

Approved for access by the
Solid Waste Department for a double trash enclosure
Herman Gallegos 05-09-22
*Property owner will disclose to the individual that purchases unit 19
there is a trash enclosure directly north of that property**
Herman Gallegos

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- PEDESTRIAN ROUTE
- LANDSCAPE AREA

KEYED NOTES

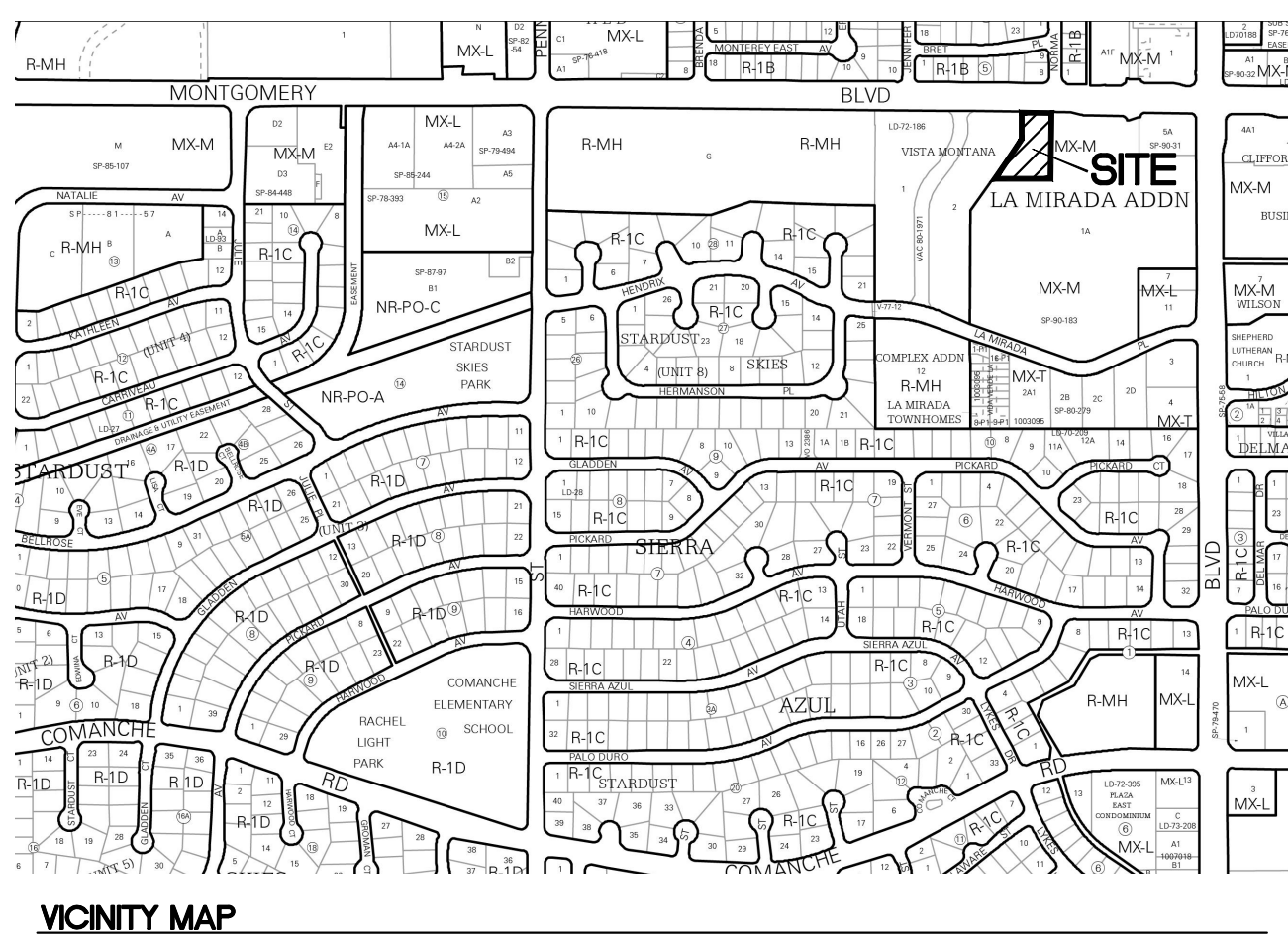
- ACCESSIBLE PARKING SPACE W/SIGN SEE DETAIL SHEET SP-21
ACCESSIBLE SIGN TO BE 2' FROM FACE OF CURB SP-21
- 6" CURB AND GUTTER (TYP)
- ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
- 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- MOTORCYCLE SPACES W/SIGN SEE DETAIL SHEET SP-2
SIGN TO BE 2' FROM FACE OF CURB
- DOUBLE DUMPSTER W/RECYCLING SEE DETAIL SHEET SP-3
- TRANSFORMER
- 6' PEDESTRIAN CROSSING
- BICYCLE RACK W/1' CLEAR ZONE SEE DETAIL SHEET SP-2
- FIRE HYDRANT BUILT UNDER PROJECT NO 568483
- EXIST WATER METER CONTRACTOR TO FIELD VERIFY SIZE
- BACKFLOW PREVENTER (2"x3")
- RETAINING WALL SEE DETAIL SHEET SP-3
- SCREEN WALL SEE DETAIL SHEET SP-3
- 2" WL SERVICE
- FIRE HYDRANT BUILT UNDER PROJECT NO 568483
- SAS MH BUILT UNDER PROJECT NO 568483
- 4" SAS SERVICE
- GREASE TRAP
- POLE SIGN

