

### Notes

- FIELD SURVEY PERFORMED IN IN DECEMBER 2018 THROUGH AUGUST 2019, AND SUPPLEMENTAL DATA IN MARCH 2021.
   ALL DISTANCES ARE GROUND DISTANCES: US SURVEY FOOT.
   THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (NAD
- 83-CENTRAL ZONE).
- 4. FIELD MEASUREMENTS MATCH RECORD INFORMATION EXACTLY, AS SHOWN ON THE

# Free Consent & Dedication

THE SUBDIVISION SHOWN AND DESCRIBED HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIONED OWNER(S) THEREOF AND GRANT ALL EASEMENTS AS SHOWN HEREON. EXISTING AND/OR GRANTED PUBLIC UTILITY ALL EASEMENTS AS SHOWN HEREON, EXISTING AND/OR GRANTED PUBLIC UILLITY EASEMENTS (P.U.E.) AS SHOWN HEREON, UNLESS NOTED DIHERMISE, ARE FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURBLED AND/OR OVERHEAD DISTRIBUTION UNES, CONDUIT AND PIPES FOR UNDERGROUND UTILLITIES, SAID UTILLITY COMPANIES HAVE THE RIGHT OF INGRESS/EGRESS FOR CONSTRUCTION OF, MAINTENANCE OF AND REPLACEMENT OF SAID UTILITIES INCLUDING THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS WITHIN SAID PLUE. SAID OWNERS CERTILY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

SAID OWNERS DO HEREBY DEDICATE ADDITIONAL PUBLIC RIGHT OF WAY AS SHOWN HEREON IN WYOMING BLVD NE TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE.

CAREY A. PLANT, VICE PRESIDENT WYMONT LLC A NEW MEXICO LIMITED LIABILITY SPIGIAL SAL CHARLES CALDERON STATE OF / -- Mc41(0)

# Indexing Information

Section 6, Township 10 North, Range 4 East, N.M.P.M. Owner: Wymont, LLC UPC #: 101906048047020404L1

# Purpose of Plat

- SUBDIVIDE AS SHOWN HEREON.
  VACATE EASEMENTS AS SHOWN HEREON.
  GRANT EASEMENTS AS SHOWN HEREON.
  DEDICATE ADDITIONAL RIGHT-OF-WAY AS SHOWN

# PAID ON UPC # 10190604804702040461 PROPERTY OWNER OF RECORD Н3 И ∞

THIS IS TO CERTIFY THAT THE TAXES ARE CURRENT AND

Treasurer's Certificate

DOC# 2022010933

02/01/2022 04:40 PM Page: 1 of 8 PLAT R: \$25.00 B: 2022C P: 8006 Linda Stover, Bernalillo Count

REPNALL LO COUNTY TREASURER'S OFFICE Michelle Rochectury

# Subdivision Data

GROSS ACREAGE,	15.1868 ACRES
ZONE ATLAS PAGE NO	,G-19-Z
NUMBER OF EXISTING LOTS	
NUMBER OF COMMERCIAL TRACTS CREATED IN COMMERCIAL AREA	8
NUMBER OF RESIDENTIAL LOTS CREATED	66
NUMBER OF TRACTS CREATED WITHIN RESIDENTIAL AREA	4
MILES OF FULL-WIDTH PRIVATE STREETS	0.2760 MILES
MILES OF HALF-WIDTH STREETS	0.000 MILES
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE	.U.UUSU ACRES
DATE OF SURVEY	AUGUST 2021

#### Documents

- TITLE POLICY ISSUED BY OLD REPUBLIC NATIONAL TITLE, HAVING FILE NO. 2011162 AND AN EFFECTIVE DATE OF JUNE 24, 2021.
- 2. PLAT FOR LA MIRADA, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON NOVEMBER 6, 1990 IN BOOK 90C, PAGE 274.
- PLAT FOR LA MIRADA SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 19, 1974 IN BOOK C9, PAGE 165 AND CORRECTION PLAT, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON MARCH 20, 1981 IN BOOK C18, PAGE 32.
- PLAT FOR VISTA MONTAÑA COMPLEX, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 14, 1972 IN BOOK C8, PAGE 126.
- 5. PLAT OF RECORD FOR LOTS 1-A-1 AND 5-A-1, LA MIRADA SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 23, 2019, IN PLAT BOOK 2019C, PAGE 137.
- PLAT FOR TRACTS A AND B, BEING A REPLAT OF LOTS 7 & 11, OF LA MIRADA SUBDIVISION, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JULY 6, 1970, IN BOOK BS, PACE 47.
- 7. WARRANTY DEED FOR SUBJECT PROPERTY, FROM M & M CO. TO WYMONT LLC, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JUNE 24, 2021, AS DOCUMENT NO.

# Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR REFORD TO THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

# Legal Description

LOT NUMBERED ONE—A—ONE (1—A—1) OF LA MIRADA SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT FOR LOTS 1—A—1 AND 5—A—1, LA MIRADA SUBDIVISION, BEING COMPRISED OF LOTS 1—A AND 5—A. LA MIRADA SUBDIVISION, CITY OF ALBUQUERQUE, BERNALLLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALLLO COUNTY, NEW MEXICO, ON DECEMBER 23, 2019, IN PLAT BOOK 2019C, PAGE 137.

