

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 6, 2024

Peter Butterfield, RA
Peter Butterfield Architect
13013 Glenwood Hills Ct NE
Albuquerque, NM 87111
peter@pba-lane.com

**Re: Restoration Pizza @Wymont
4321 Wyoming NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 7-15-24 (G19D004H)**

Dear Mr. Butterfield,

The TCL submittal received 7-25-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Restoration Pizza @ WyMont **Building Permit #** _____ **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: Tract 6 BLOCK 0000, WYMONT SUBDIVISION **City Address OR Parcel** 4321 Wyoming Blvd. NE

Applicant/Agent: Peter Butterfield architect **Contact:** Peter Butterfield

Address: 13013 Glenwood Hills Ct NE **Phone:** 505 514 1364

Email: peter@PBA-Lane.com

Applicant/Owner: Mira al Sol, LLC **Contact:** Ben Perich

Address: Suite 200 5051 Journal Center Blvd. NE Albuquerque, NM 87109 **Phone:** 505 880 7054

Email: Ben.Perich@Colliers.com

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: ☒ x

RE-SUBMITTAL: ☐ YES ☒ x ☐ NO

DEPARTMENT: ☒ x ☐ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

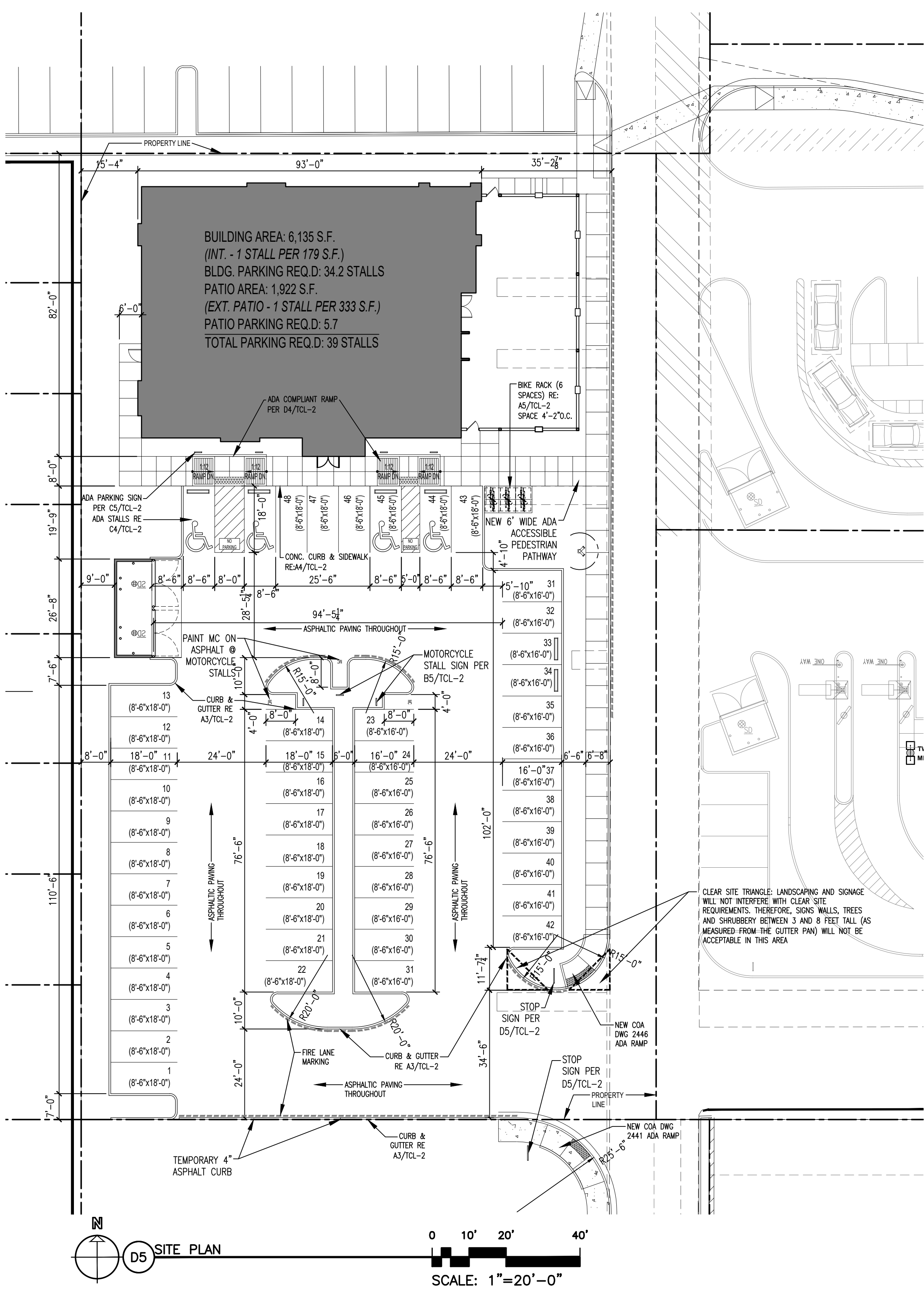
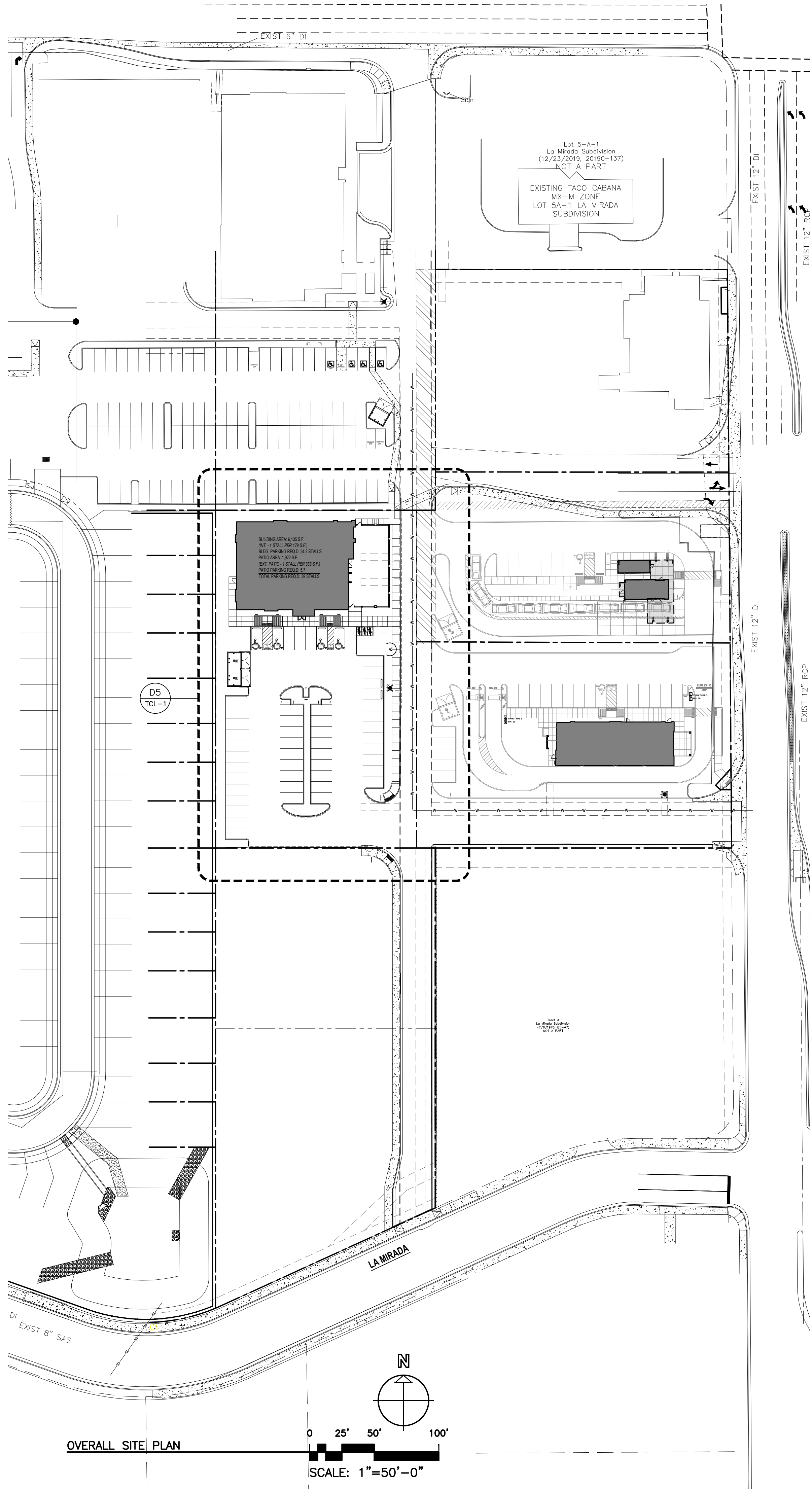
TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ x ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ x ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 7/25/2024



