEE SHEET SP-3 FOR DETAIL
- BICYCLE RACK W/1' CLEAR ZONE SEE DETAIL SHEET SP-2
- FIRE HYDRANT BUILT UNDER PROJECT NO 568483
- EXIST WATER METER CONTRACTOR TO FIELD VERIFY SIZE
- BACKFLOW PREVENTER (2"x3")
- RETAINING WALL SEE DETAIL SHEET SP-3
- SCREEN WALL SEE DETAIL SHEET SP-3
- 2" WL SERVICE
- ASPHALT PAVING
- SAS MH BUILT UNDER PROJECT NO 568483
- 4" SAS SERVICE
- GREASE TRAP
- POLE SIGN
- RAISED CURB
- REMOVE AND DISPOSE EXISTING DRIVEWAY  
REPLACE WITH NEW CURB AND GUTTER AND SIDEWALK  
PER COA STD DWG 2430 AND 2415A
- REMOVE AND DISPOSE EXISTING ACCESSIBLE RAMP  
REPLACE WITH NEW ACCESSIBLE RAMP PER COA STD DWG 2444A
- DO NOT ENTER SIGN R5-1
- STOP SIGN R1-1
- 4" SOLID WHITE STRIPE (30' LONG)
- 4" SOLID WHITE STRIPE (44' LONG)
- 4" DOUBLE YELLOW STRIPE (130' LONG)
- ONE WAY SIGN R6-1L

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

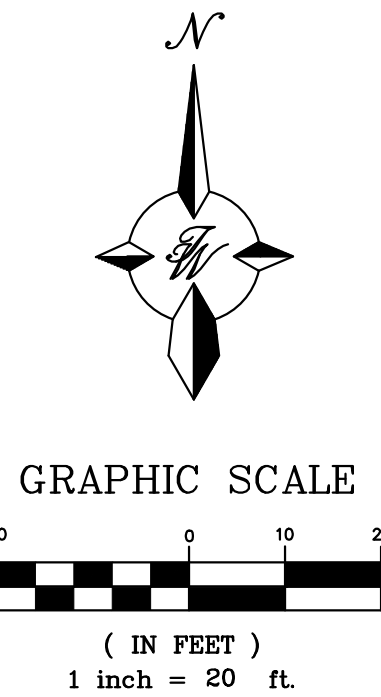


LEGAL DESCRIPTION

TRACT 1 THE WYMONT

SITE DATA

PROPOSED USAGE	RESTAURANT
LOT AREA	37352 SF (0.86 ACRES)
ZONING	SU
BUILDING AREA	3570 SF
PARKING REQUIRED	1 PER 4 SEATS
90 INDOOR SEATS (23 SPACES)	
30 PATIO SEATS (8 SPACES)	
REQUIRED	31 SPACES
PARKING PROVIDED	28 SPACES
HC PARKING REQUIRED	2 SPACES
HC PARKING PROVIDED	2 SPACES
TOTAL	30 SPACES
MOTORCYCLE SPACES REQUIRED	2 SPACES
MOTORCYCLE SPACES PROVIDED	2 SPACES
BICYCLE SPACES REQUIRED	2 SPACES
BICYCLE SPACES PROVIDED	4 SPACES
LANDSCAPE NEEDED	5067 SF
LANDSCAPE PROVIDED	11385 SF



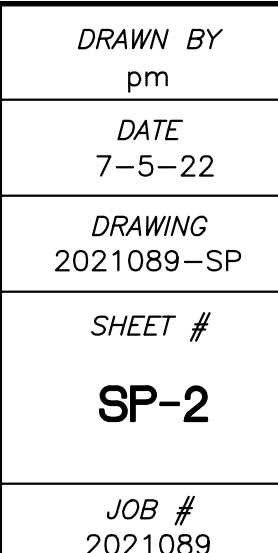
GENERAL NOTES - SITE PLANS:

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
- WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
- GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
- GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
- PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
  - 1/2" @ ALL EXIT DOORS
  - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
  - 1 1/2" @ OVERHEAD DOORS
  - 1 1/2" @PRE-FAB METAL WALL PANELS
- PARKING LOT SHALL BE ASPHALT PAVING

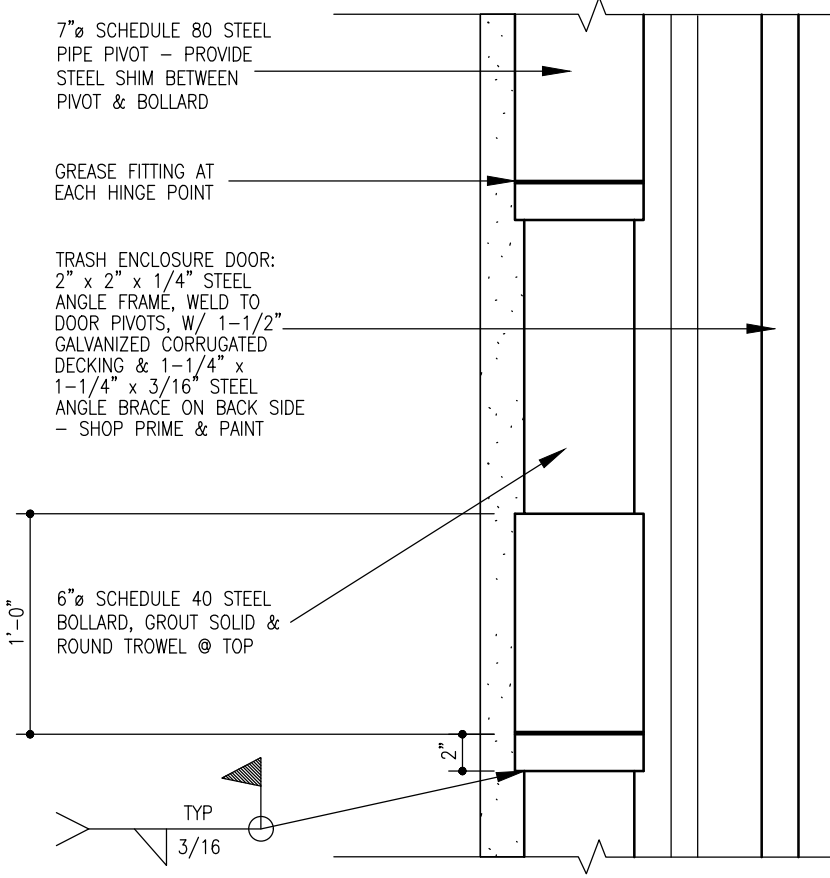
Approved for access by the Solid Waste Department for a double trash enclosure  
Herman Gallegos 07-05-22  
\*\*The property owner will disclose to the resident that purchases unit 19 at the neighboring Condo's there is a trash enclosure directly north of their property.\*\*  
Herman Gallegos