# Plat for Wymont Subdivision

Being Comprised of Lot 1-A-1, La Mirada Subdivision

City of Albuquerque Bernalillo County, New Mexico December 2021

Project Number: PR-2019-002309 Application Number: SD-2021-00264 Plat Approvals: KAA Jan 24, 2022

PNM Electric Services Natalia Antonio Qwest Corp. d/b/a CenturyLink QC Jan 25, 2022 Jeff Estvanko New Mexico Gas Company Mike Mortus Jan 6, 2022

# City Approvals:

Loren N. Risenhoover P.S. 12/27/2021 City Surveyor Jeanne Wolfenbarger Jan 27, 2022 Traffic Engineer Jan 27, 2022 Blaine Carter Jan 27, 2022 Jan 27, 2022 1/18/2022 Jan 27, 2022 Jan 31, 2022

### Surveyor's Certificate

DKB Ungirperson, Planning Department

SULVEYOR S CELULICALE

, WILL POTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR
UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY
THAT THIS FLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY
SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF
RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS
OF THE SUBDIMISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER
INTERESTED PARTIES AND METES THE MINIMUM REQUIREMENTS FOR MIN
MONUMENTATION AND SURVEYS FOR THE GITY OF ALBUQUEQUE AND
FUTHER MEETS THE MINIMUM STANDARDS FOR EAVY SURVEYMENT THE
STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF

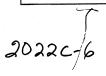
12/27/2021

# CSI-CARTESIAN SURVEYS I

P.O. BOX 44414 RIO RANCHO, N.M. 87174 Phone (505) 896 - 3050 Fax (505) 891 - 0244 wplotnerjr@gmail.com

