

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

November 20, 2023

Ronald Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**RE: Slim Chicken**  
**8240 Montgomery Blvd NE**  
**30-day Temporary C.O. - Accepted**  
**Engineer's Certification Date: 11/13/23**  
**Engineer's Stamp Date: 08/02/22**  
**Hydrology File: G19D004E**

Dear Mr. Bohannon:

PO Box 1293

Based **solely** on the Certification received 11/13/2023, this letter serves as a “green tag” from Hydrology Section for a **30-day** Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

**PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Please Resubmit to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) when ready with an updated engineer's certification with as-built topographic information.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

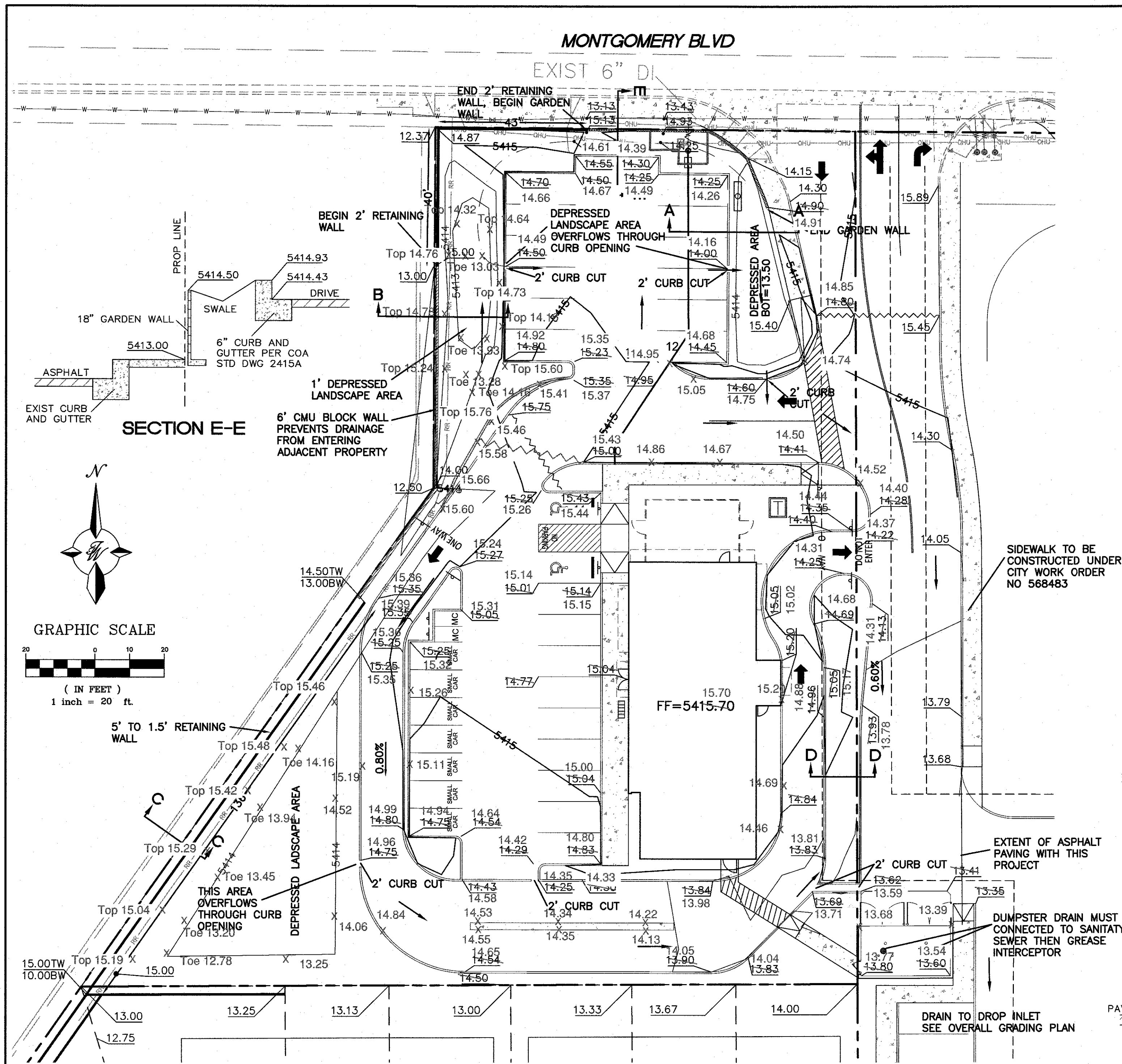
Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department







#### NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

#### EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

#### LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	WATER BLOCK
	LANDSCAPING
	EXISTING INDEX CONTOUR
	PROPOSED INDEX CONTOUR
	PROPOSED CONTOUR
	RETAINING WALL
	SCREEN WALL WALL

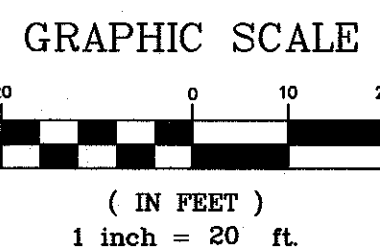
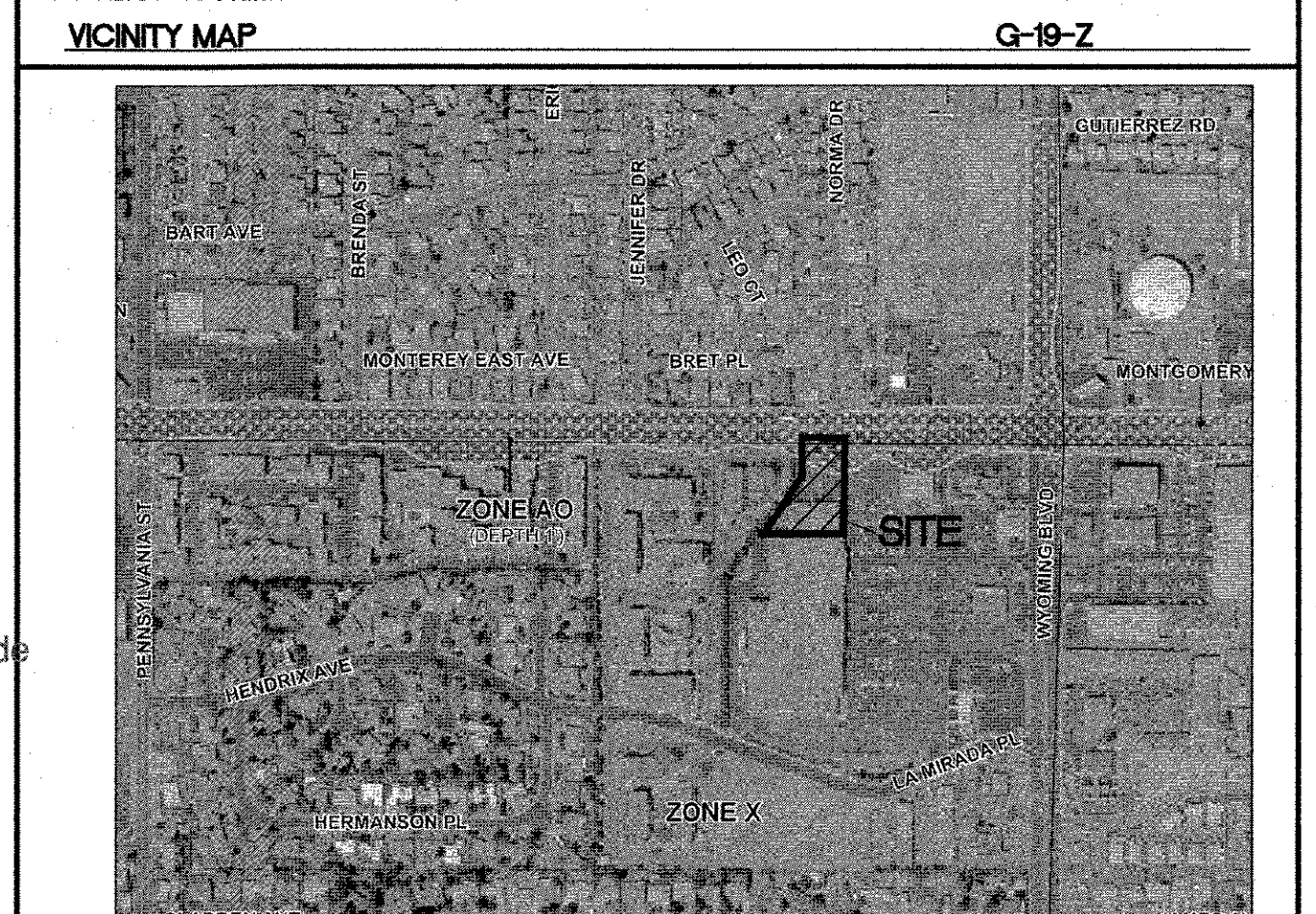
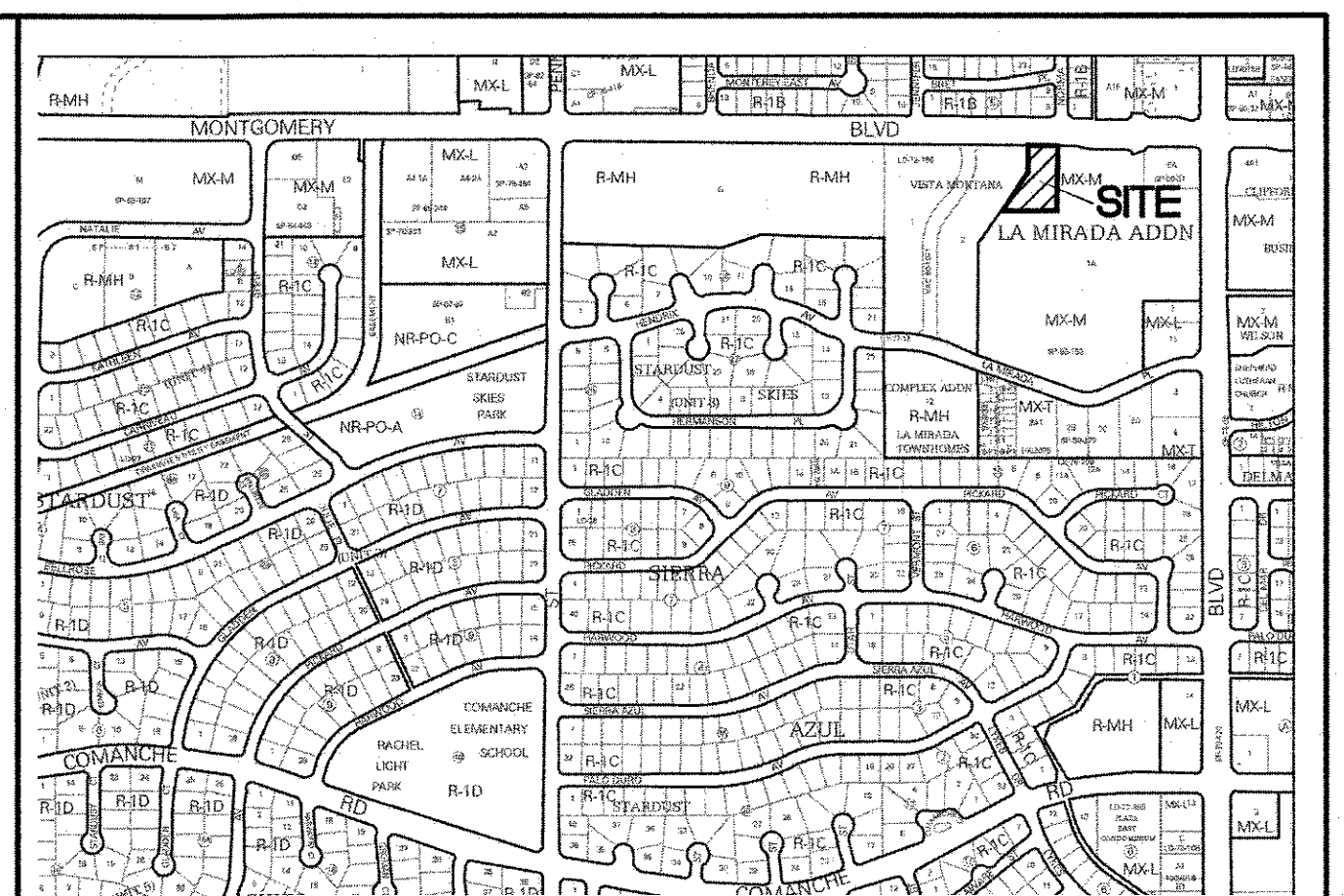
#### NOTE