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868</div> <div>7-5-22</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	SLIM CHICKEN 8240 MONTGOMERY BLVD NE	DRAWN BY pm
	SITE PLAN FOR BUILDING PERMIT	DATE 7-5-22
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2021089-SP
		SHEET # SP-1
		JOB # 2021089

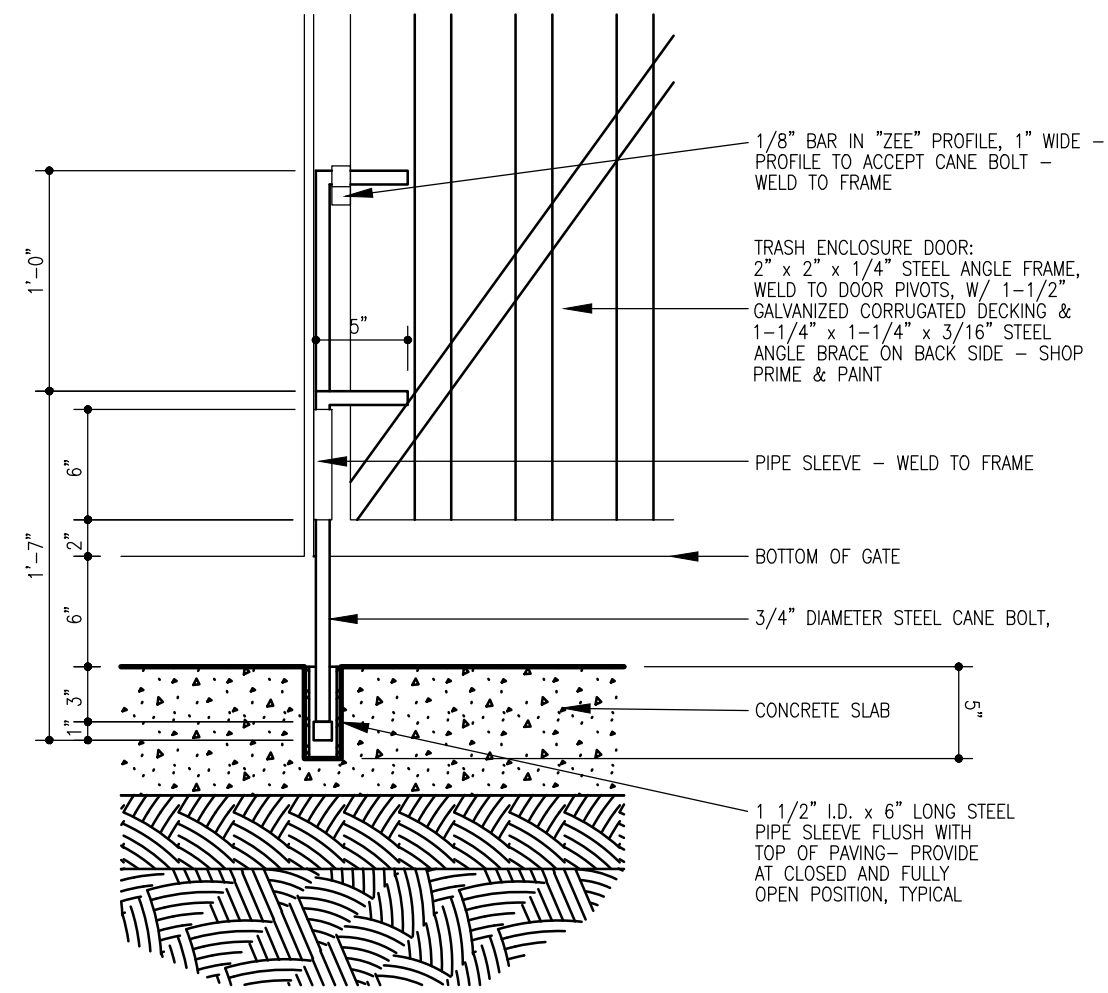




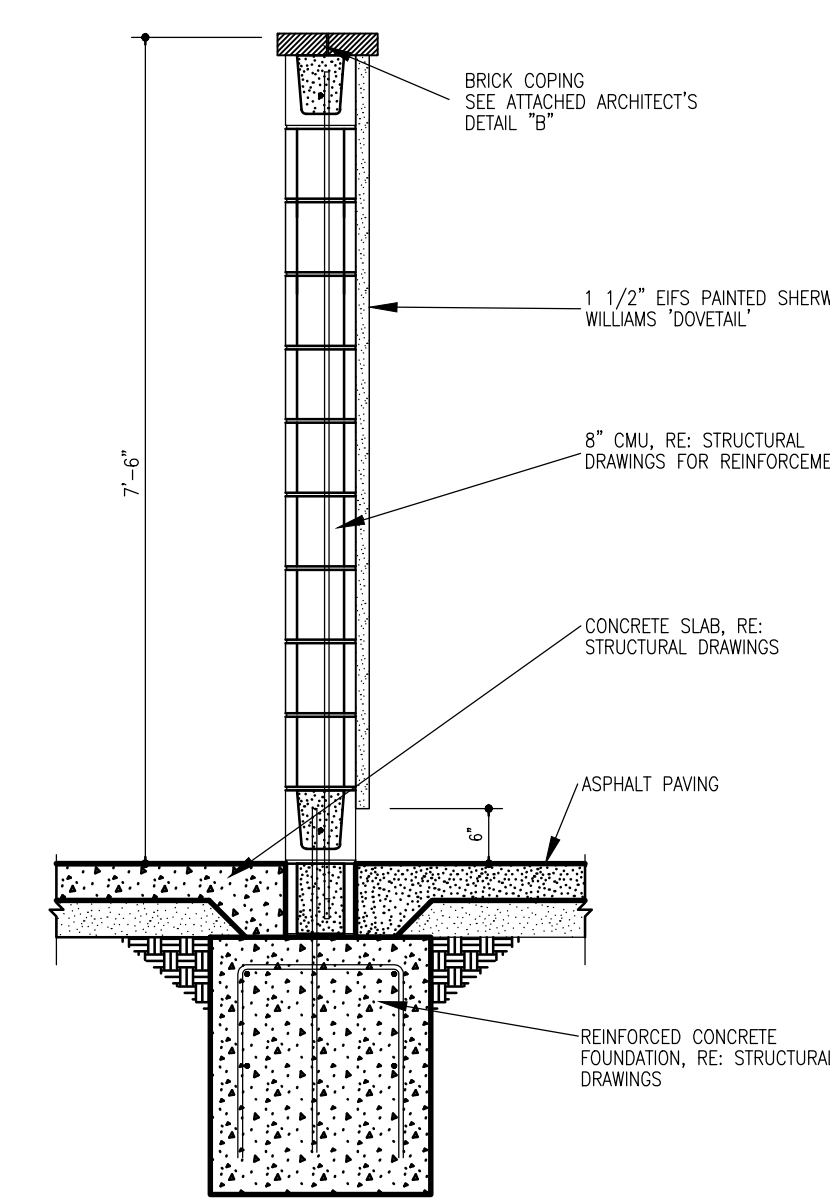




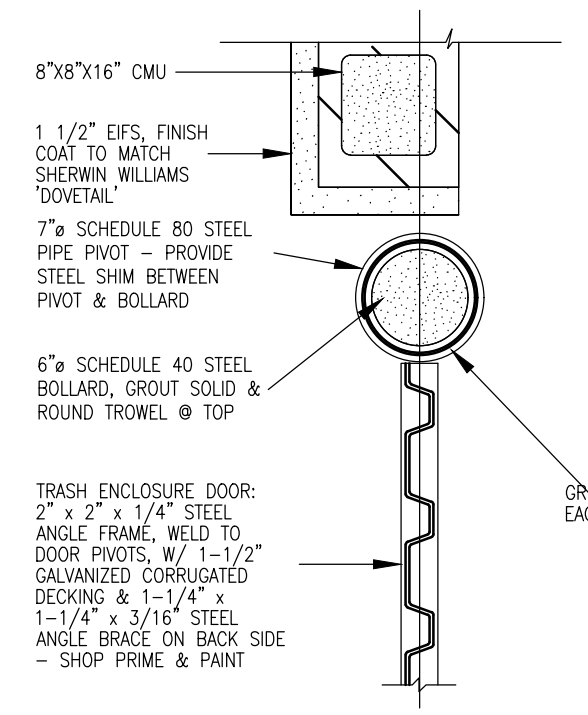
9 Dumpster Door Pivot  
1 1/2" x 1'-0"



8 Cane Bolt Detail  
1 1/2" x 1'-0"



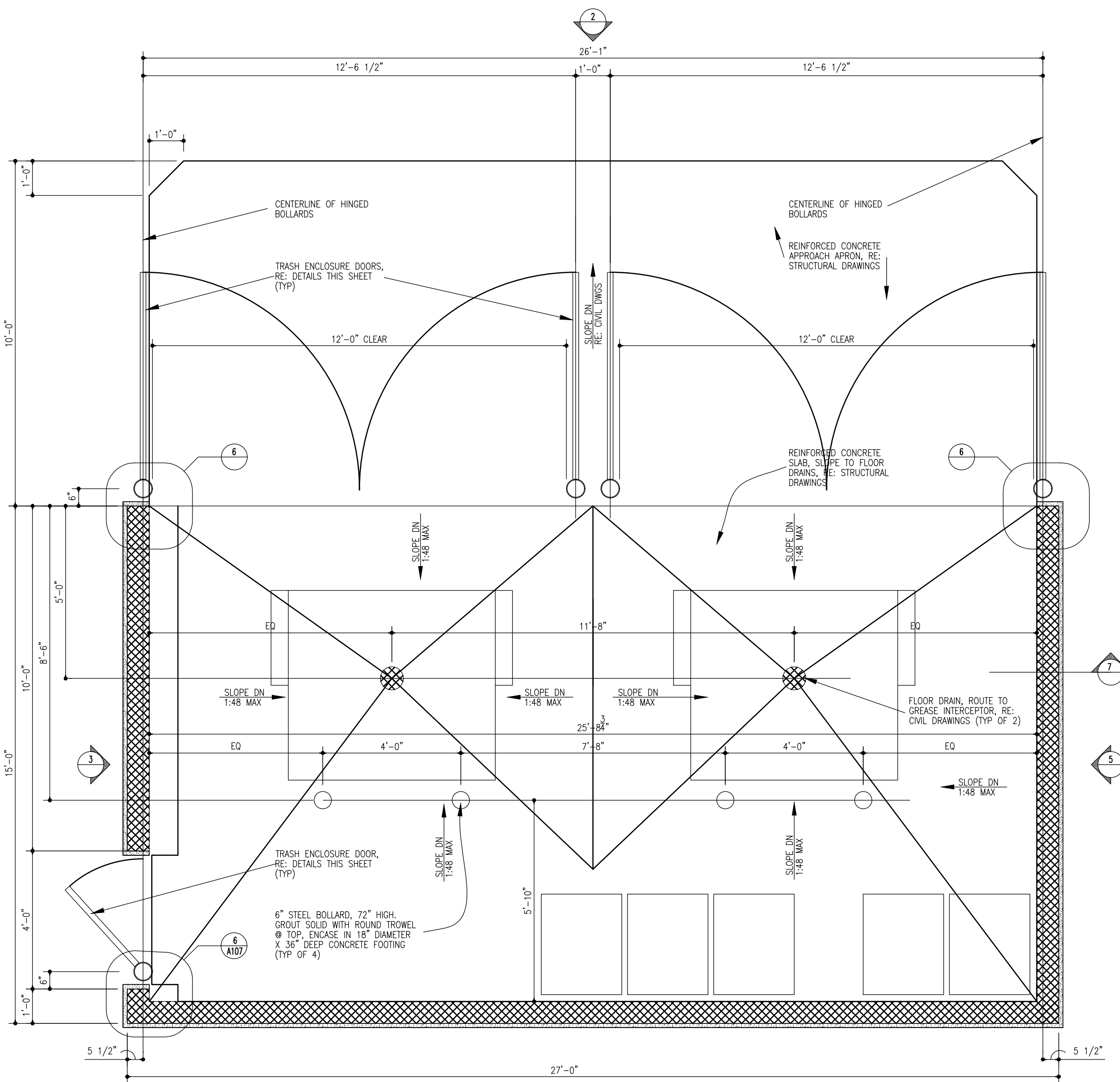
7 Wall Section  
3/4" x 1'-0"