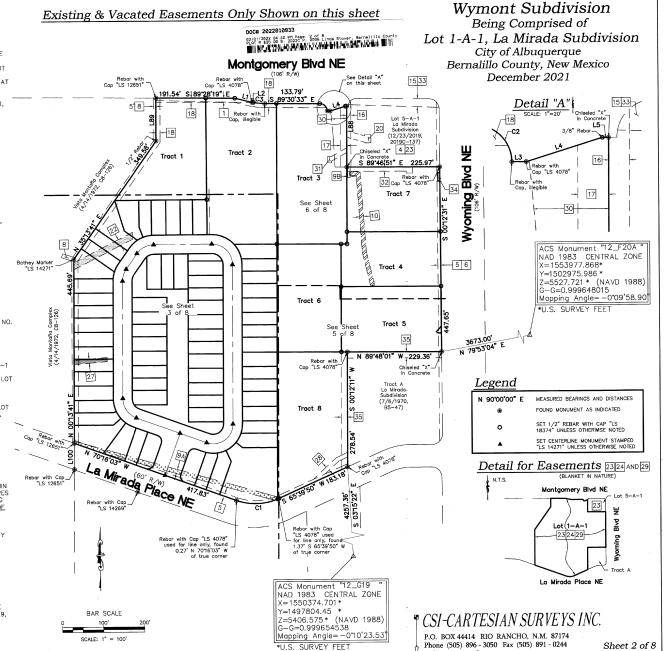
Sheet 1 of 8

No. 1427



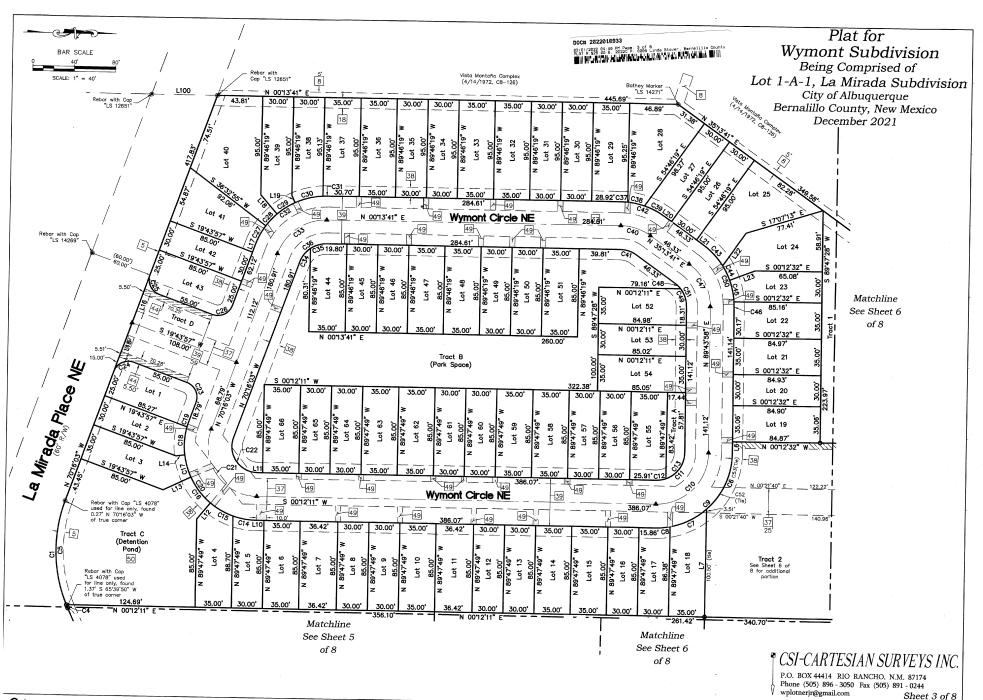
# Easement Notes

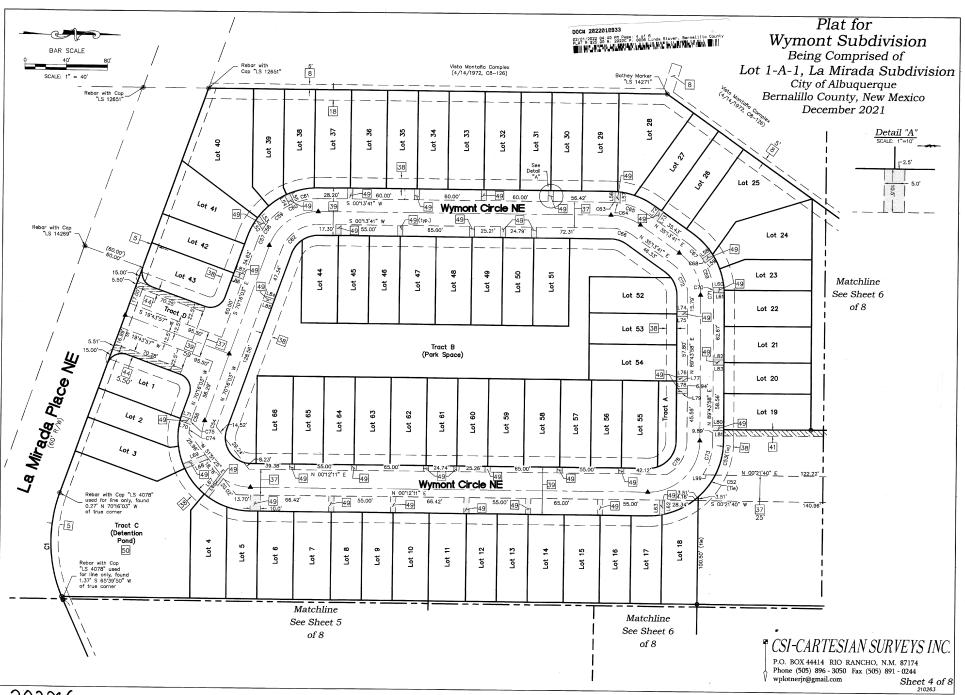
- 1 EXISTING PNM TRANSMISSION LINE EASEMENT (4/24/1973, BK. MISC. 309, FOL. 334, DOC. NO. 47734)
- 4 CENTERLINE OF 32.5 FOOT OPENING AT THE PROPERTY LINE BEING A PRIVATE RECIPROCAL DRIVEWAY OPENING EASEMENT BENEFITING LOT 1-A-1 AND 5-A-1 FOR ACCESS TO AND FROM LOT 1-A-1 AND 5-5-A-1 INTO THE DRIVE AISLES FOR USE WITHIN LOT 1-A-1 AND 5-A-1 AS SUCH DRIVE AISLES ARE ESTABLISHED AND/OR RELOCATED FROM TIME TO TIME BY THE RESPECTIVE OWNERS OF LOT 1-A-1 AND LOT 5-A-1, EACH OWNER IS TO BE RESPONSIBLE TO MAINTAIN THAT PORTION OF THE RECIPROCAL DRIVEWAY OPENING AND THE DRIVE AISLES THAT ARE SITUATE UPON THAT OWNERS LOT (12/23/2019, 20190-137)
- 5 EXISTING 7' UTILITY EASEMENT (3/19/1974, C9-165), AMENDED BY PLAT (3/20/1981, C18-32) ACROSS THE EASTERLY 7' OF LOT 1-A-1
- 8 EXISTING 7' EASEMENT FOR POWER TRANSMISSION LINES 53' ABOVE GROUND LEVEL (9/24/1968, BK. 116. PG. 158, DOC. NO. 8889) ACROSS THE EASTERLY 7' OF LOT
- B EXISTING UTILITY EASEMENT (4/14/1972, C8-126) LOCATED ON VISTA MONTANA COMPLEX
- PA EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542) VACATED WITH THIS PLAT. SHOWN HEREON AS .......
- BB EXISTING 6' ANCHOR EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542)
- O EXISTING 10' UNDERGROUND PNM & MST&T EASEMENT (10/28/1986, BK. MISC. 412A, PG. 15, DOC. NO. 88105149) VACATED BY WITH THIS PLAT. SHOWN HEREON AS (SCENE)
- $\fbox{15}$  EXISTING PNM EASEMENT (4/24/1973, BK. MISC. 309, PG. 333, DOC. NO. 47733) LOCATED ON LOT 5-A-1
- [6] EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 845, DOC. 7736543) LOCATED ON LOT 5-A-1
- 17 EXISTING 15' GAS EASEMENT (12/23/2019, 2019C-137)
- 18 EXISTING 10' PUE (12/23/2019, 2019C-137) LOCATED ON LOT 1-A-1
- 20 EXISTING PNM & US WEST EASEMENT (1/22/1996, BK. 96-2, PG. 6187-6188, DOC. NO. 96007364)
