

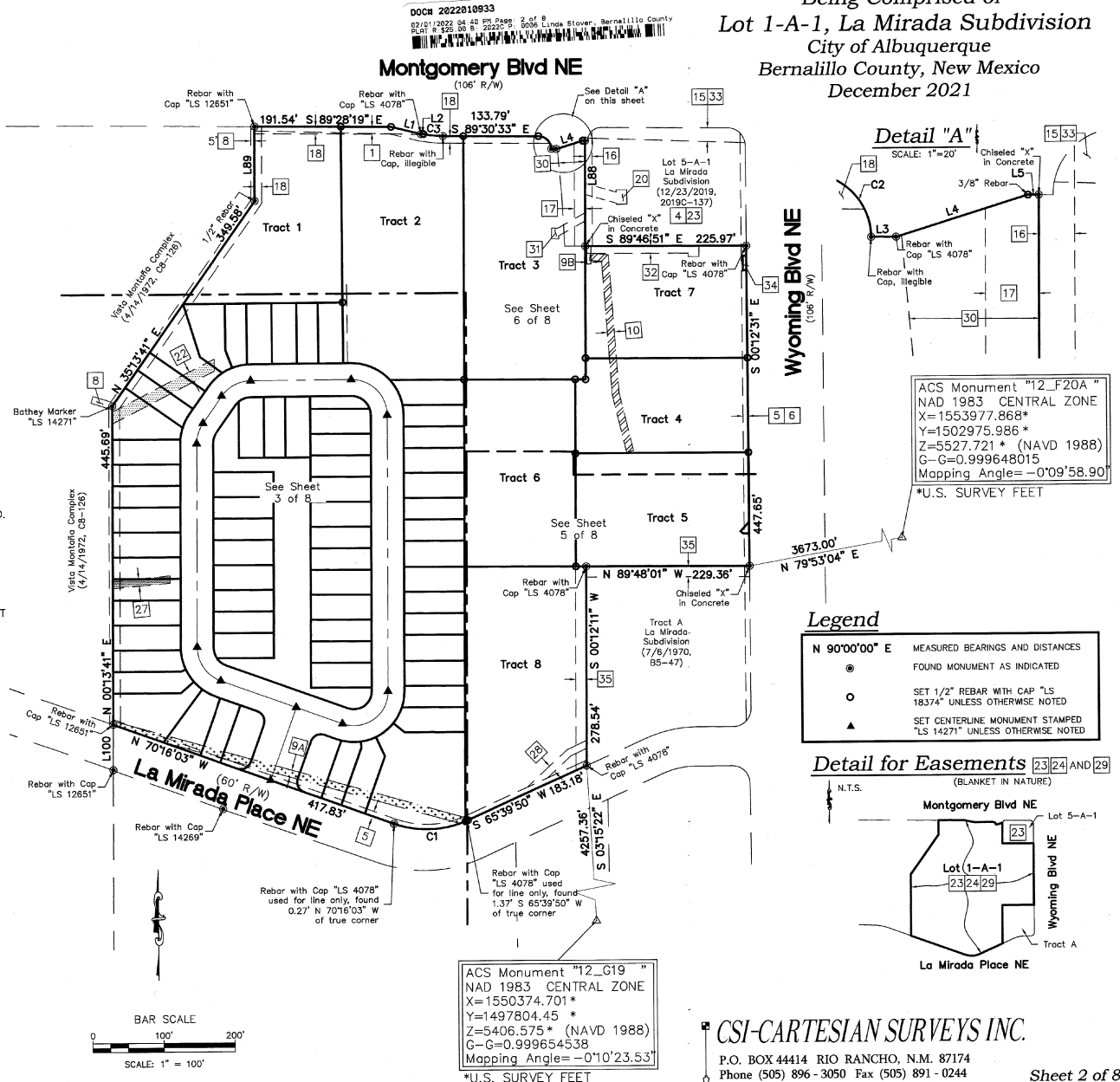
2022C-6

Easement Notes

- 1 EXISTING PNM TRANSMISSION LINE EASEMENT (4/24/1973, BK. MISC. 309, FOL. 334, DOC. NO. 47734)
- 4 CENTERLINE OF 32.5 FOOT OPENING AT THE PROPERTY LINE BEING A PRIVATE RECIPROCAL DRIVEWAY OPENING EASEMENT BENEFITING LOT 1-A-1 AND 5-A-1 FOR ACCESS TO AND FROM LOT 1-A-1 AND LOT 5-A-1 INTO THE DRIVE AISLES FOR USE WITHIN LOT 1-A-1 AND 5-A-1 AS SUCH DRIVE AISLES ARE ESTABLISHED AND/OR RELOCATED FROM TIME TO TIME BY THE RESPECTIVE OWNERS OF LOT 1-A-1 AND LOT 5-A-1. EACH OWNER IS TO BE RESPONSIBLE TO MAINTAIN THAT PORTION OF THE RECIPROCAL DRIVEWAY OPENING AND THE DRIVE AISLES THAT ARE SITUATE UPON THAT OWNER'S LOT (12/23/2019, 2019C-137)
- 5 EXISTING 7' UTILITY EASEMENT (3/19/1974, C9-165), AMENDED BY PLAT (3/20/1981, C18-32) ACROSS THE EASTERLY 7' OF LOT 1-A-1
- 6 EXISTING 7' EASEMENT FOR POWER TRANSMISSION LINES 53' ABOVE GROUND LEVEL (9/24/1968, BK. 116, PG. 158, DOC. NO. 8889) ACROSS THE EASTERLY 7' OF LOT 1-A-1 AND 5-A-1
- 8 EXISTING UTILITY EASEMENT (4/14/1972, C8-126) LOCATED ON VISTA MONTANA COMPLEX
- 9A EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542) VACATED WITH THIS PLAT, SHOWN HEREON AS
- 9B EXISTING 6' ANCHOR EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542)
- 10 EXISTING 10' UNDERGROUND PNM & MST&T EASEMENT (10/28/1986, BK. MISC. 412A, PG. 15, DOC. NO. 86105149) VACATED BY WITH THIS PLAT, SHOWN HEREON AS
- 15 EXISTING PNM EASEMENT (4/24/1973, BK. MISC. 309, PG. 333, DOC. NO. 47733) LOCATED ON LOT 5-A-1
- 16 EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 845, DOC. 7736543) LOCATED ON LOT 5-A-1
- 17 EXISTING 15' GAS EASEMENT (12/23/2019, 2019C-137)
- 18 EXISTING 10' PUE (12/23/2019, 2019C-137) LOCATED ON LOT 1-A-1