EXECUTIVE SUMMARY	
PROJECT IS LOCATED IN ZONE GRID MAP LOCATION G-19-Z, ZONED MX-M PER THE INTEGRATED DEVELOPMENT ORDINANCE. IT IS A 6,137 SQUARE FEET RESTAURANT WITH A 1,922 S.F. OUTDOOR DINING PATIO	
ZONING DATA	
DESIGNATION: MX-M LEGAL DESCRIPTION: TR 6 PLAT FOR WYOMT SUBDIVISION (BEING COMPRISED OF LOT1-A-1, LA MIRADA SUBDIVISION) SITE ACREAGE .9336 AC OCCUPANCY TYPE: RESTAURANT	
PARKING REQUIREMENTS:	
RESTAURANT REQUIRED:	(5.6 STALLS PER 1000 S.F. ~ 6,137 SF/178.5 = 34.3 PARKING STALLS
OUTDOOR DINING AREA:	(3 STALLS PER 1000 S.F.) ~ 1,922 S.F./333.3 = 5.7 PARKING STALL
PARKING REQUIRED:	39 STALLS
PARKING PROVIDED	50 STALLS
ADA STALLS REQUIRED:	1
ADA STALLS PROVIDED:	1 (VAN ACCESSIBLE)
MOTORCYCLE SPACES REQUIRED:	3
MOTORCYCLE SPACES PROVIDED:	3
BICYCLE SPACES REQUIRED:	51 x 10% = 5
BICYCLE SPACES PROVIDED:	6

TRAFFIC CIRCULATION
LAYOUT APPROVED

Sertil A. Kanbar 8/6/2024

Signed _____ Date _____

ADA SITE NOTES

SIGNAGE (NMBC 1110.1 AND ANSI 502.7)

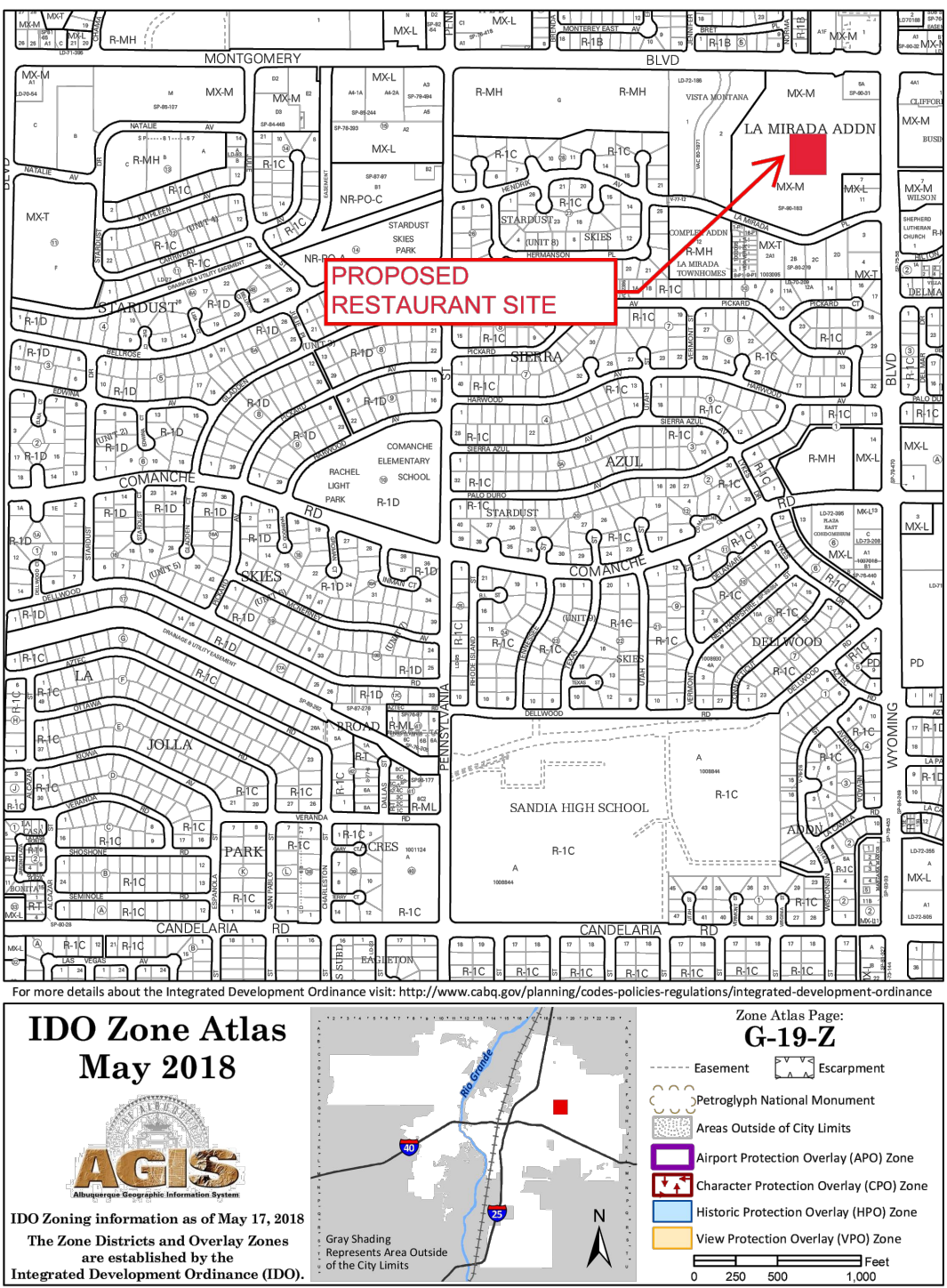
- A VERTICAL SIGN IS CENTERED AT THE HEAD OF EACH PARKING SPACE
- CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE SYMBOLS AND LETTERS ON A BLUE BACKGROUND, HOWEVER, ANSI AND 2010 STANDARDS DO NOT SPECIFY COLORS FOR SIGNAGE.)
- SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND LEGEND (MUTCD SIGN # R7-8 AND R7-8A).
- SIGN MUST INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" (66-7-352.4C NMSA 1978, EFFECTIVE 7-01-2010). VAN ACCESSIBLE SIGNS ARE PROVIDED BELOW THE OTHER SIGN
- THE VAN SPACE SIGNAGE IS NEEDED TO ALERT VAN USERS TO THE PRESENCE OF THE WIDER AISLE, BUT THE SPACE IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS. (2010 STANDARDS 502.5)
- IN PARKING LOTS THE BOTTOM OF THE SIGN IS 60" MINIMUM ABOVE THE GROUND OR PARKING SURFACE. (ANSI 502.7)
- ALONG THE PUBLIC RIGHTS-OF-WAY MUTCD REQUIRES THE BOTTOM OF THE MUTCD R7-8 SIGN TO BE 84" ABOVE THE GROUND.
- IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