- 22 15' PNM & CENTURYLINK EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT. SHOWN HEREON AS
- 23 EXISTING PRIVATE CROSS LOT ACCESS EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 OVER THE DRIVE AISLES WITHIN LOTS 5-A-1 AND 1-A-1 AS MAY BE STRIPED AND MODIFIED OVER TIME AND MAINTAINED BY THE RESPECTIVE UNDERLYING OWNERS OF LOT 5-A-1 AND LOT 1-A-1, EXCLUDING BUILDING FOR SUILDING BUILDING BUILDING BUILDING BUILDING BUILDING SUILDING SU
- 24 EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT, BENEFITING LOT 5-A-1, OVER LOT 1-A-1 EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNER OF LOT 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THE FILING OF THIS PLAT
- 27 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT SHOWN HEREON AS
- 28 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 29 EXISTING PRIVATE CROSS LOT PARKING EASEMENTS WITHIN THE PARKING AREAS AS REGULATED, STRIPED AND MODIFIED OVER TIME BY THE OWNER OF LOT 1-A-1, WITHIN LOT 1-A-1, BENEFITING LOT 5-A-1 AND LOT 1-A-1, ESCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNER OF SAID LOT 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THE FILING OF THIS PLAT
- 30 EXISTING PRIVATE DRIVEWAY EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 TO BE MAINTAINED BY THE OWNER OF LOT 1-A-1 FOR ACCESS TO AND FROM MONTGOMERY BOULEVARD FOR LOTS 5-A-1 AND 1-A-1 AND FOR ACCESS BETWEEN LOTS 5-A-1 AND 1-A-1 (12/23/2019, 2019C-137) VACCATED WITH THIS PLAT
- 31 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- 32 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 33 EXISTING CENTURYLINK EASEMENT (12/23/2019, 2019C-137)
- SS EXISTING PRIVATE EASEMENT AGREEMENT BETWEEN THE BANK OF AMERICA AND THE OWNER OF THE SUBJECT PROPERTY FOR RETAINING WALL MAINTENANCE (12/23/2019, DOC. 2019109248)
  - \* EASEMENT LABELS 2 3 7 11 12 13 14 19 21 25 & 26 NOT USED