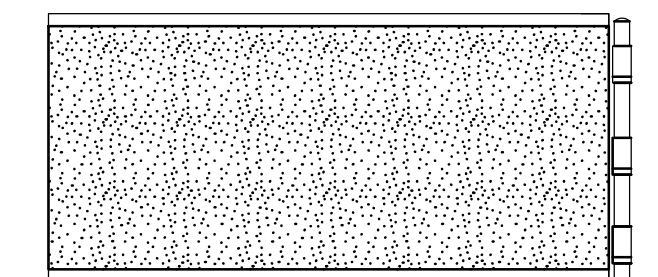
6 Plan Detail  
1 1/2" x 1'-0"

TRAFFIC CIRCULATION  
LAYOUT APPROVED

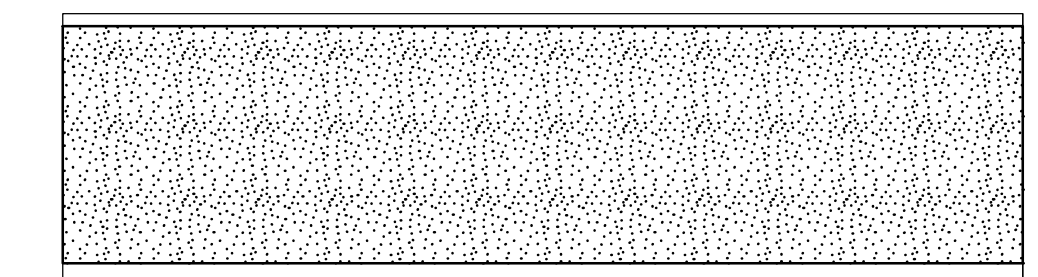
*Ernest Olmigo*  
Signed Date



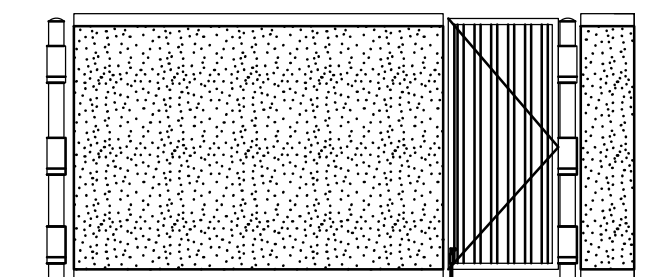
1 Dumpster Floor Plan  
10" x 1'-0"



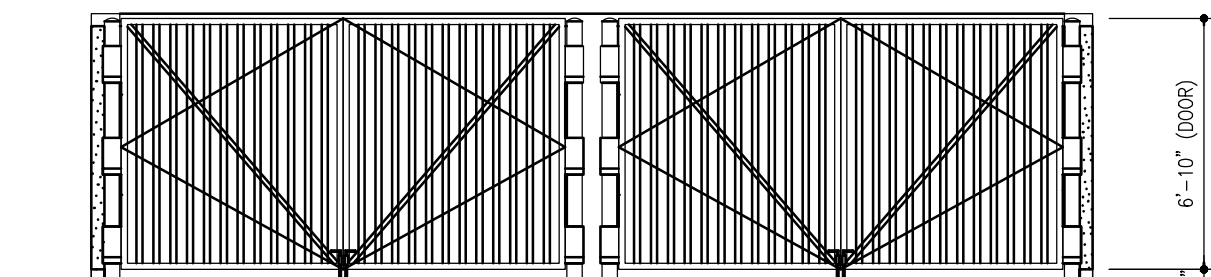
5 Side Elevation  
1/4" x 1'-0"



4 Back Elevation  
1/4" x 1'-0"



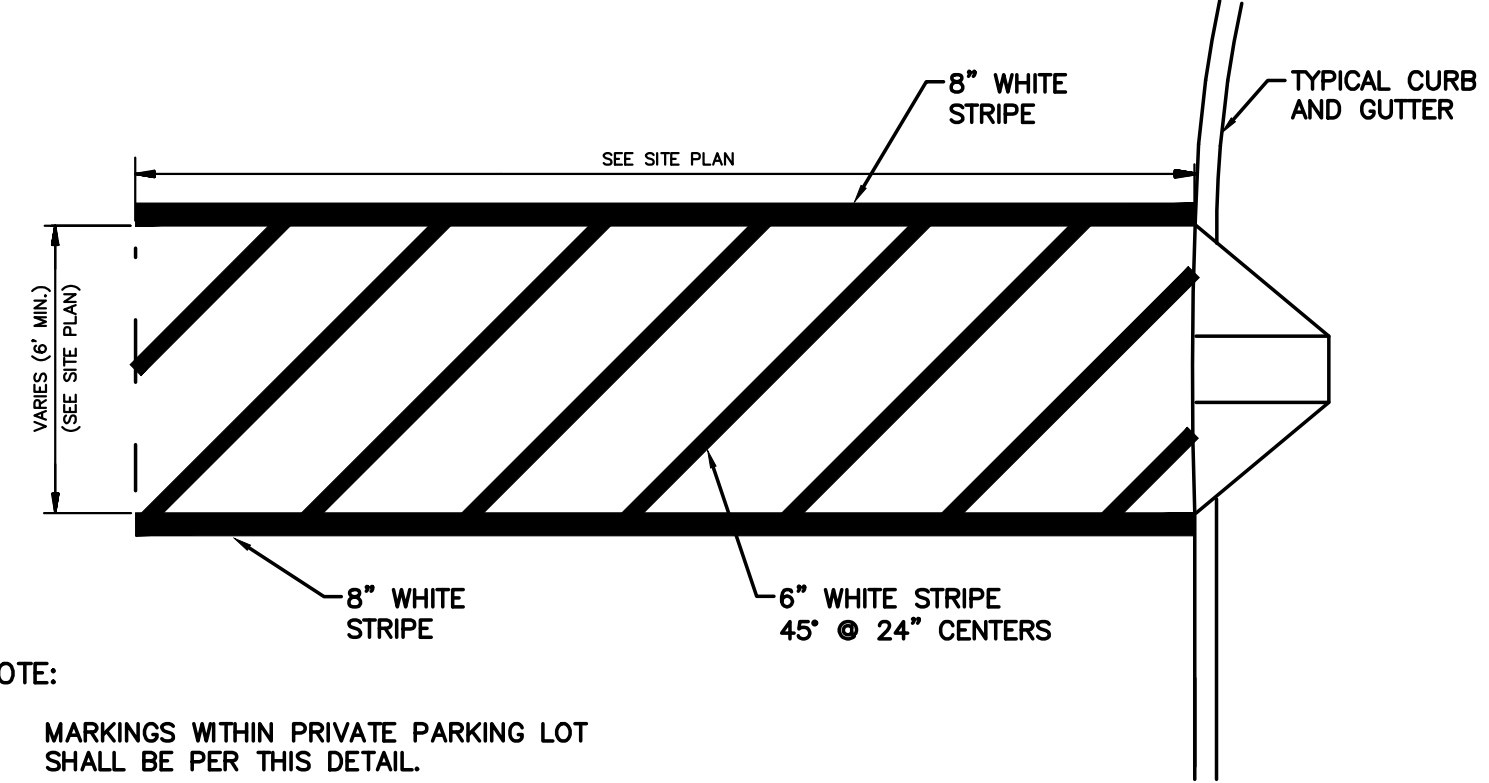
3 Side Elevation  
1/4" x 1'-0"