- 20 EXISTING PNM & US WEST EASEMENT (1/22/1996, BK. 96-2, PG. 6187-6188, DOC. NO. 96007364)
- 22 15' PNM & CENTURYLINK EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT, SHOWN HEREON AS
- 23 EXISTING PRIVATE CROSS LOT ACCESS EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 OVER THE DRIVE AISLES WITHIN LOTS 5-A-1 AND 1-A-1 AS MAY BE STRIPPED AND MODIFIED OVER TIME AND MAINTAINED BY THE RESPECTIVE UNDERLYING OWNERS OF LOT 5-A-1 AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH FUTURE AND EXISTING BUILDINGS (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- 24 EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, BENEFITING LOT 5-A-1, OVER LOT 1-A-1 EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNER OF LOT 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THE FILING OF THIS PLAT
- 27 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT SHOWN HEREON AS
- 28 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 29 EXISTING PRIVATE CROSS LOT PARKING EASEMENTS WITHIN THE PARKING AREAS AS REGULATED, STRIPPED AND MODIFIED OVER TIME BY THE OWNER OF LOT 1-A-1, WITHIN LOT 1-A-1, BENEFITING LOT 5-A-1 AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNER OF SAID LOT 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THE FILING OF THIS PLAT
- 30 EXISTING PRIVATE DRIVEWAY EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 TO BE MAINTAINED BY THE OWNER OF LOT 1-A-1 FOR ACCESS TO AND FROM MONTGOMERY BOULEVARD FOR LOTS 5-A-1 AND 1-A-1 AND FOR ACCESS BETWEEN LOTS 5-A-1 AND 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- 31 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- 32 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 33 EXISTING CENTURYLINK EASEMENT (12/23/2019, 2019C-137)