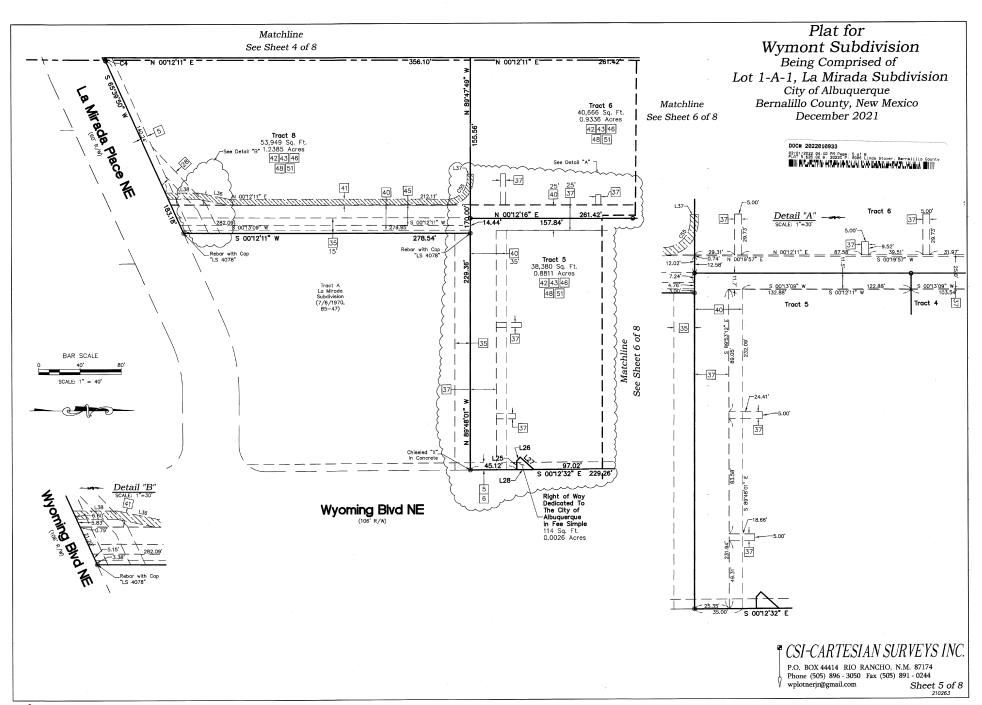


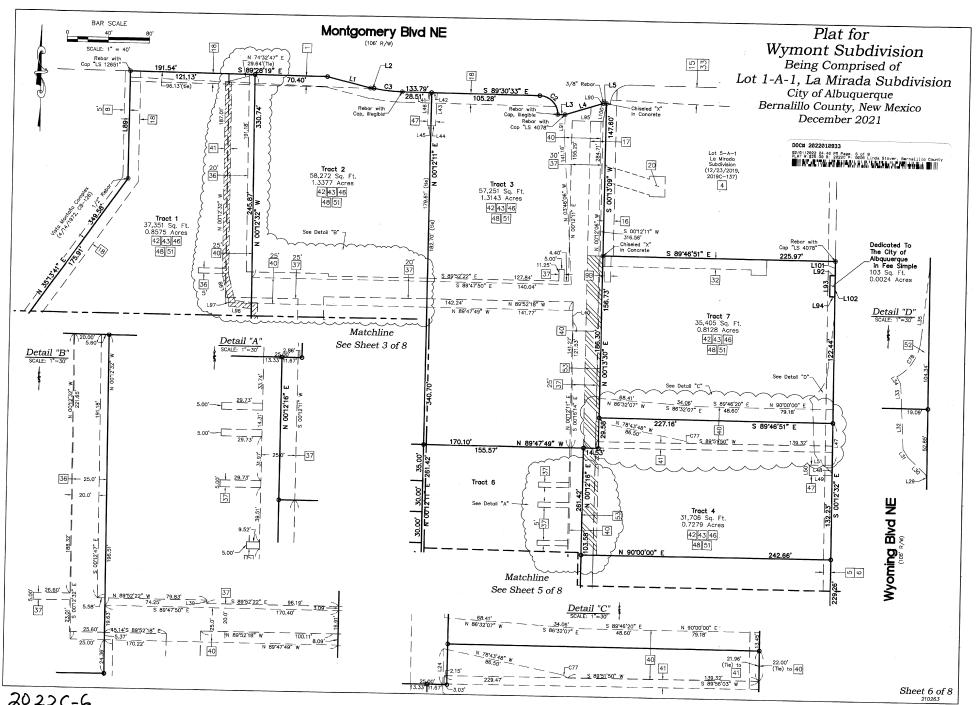
wplotnerjr@gmail.com

Plat for









## Easement Notes

- 1 EXISTING PNM TRANSMISSION LINE EASEMENT (4/24/1973, BK. MISC. 309, FOL. 334, DOC. NO. 47734)
- 4 CENTERLINE OF 32.5 FOOT OPENING AT THE PROPERTY LINE BEING A PRIVATE RECIPROCAL DRIVEWAY OPENING EASEMENT BENEFITING LOT 1-A-1 AND 5-A-1 FOR ACCESS TO AND FROM LOT 1-A-1 AND LOT 5-A-1 INTO THE DRIVE AISLES FOR USE WITHIN LOT 1-A-1 AND 5-A-1 AS SUCH DRIVE AISLES ARE ESTABLISHED AND/OR RELOCATED FROM TIME TO TIME BY THE RESPECTIVE OWNERS OF LOT 1-A-1 AND LOT 5-A-1. EACH OWNER IS TO BE RESPONSIBLE TO MAINTAIN THAT PORTION OF THE RECIPROCAL DRIVEWAY OPENING AND THE DRIVE AISLES THAT ARE SITUATE UPON THAT OWNER'S LOT (12/23/2019, 2019C-137)\*
- 5 EXISTING 7' UTILITY EASEMENT (3/19/1974, C9-165), AMENDED BY PLAT, (3/20/1981, C18-32) ACROSS THE EASTERLY 7' OF LOT 1-A-1.
- S EXISTING 7' EASEMENT FOR POWER TRANSMISSION LINES 53' ABOVE GROUND LEVEL, (9/24/1968, BK. 116. PG. 158, DOC. NO. 8889) ACROSS THE EASTERLY 7' OF LOT 1-A-1 AND 5-A-1.
- B EXISTING UTILITY EASEMENT (4/14/1972, C8-126) LOCATED ON VISTA MONTANA COMPLEX
- 9A EXISTING 10' PNM EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542) VACATED WITH THIS PLAT. SHOWN HEREON AS [+,+]
- BE EXISTING 6' ANCHOR EASEMENT (6/21/1977, BK. MISC. 542, PG. 844, DOC. NO. 77-36542) REMAINING PORTION OF EASEMENT, SEE SHEET 2 (9A AND 9B)
- TO EXISTING 10' UNDERGROUND PNM & MST&T EASEMENT (10/28/1986, BK. MISC. 412A, PG. 15, DOC. NO. 86105149) VACATED BY WITH THIS PLAT. SHOWN HEREON AS
- 15 EXISTING PNM EASEMENT (4/24/1973, BK. MISC. 309, PG. 333, DOC. NO. 47733) LOCATED ON LOT 5-A-1.
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- 17 EXISTING 15' GAS EASEMENT (12/23/2019, 2019C-137)
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- 28 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137)
- 29 EXISTING PRIVATE CROSS LOT PARKING EASEMENTS WITHIN THE PARKING AREAS AS REGULATED, STRIPED AND MODIFIED OVER TIME BY THE OWNER OF LOT 1—A—1, WITHIN LOT 1—A—1, BENEFITING LOT 5—A—1 AND LOT 1—A—1, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNER OF SAID LOT 1—A—1 (12/23/2019, 2019C—137) VACATED WITH FILLING OF THIS PLAT
- SO EXISTING PRIVATE DRIVEWAY EASEMENT BENEFITING LOTS 5-A-1 AND 1-A-1 TO BE MAINTAINED BY THE OWNER OF LOT 1-A-1 FOR ACCESS TO AND FROM MONTGOMERY BOULEVARD FOR LOTS 5-A-1 AND 1-A-1 AND FOR ACCESS BETWEEN LOTS 5-A-1 AND 1-A-1 (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- 31 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) VACATED WITH THIS PLAT
- 32 EXISTING 10' PNM EASEMENT (12/23/2019, 2019C-137) LOCATED ON TRACT 7.
- 33 EXISTING CENTURYLINK EASEMENT (12/23/2019, 2019C-137)
- 34 EXISTING PUBLIC SIDEWALK AND BUS STOP SHELTER EASEMENT (12/23/2019, 2019C-137)
- 55 EXISTING PRIVATE EASEMENT AGREEMENT BETWEEN THE BANK OF AMERICA AND THE OWNER OF THE SUBJECT PROPERTY FOR RETAINING WALL MAINTENANCE (12/23/2019, DOC. 2019/09248)
- 36 PUBLIC WATER EASEMENT GRANTED WITH THE FILING OF THIS PLAT. SEE DETAIL ON SHEET 6 OF 8.
- 37 PUBLIC WATER AND PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THE FILING OF THIS PLAT. SEE DETAIL ON SHEET 4, 5 & 6 OF 8.
- 38 10' PUE GRANTED BY THE FILING OF THIS PLAT