2 Front Elevation  
1/4" x 1'-0"

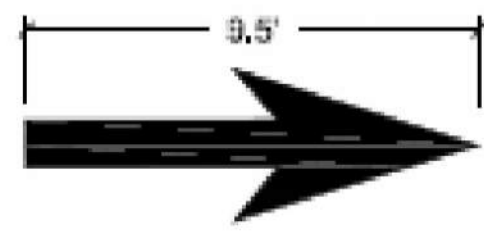
General Notes

1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS

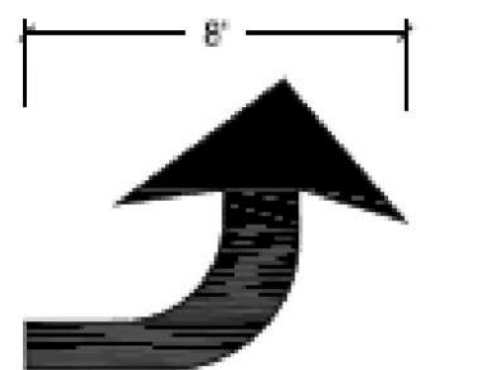


- NOTE:
1. MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL.
  2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

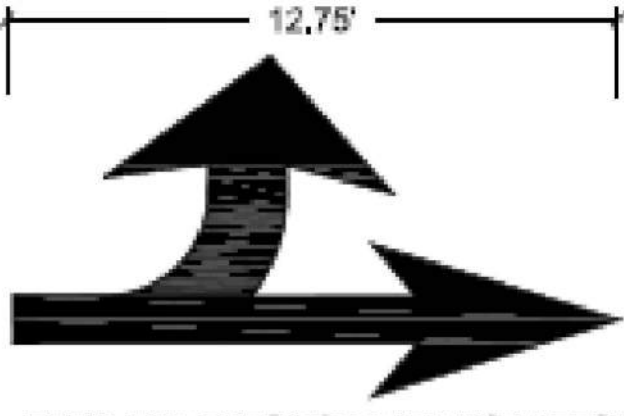
CROSSWALK/PED. CROSSING  
NTS



THROUGH LANE-USE ARROW



TURN LANE-USE ARROW

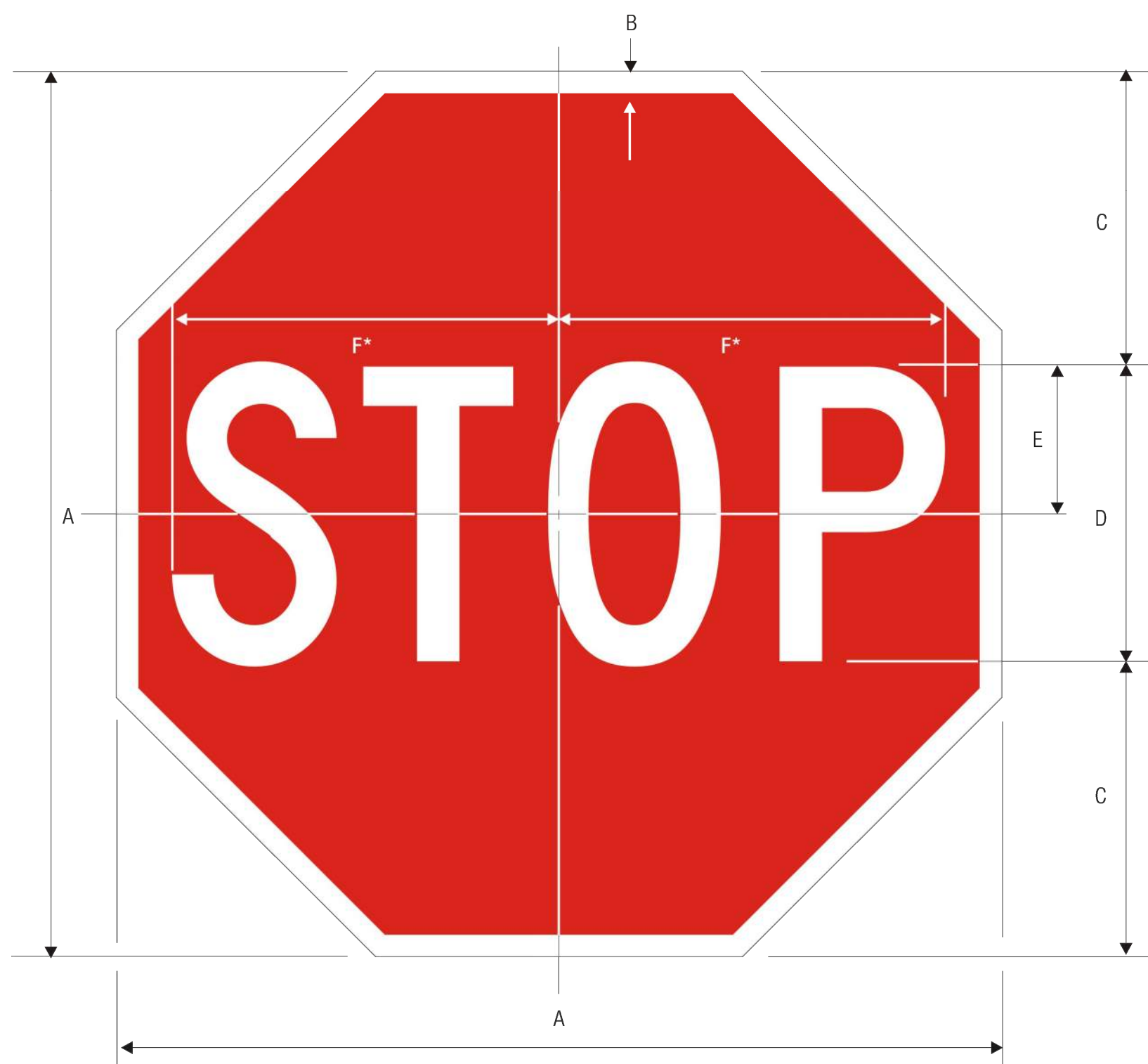


TURN AND THROUGH LANE-USE ARROW

STANDARD ARROWS FOR PAVEMENT MARKINGS