* EASEMENT LABELS 2, 3, 7, 11, 12, 13, 14, 19, 21, 23 & 26 NOT USED

Existing & Vacated Easements Only Shown on this sheet

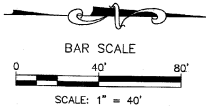


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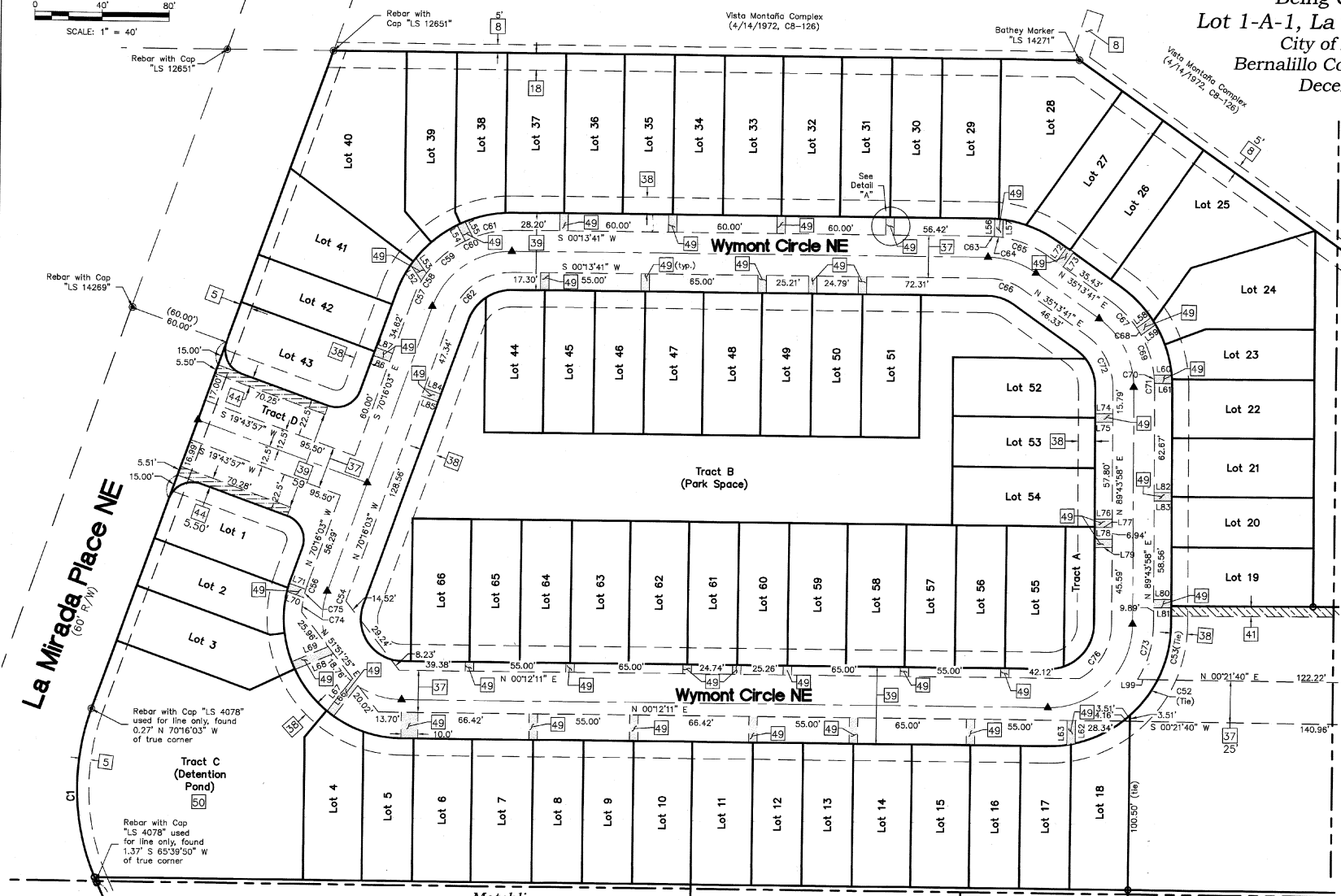
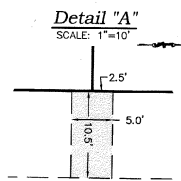
Sheet 2 of 8
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202266