# Easement Notes, continued

- 39 46' PRIVATE VEHICLE AND PEDESTRIAN ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT BENEFITING LOTS 1-66 AND TRACTS A-D. OWNED AND MAINTAINED BY THE HOA.
- PRIVATE ROADWAY EASEMENT BENEFITING TRACTS 1-8, WYMONT SUBDIVISION AND LOT 5-A-1, LA MIRADA SUBDIVISION GRANTED WITH THE FILING OF THIS PLAT. TO BE MAINTAINED BY THE OWNERS OF TRACTS 1-8. SEE DETAIL ON SHEET 5 & 6 OF 8.
- 6' PUBLIC SIDEWALK EASEMENT GRANTED WITH THE FILING OF THIS PLAT. SHOWN HEREON AS \$\infty\$\infty\$\infty\$\infty\$. SEE DETAIL ON SHEET 6 OF 8.
- 42) PRIVATE CROSS LOT PARKING EASEMENTS WITHIN THE PARKING AREAS AS REGULATED, STRIPED AND MODIFIED OVER TIME BY THE OWNER OF TRACTS 1-8, WYMONT SUBDIVISION, WITHIN TRACTS 1-8, WYMONT SUBDIVISION, BENEFITING LOT 5-A-1, LA MIRADA SUBDIVISION, AND TRACTS 1-8, WYMONT SUBDIVISION, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS, TO BE MAINTAINED BY THE UNDERLYING OWNERS OF SAID TRACTS 1-8, WYMONT SUBDIVISION, GRANTED WITH THE THIS PLAT
- 43 PRIVATE CROSS LOT DRAINAGE EASEMENT OVER TRACTS 1-8, WYMONT SUBDIVISION BENEFITING LOT 5-A-1, LA MIRADA, EXCLUDING BUILDING ENVELOPES FOR BOTH EXISTING AND FUTURE BUILDINGS GRANTED WITH THIS PLAT. TO BE MAINTAINED BY THE OWNERS OF TRACTS 1-8, WYMONT SUBDIVISION.
- 44 5.5' PUBLIC SIDEWALK EASEMENT GRANTED WITH THE FILING OF THIS PLAT. SHOWN HEREON AS
- $\underline{\mbox{45}}$  20' PUBLIC SANITARY SEWER EASEMENT GRANTED WITH THIS PLAT. SEE DETAIL ON SHEET 6 OF 8.
- 46 EASEMENTS AS SPECIFIED IN THAT CERTAIN DECLARATION OF EASEMENTS OF COVENANTS AND RESTRICTIONS FOR THE WYMONT (RECORDED 2./0/2) 2021, AS DOCUMENT NO. 2021, 0/2014) BENEFITING TRACTS 1-8, AND TO BE MAINTAINED BY THE OWNERS OF TRACTS 1-8. BLANKET IN NATURE.
- AB PRIVATE DRAINAGE EASEMENT FOR SURFACE STORM WATERS FOR THE BENEFIT OF TRACTS 1-B (RECORDED 01/01) 2021, AS DOCUMENT NO. 2021, 3/0135), TO BE MAINTAINED BY THE WYMONT PLACE HOME OWNERS ASSOCIATION. BLANKET IN NATURE.
- PUBLIC WATER EASEMENT FOR FIRE HYDRANTS AND WATER METERS GRANTED WITH THE FILING OF THIS PLAT. SHOWN HEREON AS \_\_\_\_\_\_\_\_. SEE SHEET 4 OF 8 FOR FURTHER DETAILS.
- PRIVATE DETENTION POND BEING ALL OF TRACT C, BENEFITING WYMONT SUBDIVISION.
  ALL STORM SEWER STRUCTURES AND PIPES CONNECTING TO LA MIRADA STORM
  SEWER AND POND SHALL BE MAINTAINED BY THE HOA GRANTED WITH THE FILING OF
  THE PLANT OF THE PRIVATE OF TH
- [51] PRIVATE CROSS LOT ACCESS EASEMENT BENEFITING LOTS 5-A-1, LA MIRADA SUBDIVISION AND TRACTS 1-8, WYMONT SUBDIVISION, OVER THE BRIVE AISLES WITHIN LOTS 5-A-1 AND TRACTS 1-8 AS MAY BE STRIPED AND MODIFIED OVER TIME AND MAINTAINED BY THE RESPECTIVE UNDERLYING OWNERS OF LOT 5-A-1 AND TRACTS 1-8, EXCLUDING BUILDING ENVELOPES FOR BOTH FUTURE AND EXISTING BUILDINGS GRANTED WITH THE FILING OF THIS PLAT.
- 52 PUBLIC ACCESS EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- 53 15' GAS LINE EASEMENT GRANTED WITH THE FILING OF THIS PLAT SHOWN HEREON AS

EASEMENT LABELS 2 3 7 11 12 13 14 19 22 25 26 27 29 30 & 31 NOT USED

\*LOT 1-A-1 NOW REPLACED BY TRACTS 1-8 AS SHOWN ON THIS PLAT

# Plat for Wymont Subdivision Being Comprised of Lot 1-A-1, La Mirada Subdivision City of Albuquerque Bernalillo County, New Mexico December 2021

Parcel Table			
Parcel Name	Area (Acres)	Area (Sq. Ft.)	
Lot 1	0.0758	3,304	
Lot 2	0.0607	2,646	
Lot 3	0.0786	3,423	
Lot 4	0.0752	3,275	
Lot 5	0.0592	2,578	
Lot 6	0.0683	2,975	
Lot 7	0.0711	3,095	
Lot 8	0.0585	2,550	
Lot 9	0.0585	2,550	
Lot 10	0.0683	2,975	
Lot 11	0.0711	3,095	
Lot 12	0.0585	2,550	
Lot 13	0.0585	2,550	
Lot 14	0.0683	2,975	
Lot 15	0.0683	2,975	
Lot 16	0.0585	2,550	
Lot 17	0.0587	2,556	
Lot 18	0.0749	3,262	
Lot 19	0.0683	2,976	
Lot 20	0.0585	2,548	
Lot 21	0.0683	2,973	
Lot 22	0.0683	2,975	
Lot 23	0.0578	2,519	
Lot 24	0.0945	4,117	
Lot -25	0.1107	4,820	
Lot 26	0.0654	2,850	
Lot 27	0.0660	2,873	
Lot 28	0.1060	4,619	
Lot 29	0.0763	3,326	
Lot 30	0.0654	2,850	
Lot 31	0.0654	2,850	
Lot 32	0.0763	3,325	
Lot 33	0.0763	3,325	
Lot 34	0.0654	2,850	
Lot 35	0.0654	2,850	
Lot 36	0.0763	3,325	

	Parcel Table	
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 37	0.0763	3,325
Lot 38	0.0673	2,931
Lot 39	0.0733	3,191
Lot 40	0.1364	5,940
Lot 41	0.0825	3,595
Lot 42	0.0585	2,550
Lot 43	0.0758	3,303
Lot 44	0.0678	2,952
Lot 45	0.0585	2,550
Lot 46	0.0585	2,550
Lot 47	0.0683	2,975
Lot 48	0.0683	2,975
Lot 49	0.0585	2,550
Lot 50	0.0585	2,550
Lot 51	0.0683	2,975
Lot 52	0.0676	2,943
Lot 53	0.0585	2,550
Lot 54	0.0683	2,976
Lot 55	0.0682	2,970
Lot 56	0.0585	2,550
Lot 57	0.0585	2,550
Lot 58	0.0683	2,975
Lot 59	0.0683	2,975
Lot 60	0.0585	2,550
Lot 61	0.0585	2,550
Lot 62	0.0683	2,975
Lot 63	0.0683	2,975
Lot 64	0.0585	2,550
Lot 65	0.0585	2,550
Lot 66	0.0683	2,975
Tract A	0.0312	1,357
Tract B (Park Space)	0.5481	23,874
Tract C (Detention Pond)	0.3791	16,515
Tract D	1.5660	68,214
		·

DOC# 2022010933

02/01/2022 04:40 PM Page: 7 of 9 PLAT R:\$25.00 B: 2022C P: 0005 Linda Stover, Bernalillo Count