ALL ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED

ADD 5400 TO ALL SPOT ELEVATIONS

#### Hydrology Punchlist 11-9-23

- 1) Depress rock at curb cuts to below grade
- 2) Insure positive drainage in parking area behind water meter
- 3) Raise Downspouts to above landscape gravel grade
- 4) Re-grade pond swale at solid waste to inlet for positive drainage
- 5) Lower pond to accept drainage from parking area



5' TO 1.5' RETAINING WALL

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#### Weighted E Method

Existing Basins

Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)
A	36,215	0.83	0%	7%	0%	93%	2.460	0.170	3.62	1.549	0.107

Proposed Basins

Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)
A	36,215	0.83	0%	15%	0%	85%	2.322	0.161	3.48	1.445	0.100

Equations:

Weighted E = Ea \* Aa + Eb \* Ab + Ec \* Ac + Ed \* Ad / (Total Area)

Volume = Weighted E \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Excess Precipitation, E (inches)			
Zone 3	100-Year	10 - Year	
Ea	0.67	0.18	
Eb	0.86	0.34	
Ec	1.09	0.52	
Ed	2.58	1.64	

Peak Discharge (cfs/acre)			
Zone 3	100-Year	10 - Year	
Qa	1.84	0.51	
Qb	2.49	1.07	
Qc	3.17	1.69	
Qd	4.49	2.81	

#### Equations:

Weighted E =  $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$  / (Total Area)

Volume = Weighted D \* Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (inches)				Peak Discharge (cfs/acre)			
Zone 3	100-Year	10 - Year		Zone 3	100-Year	10 - Year	
E <sub>a</sub>	0.67	0.18		Q <sub>a</sub>	1.84	0.51	
E <sub>b</sub>	0.86	0.34		Q <sub>b</sub>	2.49	1.07	
E <sub>c</sub>	1.09	0.52		Q <sub>c</sub>	3.17	1.69	
E <sub>d</sub>	2.58	1.64		Q <sub>d</sub>	4.49	2.81	

I, RONALD R. BOHANNAN, NMPE # 7868 OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/5/22. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN MARTINEZ, NMPS #18374 OF THE FIRM, CARTESIAN SURVEYS, INC.

I, BRIAN MARTINEZ, NMPS #18374 OF THE FIRM, CARTESIAN SURVEYS, INC., HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY DRAINAGE CERTIFICATION FOR EXISTING BASINS.

ALLOW CONTRACTOR/DEVELOPER TO COMPLETE PUNCHLIST ITEMS WHILE VENDORS AND TRAINING OCCUPY THE BUILDING.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD INFORMATION ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE: 11/9/23