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div>7-5-22</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	SLIM CHICKEN 8240 MONTGOMERY BLVD NE	DRAWN BY pm
	DUMPSTER DETAIL	DATE 7-5-22
		DRAWING 2021089-SP
		SHEET # SP-3
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	
		JOB # 2021089





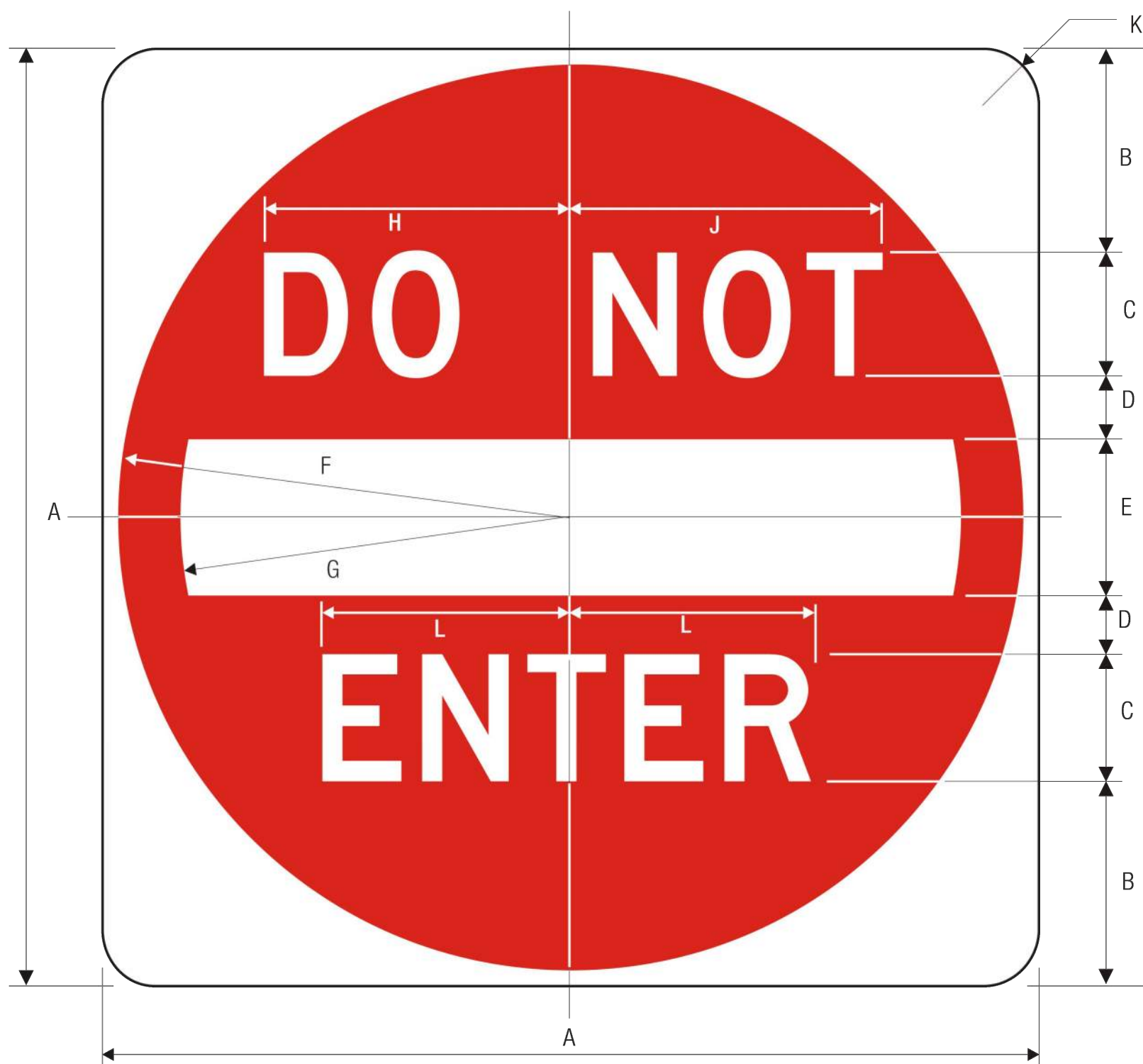
R1-1  
STOP

\*Reduce spacing 40%

A	B	C	D	E	F
18	.375	6	6 C	3	7.75
24	.625	8	8 C	4	10
30	.75	10	10 C	5	12.5
36	.875	12	12 C	6	15
48	1.25	16	16 C	8	20

COLORS: LEGEND — WHITE (RETROREFLECTIVE)  
BACKGROUND — RED (RETROREFLECTIVE)