# † CSI-CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174 Phone (505) 896 - 3050 Fax (505) 891 - 0244 wplotnerjr@gmail.com Sheet 7 of 8

0		Curv			
Curve #	Length	Radius	Delta	Chord Lengti	Chord Direct
C1	106.14	138.00'	44'04'07"	103.54'	S 87'41'53"
C2	28.05'	18.00"	8917'07"	25.30'	S 44*52'00"
C3	27.73'	157.00'	10"07'06"	27.69'	S 84*04'11"
C4	3.67'	138.00'	1'31'31"	3.67'	N 66*25'35"
C5	102.47*	138.00'	42'32'36"	100.13'	N 88'27'39"
C6	61.29'	73.00'	48'06'17"	59.51'	N 66'09'23"
C7	39.68'	73.00	31'08'28"	39.19'	N 26"32"01"
C8	14.23'	73.00'	11'09'58"	14.20'	N 05'22'48"
C9	115.19'	73.00'	90'24'42"	103.61'	N 45'00'10"
C10	78.90'	50.00'	90"24"42"	70.96'	N 45'00'10"
C11	42.61'	27.00'	90'24'42"	38.32	N 45'00'10"
C12	9.27'	27.00'	19'40'17"	9.22'	N 09*37'57"
C13	33.34'	27.00'	70'44'26"	31.26'	N 54*50'19"
C14	23.03'	71.00'	18*34'59"	22.93'	N 09*29'40"
C15	25.38'	71.00'	20"28"52"	25.24'	N 29'01'36"
C16	31.45'	71.00	25*22'49"	31.19	N 51"57'26"
C17	22.38	71.00'	18'03'46"	22.29'	N 73'40'43"
C18	27.27	71.00'	22'00'13"	27.10	S 86"17'18" E
C19	6.22'	71.00'	5*01'08"	6,22'	S 72*46'37"
C20	135.73'	71.00'	109'31'46"	115.98'	N 54'58'04"
C21	91.76'	48.00'	109'31'46"	78.41	N 54"58'04"
C22	47.79'	25.00'	109'31'46"	40.84*	N 54*58'04"
C23	23.56'	15.00'	90,00,00,	21.21'	S 64'43'57"
C24	23.56'	15.00'	90,00,00,	21.21'	S 2516'03" E
C25	23.56'	15.00'	90,00,00,	21.21	N 64'43'57"
C26	23.56'	15.00'	90,00,00,	21.21	N 25"16'03"
C27	21,43'	73.00'	16'48'58"	21.35'	S 61'51'34" E
C28	15.68	73.00'	12"18'14"	15.65'	S 47"17"58" E
C29	20.65'	73.00'	1612'24"	20.58'	S 33'02'40" E
C30	27.76'	73.00	21*47'23"	27.60'	S 14'02'46" E
C31	4.31'	73.00'	3*22'46"	4.30'	S 01*27'42" E
C32	89.82	73.00'	70"29"44"	84.26	S 35'01'11" F
C33	61.52'	50.00'	70'29'44"	57.71	S 35'01'11" E
C34	17.07'	27.00'	3613'57"	16.79'	S 52'09'05" E
C35	16.15'	27.00'	3415'47"	15.91	
C36	33.22'	27.00'	70'29'44"	31.16'	S 16'54'13" E
C37	6.09'	73.00'	4'46'52"	6.09'	
C38	16.59'	73.00	13'01'05"		
C39	21.92'	73.00	17'12'03"	16.55'	S 11'31'05" W
C40	30.54	50.00'	35'00'00"	21.83'	S 26'37'39" V
C41	16.49'	27.00'		30.07	S 17'43'41" W
C42	44.59'	73.00'	35'00'00" 35'00'00"	16.24'	S 17*43'41" W
C42	27.75'	73.00°	21'46'43"	43.90'	S 17*43'41" W
C44	15.58'			27.58'	S 46'07'03" W
C44	21.34	73.00'	1213'38"	15.55'	S 63'07'13" W
C45	4.83'		16*44'55"	21.26'	S 77'36'30" W
C45	47.62'	73.00'	3'47'25"	4.83'	S 87*52'40" W
C47	7.67	50.00'	54'33'48"	45.84'	S 62'30'35" W
C48	18.05'	27.00'	16"16'04"	7.64'	S 43'21'43" W
		27.00'	3817'43"	17.71	S 70°38′37" W
	69.50'	73.00'	54*32'41"	66.90'	S 62'30'02" W
-	25.71'	27.00'	54'33'48"	24.75	S 62°30'35" W
	27.03'	73.00'	21'13'02"	26.88'	N 52'42'46" W
	34.26'	73.00'	26'53'15"	33.94'	N 76'45'54" W
-	1.68'	35.50'	2'42'34"	1.68'	S 71'37'20" E
-	29.93'	19.00'	90"15'34"	26.93'	N 44*55'36" W
	3.47'	60.50'	3'17'22"	3.47'	S 71"54'44" E
	12.08'	62.50'	11'04'34"	12.06'	S 64*43'46" E
C58	5.38'	62.50'	4"56'03"	5.38	S 56*43'28" E
C59 C60	30.46'	62.50'	27*55'35"	30.16'	S 4017'39" E