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02/01/2022 04:40 PM Page: 4 of 6 Linda Glover, Bernalillo County
PLAT # 2022-06-B, 2022-06-B, 0006
02/01/2022 04:40 PM Page: 4 of 6 Linda Glover, Bernalillo County
PLAT # 2022-06-B, 2022-06-B, 0006

Plat for
Wymont Subdivision
Being Comprised of
Lot 1-A-1, La Mirada Subdivision
City of Albuquerque
Bernalillo County, New Mexico
December 2021



Matchline
See Sheet 6
of 8

Matchline
See Sheet 6
of 8

Matchline
See Sheet 5
of 8

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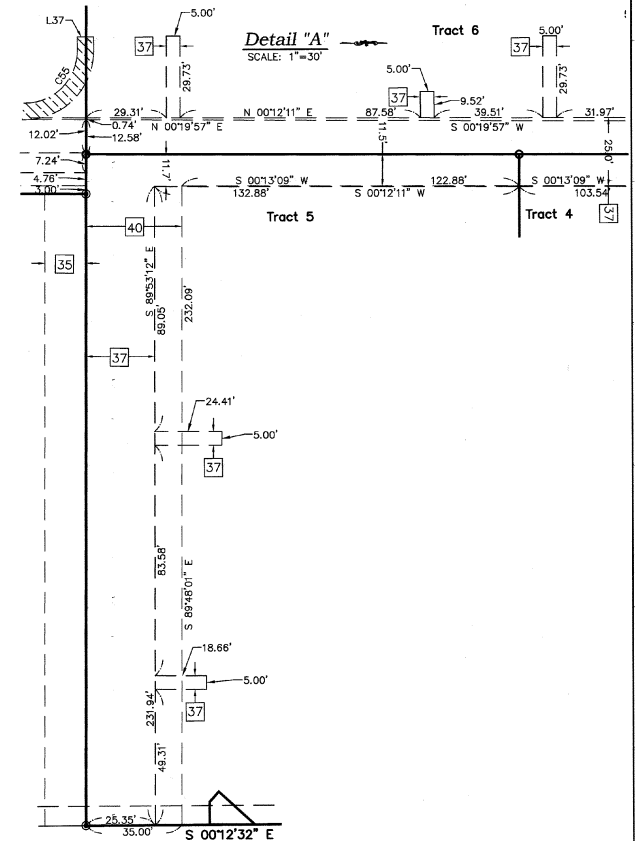
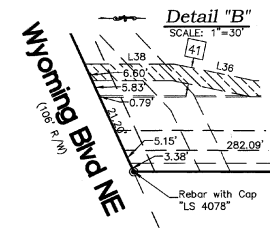
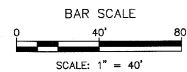
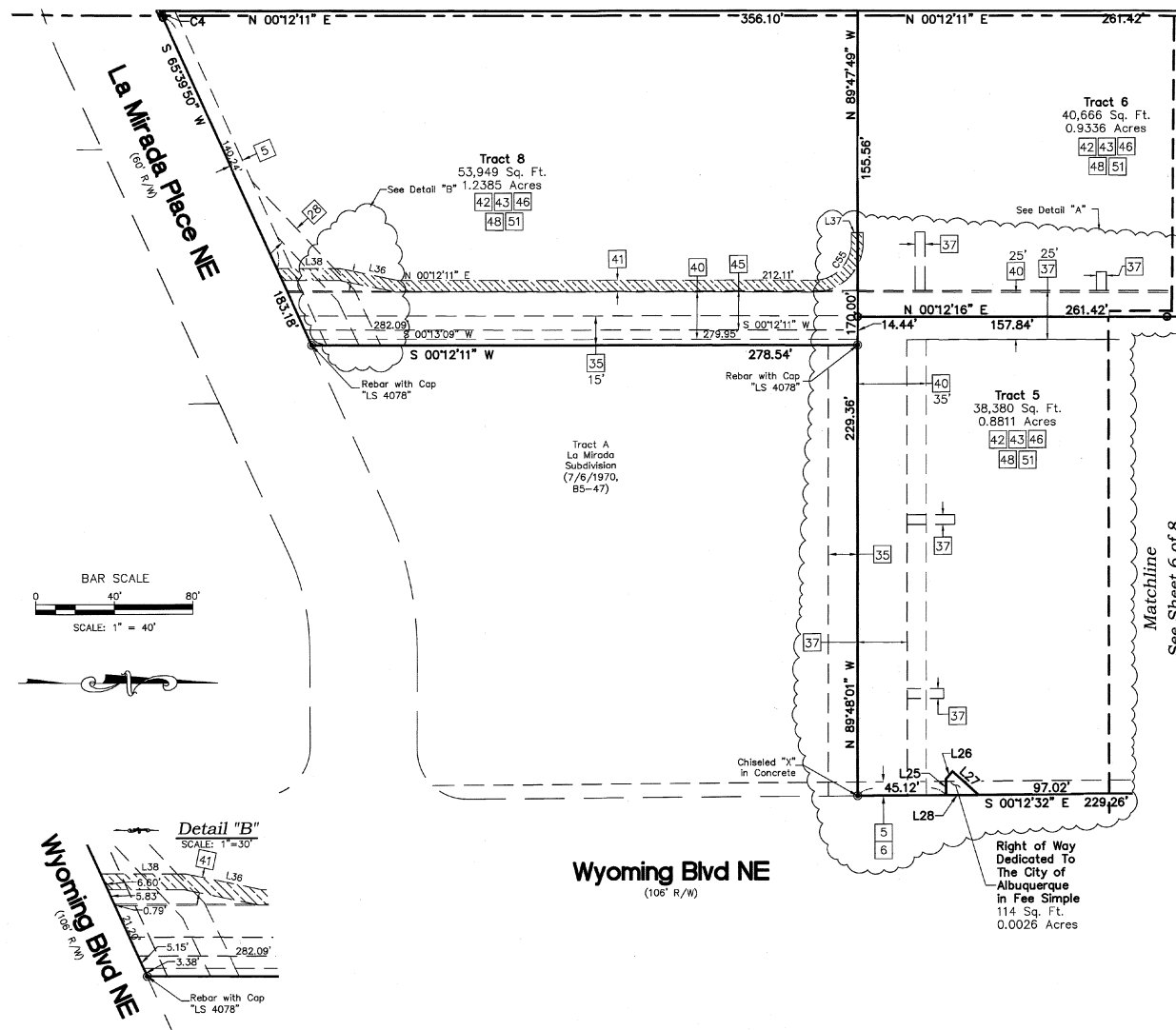
2022-6

Matchline
See Sheet 4 of 8

**Plat for
Wymont Subdivision**
Being Comprised of
Lot 1-A-1, La Mirada Subdivision
City of Albuquerque
Bernalillo County, New Mexico
December 2021

Matchline
See Sheet 6 of 8

DOC# 2022010933
02/01/2022 04:40 PM Page 5 of 8
PLAT # 1325 00 B: 2022010933 Linda Stover, Bernalillo County



