

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 15, 2025

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: 4321 Wyoming Blvd. NE
Grading & Drainage Plan
Engineer's Stamp Date: 7/15/25
Hydrology File: G19D004H
Case # HYDR-2025-00256**

Dear Mr. Soule:

Based upon the information provided in your submittal received 07/15/2025, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the detention ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services

Weighted E Method

Existing Developed Basins								100-Year, 6-hr.				10-day		
Basin	Area (sf)	Area (acres)	Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)				
ALLOWED PER MASTERPLAN	54207	1.244	0%	0	15.0%	0.187	0.0%	0	85%	1.058	2.322	0.241	5.21	0.382
PROPOSED	54207	1.244	0%	0	10.0%	0.124	6.0%	0.07467	84%	1.045	2.319	0.240	5.24	0.380
COMPARISON			0.000		0.062		-0.075				0.012	0.000	0.026	-0.002

Equations:

Weighted E = Ea**A*a + Eb**A*b + Ec**A*c + Ed**A*d / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * *A*a + Qb * *A*b + Qc * *A*c + Qd * *A*d

Where for 100-year, 6-hour storm (zone 3)

Ea= 0.67

Eb= 0.86

Ec= 1.09

Ed= 2.58

Qa= 1.84

Qb= 2.49

Qc= 3.17

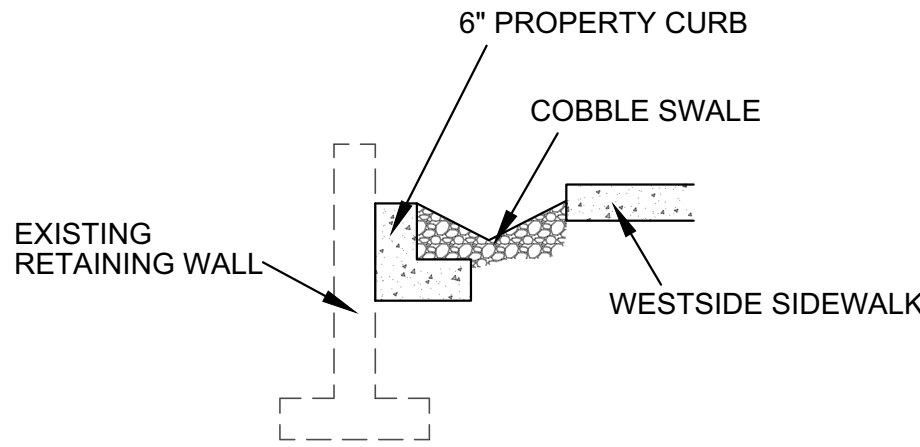
Qd= 4.49

0.00 cf

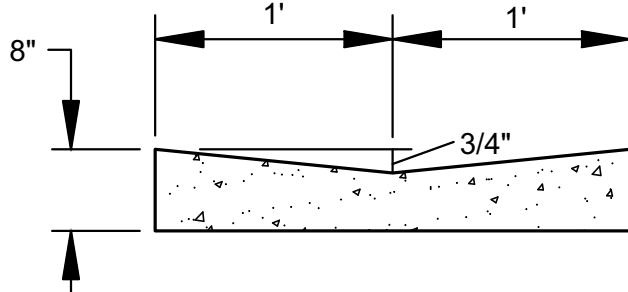
246 cf

Narrative

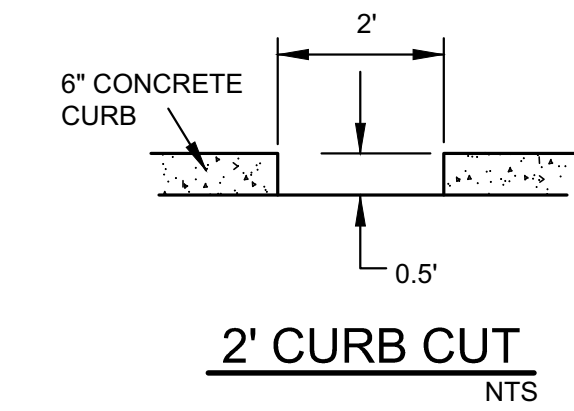
The subject property is located within the boundaries of the new Wymont development and La Mirada master drainage plan (G19D004). This parcel is located within basin E of the plan. The overall development assumed 85% D and 15% B land treatments or 2.55 cfs per acre. The proposed development conforms to the developed condition assumptions of the master plan and is allowed free discharge. There is a regional water quality pond that accounts for the flow from this site, water harvesting is not required but is proposed.