		Curv	ve Table		
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C61	23.96'	62.50'	21"57"50"	23.81'	S 10'45'14" E
C62	46.14'	37.50'	70'29'44"	43.28'	S 35"01'11" E
C63	3.58'	62.50'	316'56"	3.58'	S 01"52'09" W
C64	5.03'	62.50'	4*36'44"	5.03'	S 05'48'59" W
C65	29.57'	62.50'	27'06'20"	29.29	S 21'40'31" W
C66	22.91'	37.50'	35'00'00"	22.55	S 17'43'41" W
C67	21.92'	62.50'	20'05'53"	21.81	S 45'16'37" W
C68	5.01'	62.50'	4"35'47"	5.01	S 57*37'27" W
C69	25.23'	62.50'	23'07'33"	25.06'	S 71'29'07" W
C70	5.02'	62.50'	4"35"56"	5.02'	S 85*20'52" W
C71	2.34'	62.50'	2*08'39"	2.34'	S 88'43'09" W
C72	35.71'	37.50'	54'33'48"	34.38'	S 62*30'35" W
C73	34.64	62.50*	31'45'23"	34.20'	N 74"19'50" W
C74	8.74'	60.50'	8"16"38"	8.73'	S 82*27'20" E
C75	5.03'	60.50	4*45'35"	5.02'	S 75'56'13" E
C76	39.59	37.50'	60'29'07"	37.77	N 59*57'58" W
C77	6.77'	15.00'	25*50'59"	6.71'	N 65*48'19" W
C78	32.31'	34.00'	54'27'18"	31.11'	N 33'08'02" E

# Public Utility Easements

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. <u>Cable TV</u> for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over sold easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interface with the purposes set forth herein. No building som pool (phopegrand which interfere with the purposes set forth herein. No building, sign, pool (aboveground which intertere with the purposes set forth herein. No building, sign, pool (abovegro or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMCC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Plat for Wymont Subdivision Being Comprised of Lot 1-A-1, La Mirada Subdivision City of Albuquerque Bernalillo County, New Mexico December 2021

Line Table Direction Length (ft) S 76°03'13" E 43.17 S 85"43"01" E 3.42 S 89"19'08" E 6.99 N 72\*42'55" E 38.82 L5 S 89\*41'44" E 3.01 L6 S 89\*43'59" W 10.91' L7 N 89'47'49" W 104.01 L10 N 0012'11" F 7.37 N 0012'11" E L11 5.16 L12 S 50'43'59" E 20.44 S 25'21'10" E 29.56 L14 S 0717'24" E 8.70" L15 S 7016'03" E 50.00' L16 S 7016'03" E 50.00' L17 S 70"6'03" E 7.12' L18 S 48"51'09" W 24.28' S 65'03'32" W 7.66 L20 S 35"13'41" W 8.41 S 35"3'41" W 7.92 S 54\*46'19" E 38.92 S 20°45'57" E 124 N 0013'09" E L25 N 89\*47'28" E 8.30 L26 S 47'40'48" F 5.07 L27 S 4219'12" W 17.80 L28 N 0012'32" W 16.54 S 07'33'38" E 5.17 L30 S 46'57'46" E 17.94 S 32'50'05" E 7.13' 1.32 S 03'07'50" E 29.61 1.33 S 03\*07'50" E 17.96 L34 S 30"12"25" E 6.00' L35 S 05'54'23" W 55.39 S 11'44'19" W 29.91 L37 S 00'03'23" E 3.22 L38 N 0012'11" E 32.68 L39 N 00°07'38" E 2.50 L40 N 03\*46'06" W 11.49' L41 S 89'30'33" E 2.65 L42 S 89'30'33" E 5.35

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PEAT R 326.30 8; 2022C P. 3036 Linds Stover, Bernallilo Count

	Line Table	
Line #	Direction	Length (ft)
L43	S 01'42'31" W	32.00'
L44	N 8817'29" W	4.51'
L45	N 8817'29" W	3.49'
L46	N 01'42'31" E	31.83'
L47	S 0012'32" E	40.50'
L48	S 0012'32" E	10.00
L49	S 89'34'35" W	22.22
L50	N 00°25'25" W	10.00'
L51	N 89'34'35" E	22.26'
L52	N 54*57'20" E	11.35'
L53	S 54'57'20" W	11.02'
L54	N 62'07'53" E	10.50'
L55	S 62'07'53" W	10.55
L56	S 89'46'19" E	10.51
L57	N 89'46'19" W	10.59
L58	N 36"16'13" W	10.52
L59	S 36"6"13" E	10.57
L60	N 0016'02" W	10.57
L61	S 0016'02" E	10.51'
L62	S 89'47'49" E	13.58'
L63	N 89'47'49" W	14.57
L64	S 61'50'07" E	20.41
L65	N 61'50'07" W	22.61'
L66	S 52*21'51" E	23.36'
L67	N 52"21"51" W	24.69
L68	S 23'04'25" E	24.88'
L69	N 23'04'25" W	23.57*
L70	S 19'43'57" W	10.59'
L71	N 19'43'57" E	10.51'
L72	S 54'32'38" E	10.49
L73	N 54'32'38" W	10.51
L74	N 0016'02" W	10.50
L75	S 0016'02" E	10.50'
L76	N 0016'02" W	10.50'
L77	S 0016'02" E	10.50'
L78	N 0016'02" W	10.50'
L79	S 00"16'02" E	10.50'
L80	N 0016'02" W	10.50'
L81	S 00"6'02" E	10.50'
L82	N 0016'02" W	10.50'

	Line Table			
Line #	Direction	Length (ft)		
L83	S 00"16'02" E	10.50		
L84	N 19*43'57" E	10.50'		
L85	S 19'43'57" W	10.50		
L86	S 19'43'57" W	10.50		
L87	N 19'43'57" E	10.50'		
L88	S 0013'09" W	147.60		
L89	S 0015'28" W	104.11		
L90	S 72*42'55" W	2.23'		
L91	N 00000'00" W	23.42'		
L92	N 89*47'28" E	5.00'		
L93	S 0012'32" E	20.61		
L94	N 89*47'28" E	5.00'		
L95	N 89*47'49" W	30.00		
L96	N 84*56'23" W	22.66'		
L97	N 0012'32" W	5.95		
L98	N 14°26'44" W	24.51		
L99	N 00°21'40" E	11.97'		
L100	N 09'56'15" E	17.60'		
L101	N 0012'32" W	13.68'		
L102	N 0012'32" W	20.61		
*L8 AND	N 00"12'32" W			

CSI-CARTESIAN SURVEYS INC

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