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Sheet 5 of 8
210263

20 2266

Easement Notes

- [1] EXISTING PNM TRANSMISSION LINE EASEMENT (4/24/1973, BK. MISC. 309, FOL. 334, DOC. NO. 47734)
- [4] CENTERLINE OF 32.5 FOOT OPENING AT THE PROPERTY LINE BEING A PRIVATE RECIPROCAL DRIVEWAY OPENING EASEMENT BENEFITING LOT 1-A-1 AND 5-A-1 FOR ACCESS TO AND FROM LOT 1-A-1 AND LOT 5-A-1 INTO THE DRIVE AISLES FOR USE WITHIN LOT 1-A-1 AND 5-A-1 AS SUCH DRIVE AISLES ARE ESTABLISHED AND/OR RELOCATED FROM TIME TO TIME BY THE RESPECTIVE OWNERS OF LOT 1-A-1 AND LOT 5-A-1. EACH OWNER IS TO BE RESPONSIBLE TO MAINTAIN THAT PORTION OF THE RECIPROCAL DRIVEWAY OPENING AND THE DRIVE AISLES THAT ARE SITUATE UPON THAT OWNER'S LOT (12/23/2019, 2019C-137)*
- [5] EXISTING 7' UTILITY EASEMENT (3/19/1974, C9-165), AMENDED BY PLAT, (3/20/1981, C18-32) ACROSS THE EASTERLY 7' OF LOT 1-A-1.
- [6] EXISTING 7' EASEMENT FOR POWER TRANSMISSION LINES 53' ABOVE GROUND LEVEL, (9/24/1988, BK. 116. PG. 158, DOC. NO. 8889) ACROSS THE EASTERLY 7' OF LOT 1-A-1 AND 5-A-1.
- [8] EXISTING UTILITY EASEMENT (4/14/1972, C8-126) LOCATED ON VISTA MONTANA COMPLEX
- [9A] EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542) VACATED WITH THIS PLAT, SHOWN HEREON AS [EASEMENT SYMBOL]
- [9B] EXISTING 6' ANCHOR EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542) REMAINING PORTION OF EASEMENT, SEE SHEET 2 (9A AND 9B)
- [10] EXISTING 10' UNDERGROUND PNM & MST&T EASEMENT (10/28/1986, BK. MISC. 412A, PG. 15, DOC. NO. 86105149) VACATED BY WITH THIS PLAT, SHOWN HEREON AS [EASEMENT SYMBOL]
- [15] EXISTING PNM EASEMENT (4/24/1973, BK. MISC. 309, PG. 333, DOC. NO. 47733) LOCATED ON LOT 5-A-1.
- [16] EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 845, DOC. 7736543) LOCATED ON LOT 5-A-1.
- [17] EXISTING 15' GAS EASEMENT (12/23/2019, 2019C-137)
- [18] EXISTING 10' PUE (12/23/2019, 2019C-137)
- [20] EXISTING PNM & US WEST EASEMENT (1/22/1996, BK. 96-2, PG. 6187-6188, DOC. NO. 96007364)
- [22] 15' PNM & CENTURYLINK EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT, SHOWN HEREON AS [EASEMENT SYMBOL]
- [28] EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- [29] EXISTING PRIVATE CROSS LOT PARKING EASEMENTS WITHIN THE PARKING AREAS AS REGULATED, STRIPED AND MODIFIED OVER TIME BY THE OWNER OF LOT 1-A-1, WITHIN LOT 1-A-1, BENEFITING LOT 5-A-1 AND LOT 1-A-1, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNER OF SAID LOT 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THE FILING OF THIS PLAT
- [30] EXISTING PRIVATE DRIVEWAY EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 TO BE MAINTAINED BY THE OWNER OF LOT 1-A-1 FOR ACCESS TO AND FROM MONTGOMERY BOULEVARD FOR LOTS 5-A-1 AND 1-A-1 AND FOR ACCESS BETWEEN LOTS 5-A-1 AND 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- [31] EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- [32] EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) LOCATED ON TRACT 7.
- [33] EXISTING CENTURYLINK EASEMENT (12/23/2019, 2019C-137)
- [34] EXISTING PUBLIC SIDEWALK AND BUS STOP SHELTER EASEMENT (12/23/2019, 2019C-137)
- [35] EXISTING PRIVATE EASEMENT AGREEMENT BETWEEN THE BANK OF AMERICA AND THE OWNER OF THE SUBJECT PROPERTY FOR RETAINING WALL MAINTENANCE (12/23/2019, DOC. 2019109248)
- [36] PUBLIC WATER EASEMENT GRANTED WITH THE FILING OF THIS PLAT. SEE DETAIL ON SHEET 6 OF 8.
- [37] PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT. SEE DETAIL ON SHEET 4, 5 & 6 OF 8.
- [38] 10' PUE GRANTED BY THE FILING OF THIS PLAT