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

GENERAL NOTES - SITE PLANS:

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
- WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
- GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
- GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
- PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 - 1/2" @ ALL EXIT DOORS
 - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 - 1 1/2" @ OVERHEAD DOORS
 - 1 1/2" @ PRE-FAB METAL WALL PANELS
- PARKING LOT SHALL BE ASPHALT PAVING



LEGAL DESCRIPTION

TRACT 1 THE WYMONT

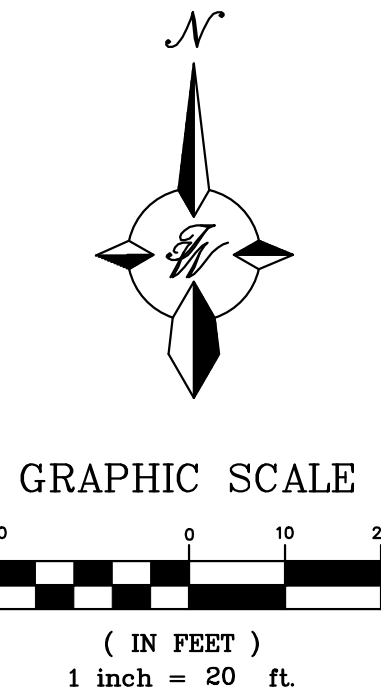
SITE DATA

PROPOSED USAGE	RESTAURANT
LOT AREA	37352 SF (0.86 ACRES)
ZONING	SU
BUILDING AREA	3570 SF

PARKING REQUIRED	1 PER 4 SEATS
	90 INDOOR SEATS (23 SPACES)
	30 PATIO SEATS (8 SPACES)
REQUIRED	31 SPACES
PARKING PROVIDED	29 SPACES
HC PARKING REQUIRED	2 SPACES
HC PARKING PROVIDED	2 SPACES
TOTAL	37 SPACES

BICYCLE SPACES REQUIRED	2 SPACES
BICYCLE SPACES PROVIDED	4 SPACES

LANDSCAPE NEEDED	5067 SF
LANDSCAPE PROVIDED	11385 SF



<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	SLIM CHICKEN 8240 MONTGOMERY BLVD NE	DRAWN BY pm
	SITE PLAN FOR BUILDING PERMIT	DATE 5-2-22
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2021089-SP
		SHEET # SP-1
		JOB # 2021089