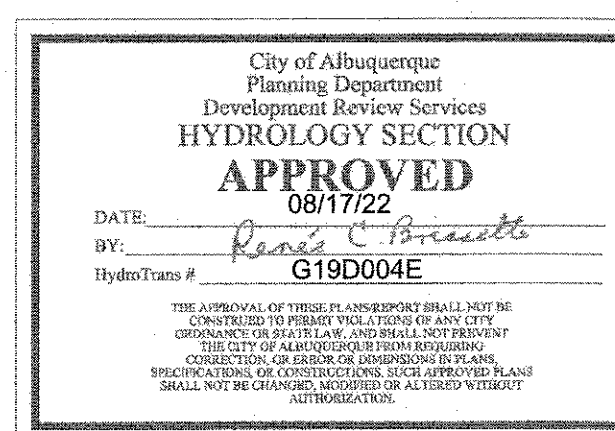
BY: *Brian Martinez*

PROFESSIONAL ENGINEER

Emergency Overflow

$Q = 2.70 \cdot 2.0 \cdot 50^{3/2}$

$Q = 1.91 \text{ cfs} > Q = 1.00 \text{ cfs}$



#### CAUTION

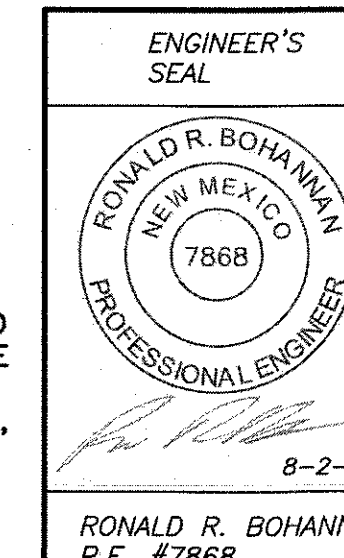
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

#### EXISTING DRAINAGE:

THIS SITE IS CURRENTLY VACANT SHOPPING CENTER AND IS LOCATED ON THE SOUTHWEST CORNER OF WYOMONT BOULEVARD AND MONTGOMERY BOULEVARD. THE SITE IS BOUNDED BY ROADS ON THE NORTH, SOUTH AND EAST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE WEST SIDE AND CONTAINS APPROXIMATELY 15.69 ACRES. THE SITE DRAINS FROM EAST TO WEST WITH MOST OF IT DRAINING ONTO AN EXISTING DETENTION POND. THE REMAINDER OF THE SITE DRAINS INTO AN EXISTING DROP INLET LOCATED AT THE SOUTHWEST ENTRANCE. ACCORDING TO AN APPROVED GRADING AND DRAINAGE PLAN (G-19/D4) COMPLETED BY JEFF MORTENSEN AND ASSOCIATES THE EXISTING POND MAY BE ELIMINATED AND ALL FLOW DISCHARGED TO THE EXISTING STORM SEWER IN HENDRIX AVENUE. THOSE IMPROVEMENTS WERE NEVER COMPLETED AND THE POND HAS REMAINED IN PLACE. BASED ON THE REVISED DRAINAGE VALUES IN THE CURRENT DPM THE TOTAL FLOW DISCHARGED FROM THIS SITE IS 68.15 CFS. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE NOT OFFSITE FLOWS THAT ENTER THE SITE.

#### PROPOSED DRAINAGE:

THE SITE IS TRACT ONE OF THE WYOMONT COMMERCIAL CENTER AND WILL DRAIN IN ACCORDANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN. THERE ARE THREE DEPRESSED LANDSCAPED AREAS LOCATED ON THIS PARCEL PROMOTING PASSIVE WATER HARVESTING. THESE AREAS WILL BE ALLOWED TO OVERFLOW INTO THE DRIVE AISLES. THIS PARCEL IS CONTAINED WITHIN DRAINAGE BASIN "A" OF THE APPROVED MASTER DRAINAGE PLAN AND WILL DRAIN TO THE SOUTHEAST TO A DROP INLET LOCATED JUST NORTH OF THE RESIDENTIAL NEIGHBORHOOD. FROM THERE THE WATER WILL BE CONVEYED VIA PRIVATE STORM SEWER TO THE EXISTING DETENTION POND LOCATED IN THE SOUTHEAST CORNER OF THE RESIDENTIAL NEIGHBORHOOD. THIS POND ALSO RETAINS THE WATER QUALITY VOLUME FOR THIS PARCEL.



**SLIM CHICKEN**  
8240 MONTGOMERY BLVD NE

**GRADING AND DRAINAGE PLAN**

Temporary Drainage Certification 11/9/23

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

DRAWN BY  
pm

DATE  
8-2-22

DRAWING  
2021089-GR

SHEET #  
GR-1

JOB #  
2021089