Easement Notes, continued

- [39] 46' PRIVATE VEHICLE AND PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT BENEFITING LOTS 1-66 AND TRACTS A-D. OWNED AND MAINTAINED BY THE HOA.
- [40] PRIVATE ROADWAY EASEMENT BENEFITING TRACTS 1-8, WYMONT SUBDIVISION AND LOT 5-A-1, LA MIRADA SUBDIVISION GRANTED WITH THE FILING OF THIS PLAT. TO BE MAINTAINED BY THE OWNERS OF TRACTS 1-8. SEE DETAIL ON SHEET 5 & 6 OF 8.
- [41] 6' PUBLIC SIDEWALK EASEMENT GRANTED WITH THE FILING OF THIS PLAT. SHOWN HEREON AS [EASEMENT SYMBOL]. SEE DETAIL ON SHEET 6 OF 8.
- [42] PRIVATE CROSS LOT PARKING EASEMENTS WITHIN THE PARKING AREAS AS REGULATED, STRIPED AND MODIFIED OVER TIME BY THE OWNER OF TRACTS 1-8, WYMONT SUBDIVISION, WITHIN TRACTS 1-8, WYMONT SUBDIVISION, BENEFITING LOT 5-A-1, LA MIRADA SUBDIVISION, AND TRACTS 1-8, WYMONT SUBDIVISION, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNERS OF SAID TRACTS 1-8, WYMONT SUBDIVISION, GRANTED WITH THE THIS PLAT.
- [43] PRIVATE CROSS LOT DRAINAGE EASEMENT OVER TRACTS 1-8, WYMONT SUBDIVISION BENEFITING LOT 5-A-1, LA MIRADA, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS GRANTED WITH THIS PLAT. TO BE MAINTAINED BY THE OWNERS OF TRACTS 1-8, WYMONT SUBDIVISION.
- [44] 5.5' PUBLIC SIDEWALK EASEMENT GRANTED WITH THE FILING OF THIS PLAT. SHOWN HEREON AS [EASEMENT SYMBOL]
- [45] 20' PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THIS PLAT. SEE DETAIL ON SHEET 6 OF 8.
- [46] EASEMENTS AS SPECIFIED IN THAT CERTAIN DECLARATION OF EASEMENTS OF COVENANTS AND RESTRICTIONS FOR THE WYMONT (RECORDED 02/01/2021 AS DOCUMENT NO. 2021-01933) BENEFITING TRACTS 1-8, AND TO BE MAINTAINED BY THE OWNERS OF TRACTS 1-8. BLANKET IN NATURE.
- [47] PRIVATE SIGN EASEMENT PURSUANT TO DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS FOR THE WYMONT (RECORDED 02/01/2021 AS DOCUMENT NO. 2021-01933) FOR THE BENEFIT OF TRACTS 1-8, TO BE MAINTAINED AS SET FORTH IN THE DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS.
- [48] PRIVATE DRAINAGE EASEMENT FOR SURFACE STORM WATERS FOR THE BENEFIT OF TRACTS 1-8 (RECORDED 02/01/2021 AS DOCUMENT NO. 2021-01935), TO BE MAINTAINED BY THE WYMONT PLACE HOME OWNERS ASSOCIATION. BLANKET IN NATURE.
- [49] PUBLIC WATER EASEMENT FOR FIRE HYDRANTS AND WATER METERS GRANTED WITH THE FILING OF THIS PLAT. SHOWN HEREON AS [EASEMENT SYMBOL]. SEE SHEET 4 OF 8 FOR FURTHER DETAILS.
- [50] PRIVATE DETENTION POND BEING ALL OF TRACT C, BENEFITING WYMONT SUBDIVISION. ALL STORM SEWER STRUCTURES AND PIPES CONNECTING TO LA MIRADA STORM SEWER AND POND SHALL BE MAINTAINED BY THE HOA GRANTED WITH THE FILING OF THIS PLAT.
- [51] PRIVATE CROSS LOT ACCESS EASEMENT BENEFITING LOTS 5-A-1, LA MIRADA SUBDIVISION AND TRACTS 1-8, WYMONT SUBDIVISION, OVER THE DRIVE AISLES WITHIN LOTS 5-A-1 AND TRACTS 1-8 AS MAY BE STRIPED AND MODIFIED OVER TIME AND MAINTAINED BY THE RESPECTIVE UNDERLYING OWNERS OF LOT 5-A-1 AND TRACTS 1-8, EXCLUDING BUILDING ENVELOPES FOR BOTH FUTURE AND EXISTING BUILDINGS GRANTED WITH THE FILING OF THIS PLAT.
- [52] PUBLIC ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- [53] 15' GAS LINE EASEMENT GRANTED WITH THE FILING OF THIS PLAT SHOWN HEREON AS [EASEMENT SYMBOL]