1-1

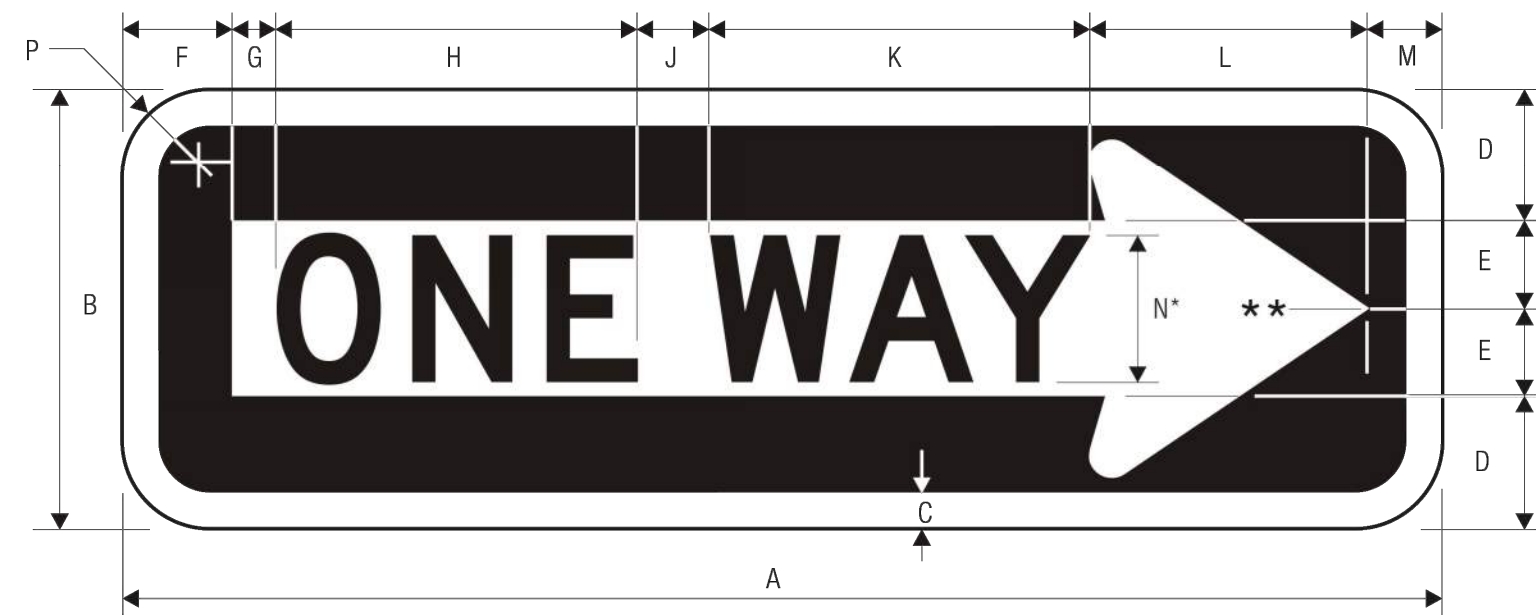


R5-1  
DO NOT ENTER

A	B	C	D	E	F	G	H	J	K	L
30	6.5	4 D	2	5	14.5	12.5	9.75	10	1.875	7.875
36	7.5	5 D	2.5	6	17.5	15	12	12.375	2.25	9.813
48	11	6 D	3	8	23.5	20	14.5	15	3	11.75

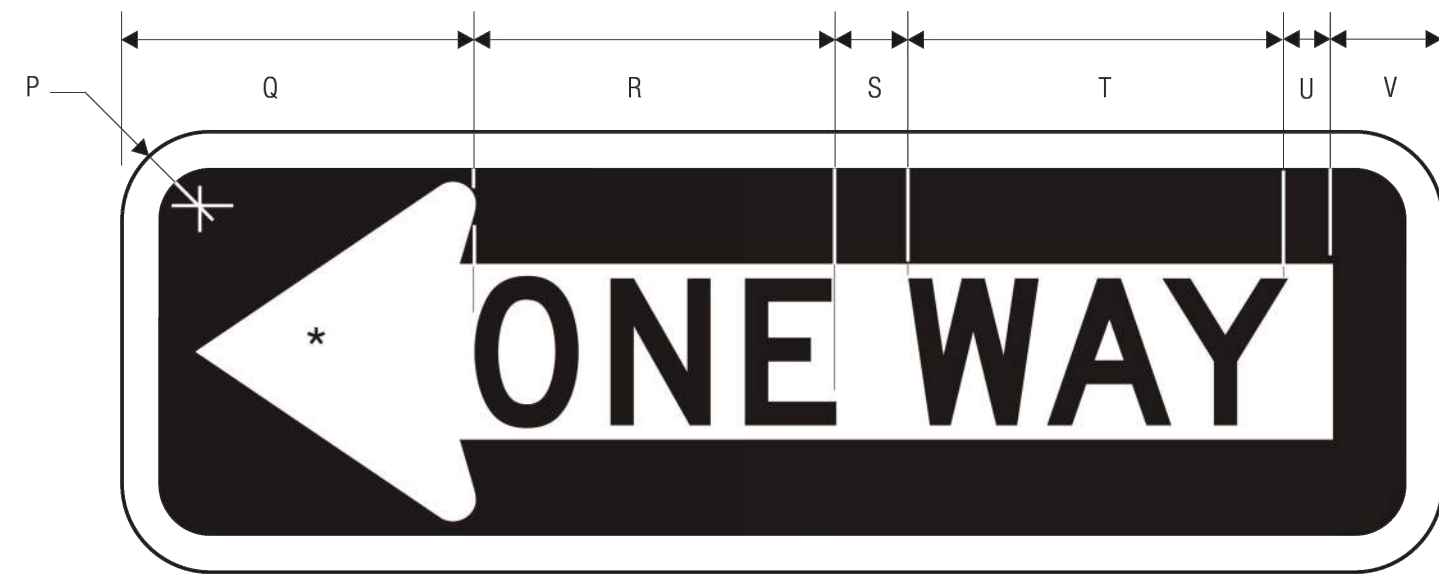
COLORS: SYMBOL — RED (RETROREFLECTIVE)  
LEGEND & BACKGROUND — WHITE (RETROREFLECTIVE)

1-73



R6-1R  
ONE WAY

A	B	C	D	E	F	G	H	J	K	L	M
36	12	.5	3.375	2.625	3	1.25	9.125	2	9.625	9	2
54	18	1	5.5	3.5	5	4	12.309	2.929	12.762	13	4
N	P	Q	R	S	T	U	V	*Series 2000 Standard Alphabets. **See page 6-2 for arrow design.			
4 D	1.5	11	9.125	2	9.625	1.25	3				
5 D	1.875	17	12.309	2.929	12.762	4	5				