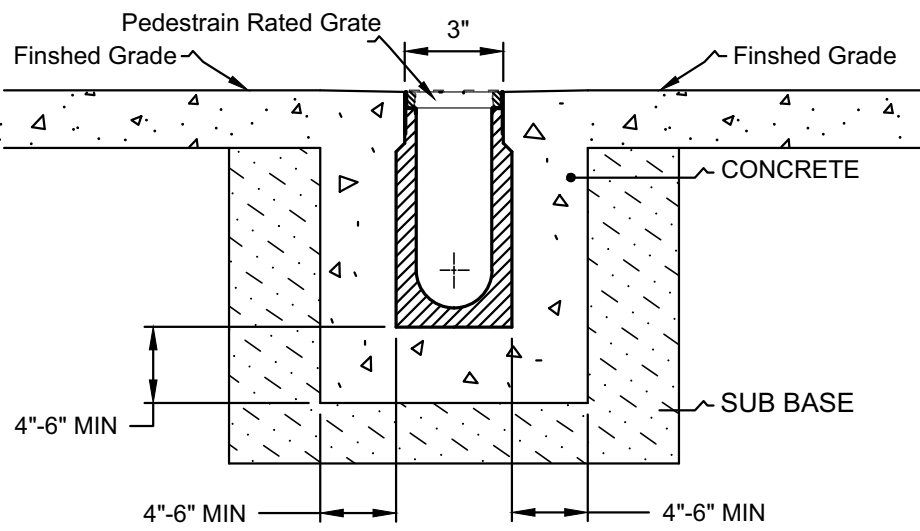
SECTION A-A DETAIL NTS



2' CONCRETE VALLEY GUTTER NTS



2' CURB CUT NTS



3' TRENCH DRAIN DETAIL NTS

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 7/15/2025

BY: [Signature]

HydroTrans # G19D004H

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM MAKING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION. SUCH CORRECTIONS SHALL BE MADE WITHOUT NOTICE, AND THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