EASEMENT LABELS [2] [3] [7] [11] [12] [13] [14] [19] [22] [23] [26] [27] [29] [33] & [31] NOT USED

*LOT 1-A-1 NOW REPLACED BY TRACTS 1-8 AS SHOWN ON THIS PLAT

Plat for Wymont Subdivision Being Comprised of Lot 1-A-1, La Mirada Subdivision City of Albuquerque Bernalillo County, New Mexico December 2021

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 1	0.0758	3,304
Lot 2	0.0607	2,646
Lot 3	0.0786	3,423
Lot 4	0.0752	3,275
Lot 5	0.0592	2,578
Lot 6	0.0683	2,975
Lot 7	0.0711	3,095
Lot 8	0.0585	2,550
Lot 9	0.0585	2,550
Lot 10	0.0683	2,975
Lot 11	0.0711	3,095
Lot 12	0.0585	2,550
Lot 13	0.0585	2,550
Lot 14	0.0683	2,975
Lot 15	0.0683	2,975
Lot 16	0.0585	2,550
Lot 17	0.0587	2,556
Lot 18	0.0749	3,262
Lot 19	0.0683	2,976
Lot 20	0.0585	2,548
Lot 21	0.0683	2,973
Lot 22	0.0683	2,975
Lot 23	0.0578	2,519
Lot 24	0.0945	4,117
Lot 25	0.1107	4,820
Lot 26	0.0654	2,850
Lot 27	0.0660	2,873
Lot 28	0.1060	4,619
Lot 29	0.0763	3,326
Lot 30	0.0654	2,850
Lot 31	0.0654	2,850
Lot 32	0.0763	3,325
Lot 33	0.0763	3,325
Lot 34	0.0654	2,850
Lot 35	0.0654	2,850
Lot 36	0.0763	3,325

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 37	0.0763	3,325
Lot 38	0.0673	2,931
Lot 39	0.0733	3,191
Lot 40	0.1364	5,940
Lot 41	0.0825	3,595
Lot 42	0.0585	2,550
Lot 43	0.0758	3,303
Lot 44	0.0678	2,952
Lot 45	0.0585	2,550
Lot 46	0.0585	2,550
Lot 47	0.0683	2,975
Lot 48	0.0683	2,975
Lot 49	0.0585	2,550
Lot 50	0.0585	2,550
Lot 51	0.0683	2,975
Lot 52	0.0676	2,943
Lot 53	0.0585	2,550
Lot 54	0.0683	2,976
Lot 55	0.0682	2,970
Lot 56	0.0585	2,550
Lot 57	0.0585	2,550
Lot 58	0.0683	2,975
Lot 59	0.0683	2,975
Lot 60	0.0585	2,550
Lot 61	0.0585	2,550
Lot 62	0.0683	2,975
Lot 63	0.0683	2,975
Lot 64	0.0585	2,550
Lot 65	0.0585	2,550
Lot 66	0.0683	2,975
Tract A	0.0312	1,357
Tract B (Park Space)	0.5481	23,874
Tract C (Detention Pond)	0.3791	16,515
Tract D	1.5660	68,214

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