R6-1L  
ONE WAY

COLORS: LEGEND — BLACK  
BACKGROUND — BLACK  
ARROW — WHITE (RETROREFLECTIVE)

1-86

<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	SLIM CHICKEN 8240 MONTGOMERY BLVD NE	DRAWN BY pm
	SIGN FACES	DATE 7-5-22
	<div></div> <div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com</div>	DRAWING 2021089-SP
		SHEET # <b>SP-4</b>
		JOB # 2021089

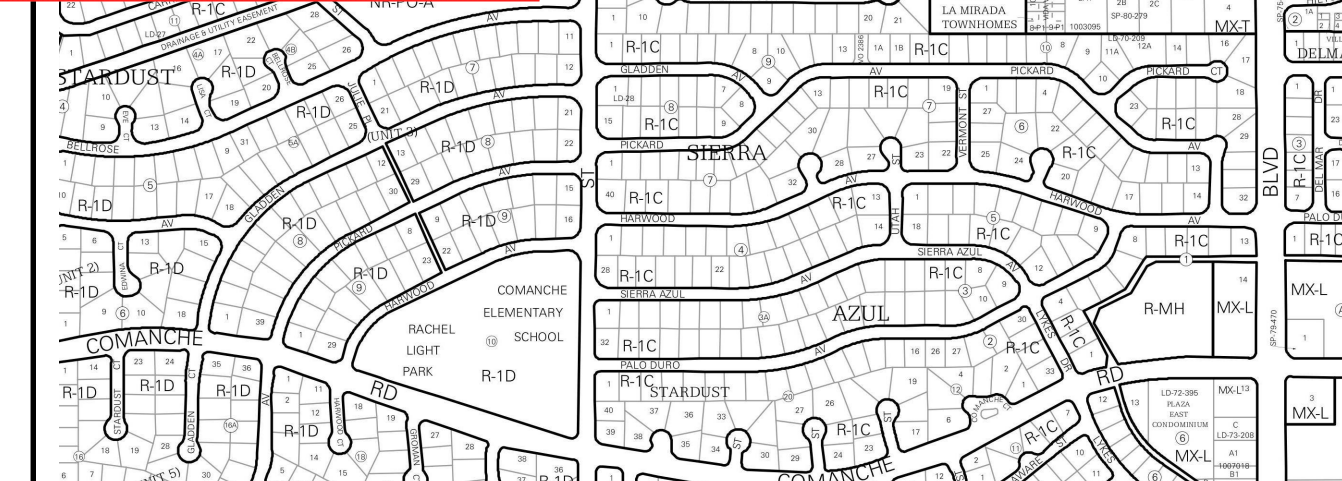




ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION

**PERMIT**  
PERMIT NUMBER: FP 24-009607  
APPROVED DATE: 04/12/22  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS FROM THE DATE OF ISSUANCE.  
FIRE FLOW: 1500 GPM 1" HYDRANT 3500 GPM 4" V



VICINITY MAP

LEGAL DESCRIPTION

TRACT 1 THE WYMONT

SLIM CHICKEN  
TRACT 1 THE WYMONT  
CITY OF ALBUQUERQUE,  
BERNALILLO COUNTY

RESTAURANT  
TYPE: S-1 (MODERATE HAZARD STORAGE)  
LOT AREA: 37352 SF (0.86 ACRES)  
BUILDING AREA: 3570 SF

CONSTRUCTION TYPE: TYPE V-B  
NOT SPRINKLED  
MAX BUILDING HEIGHT 22'

NOTES

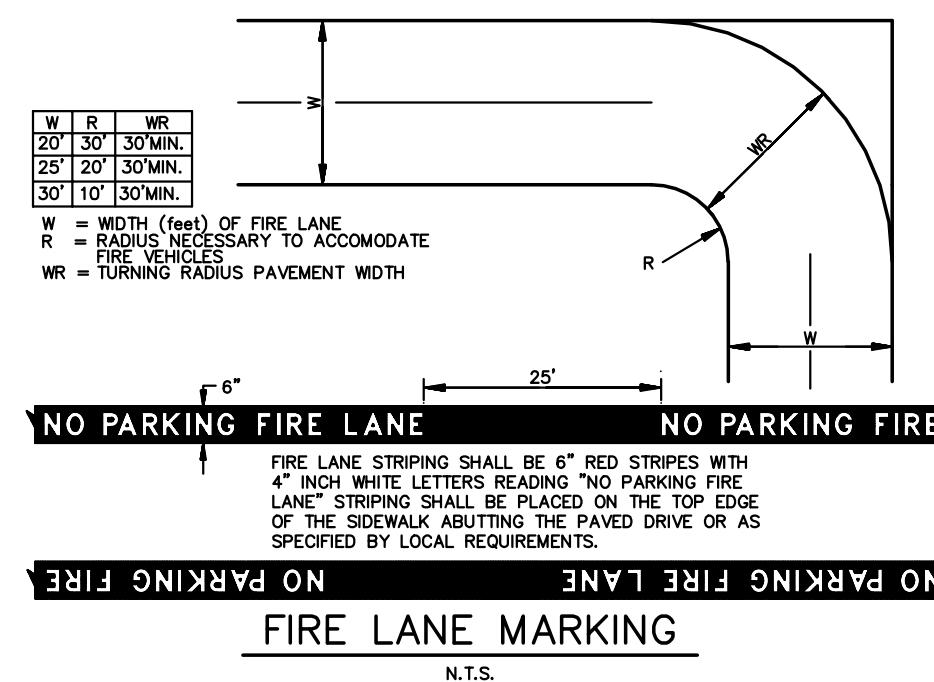
- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- 8" WL WATERLINE
- FIRELANE STRIPING



KEYED NOTES

- PROPOSED FIRE HYDRANT W/PRIVATE GATE VALVE
- 6" FIRELINE
- 2" DOMESTIC WL SERVICE
- EXISTING WATER METER
- BUILDING ADDRESS
- KNOX BOX



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	SLIM CHICKEN 8240 MONTGOMERY BLVD NE		DRAWN BY pm
   2-22-22	FIRE ONE PLAN		DATE 4-4-22
	 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		DRAWING 2021089-FO
			SHEET #  <b>FO-1</b>
RONALD R. BOHANNAN P.E. #7868			JOB # 2021089