LOT 11
WYMONT SUBDIVISION

LOT 10

LOT 9

LOT 8

LOT 7

LOT 6

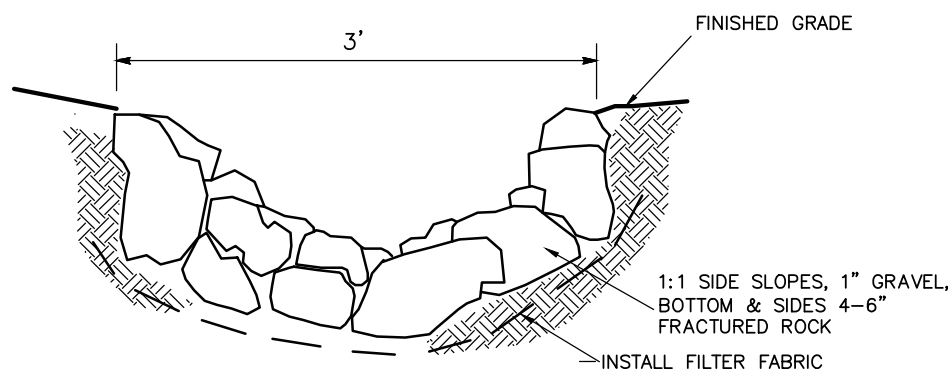
LOT 5

LOT 4

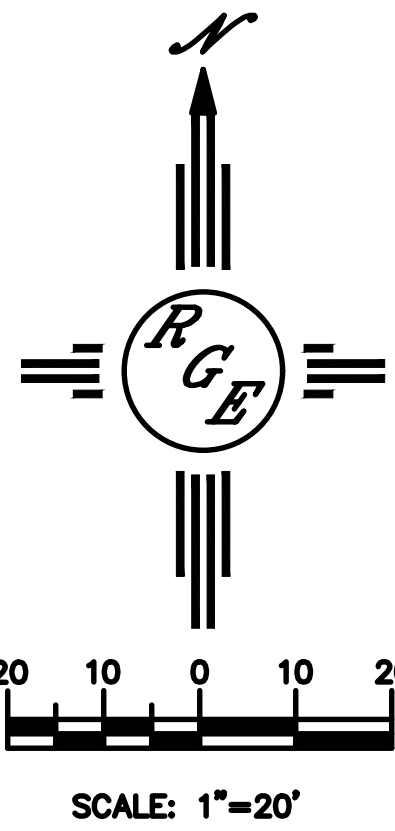
TRACT C
MONT SUBDIVISION

LA MIRADA PLAC NE

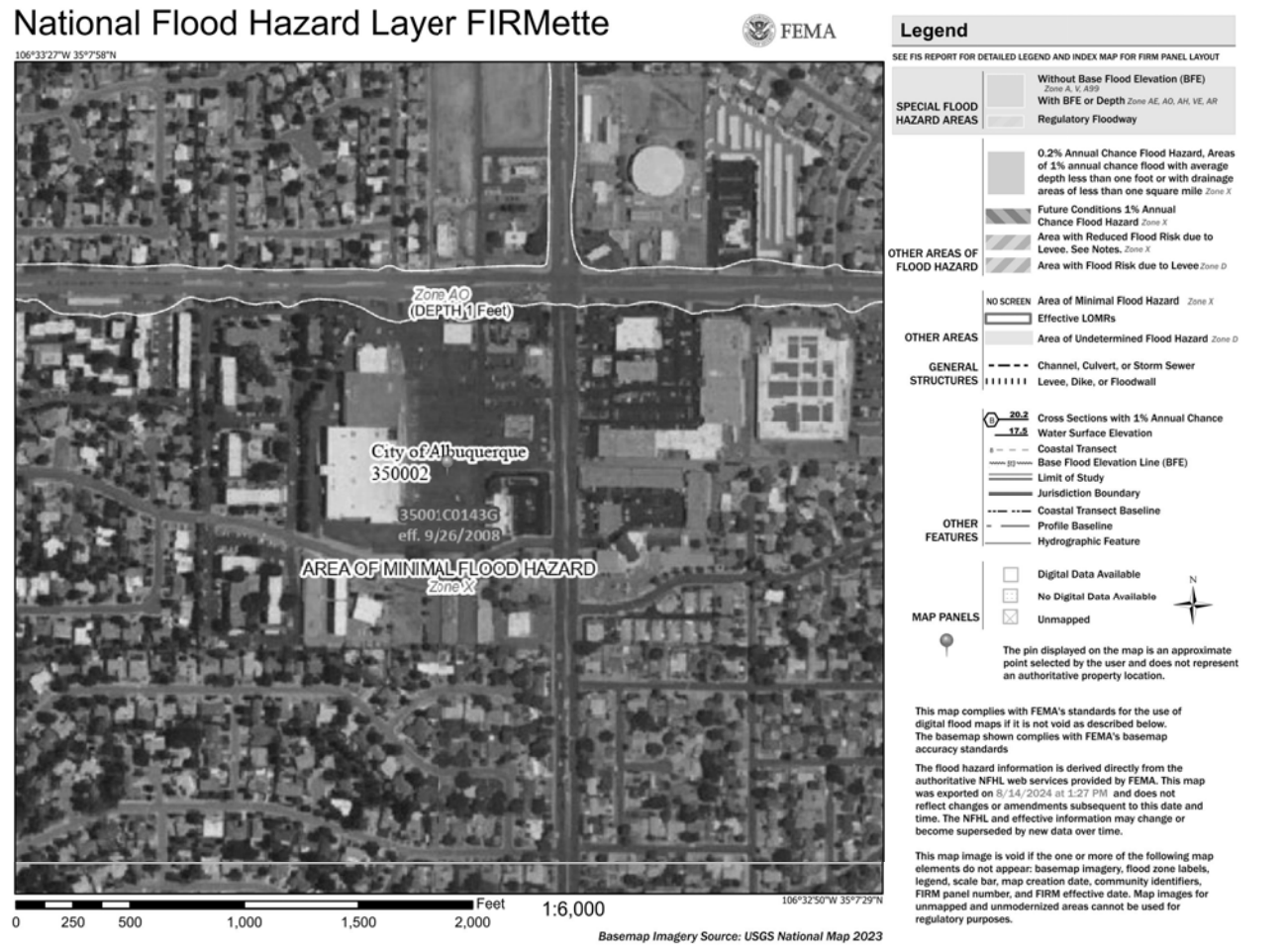
TRACT A
LA MIRADA SUBDIVISION



BIO SWALE DETAIL NTS



VICINITY MAP: G-19-Z



FIRM MAP:

LEGAL DESCRIPTION:

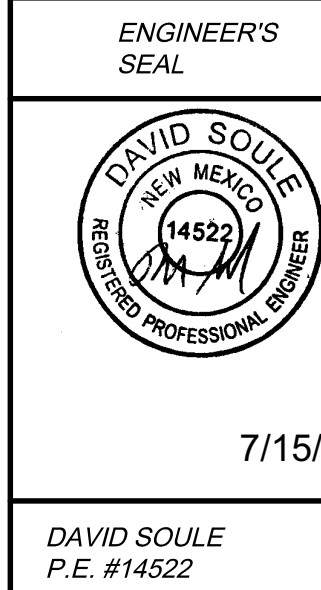
TRACTS 8 WYMONT SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. LONG TERM MAINTAINANCE OF ALL PONDS, SWALES AND OVERFLOWS IS REQUIRED
6. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

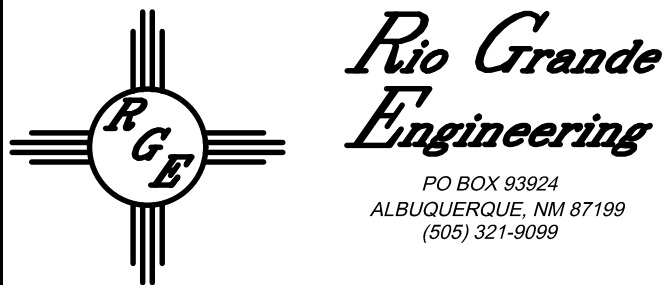
- XXXXX ----- EXISTING CONTOUR
- XXXXX ----- EXISTING INDEX CONTOUR
- XXXXX ----- PROPOSED CONTOUR
- XXXXX ----- PROPOSED INDEX CONTOUR
- XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CONCRETE
- ===== PROPOSED 2' WIDE COBBLE SWALE



TRACT 8 WYMONT SUB

4321 WYOMING NE

GRADING AND DRAINAGE PLAN



DRAWN BY DEM

DATE 8-17-24

Lot 6 Wymont.dwg

SHEET #

C1

JOB #