PAVEMENT MARKINGS (NMBC 1110.3)

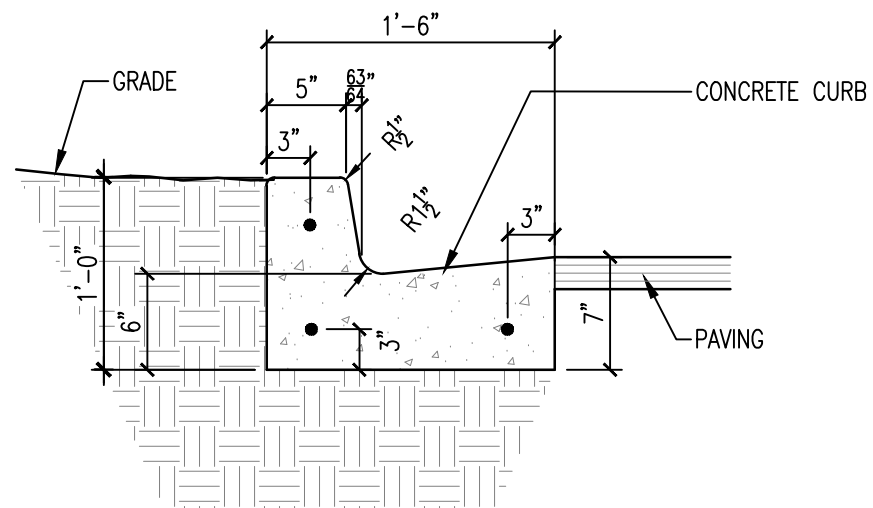
- PARKING SPACE HAS A CLEARLY VISIBLE, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PAVEMENT AT REAR OF THE SPACE (66-1-4.1.E NMSA 1978) OR MUTCD RECOMMENDS A WHITE SYMBOL ON A BLUE BACKGROUND.
- PARKING SPACE LINES BE PAINTED BLUE
- ACCESS AISLE HAS BLUE, DIAGONAL STRIPING (45 DEGREES). (66-1-4.1.B NMSA 1978).
- ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-1-4.1.B NMSA 1978)
- IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

GENERAL NOTES

- WORK ORDER REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY WITH DRC APPROVED PLANS.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- ALL COA ROW CURB AND GUTTER, SIDEWALK, RAMPS AND DRIVEPADS MUST BE IN GOOD CONDITION AND ADA ACCESSIBLE IF APPLICABLE. ANY ITEMS IN DISREPAIR MUST BE REMOVED AND REPLACED TO NEAREST CONTROL JOINT
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
- MAXIMUM SLOPE PERMITTED AT ADA STALLS AND ACCESS AISLES IS 2% (1:50)
- ALL BROKEN OR CRACKED ASPHALT TRAIL MUST BE REPLACED WITH NEW ASPHALT PER COA DRAWING 2415C
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER COA DRAWING 2430

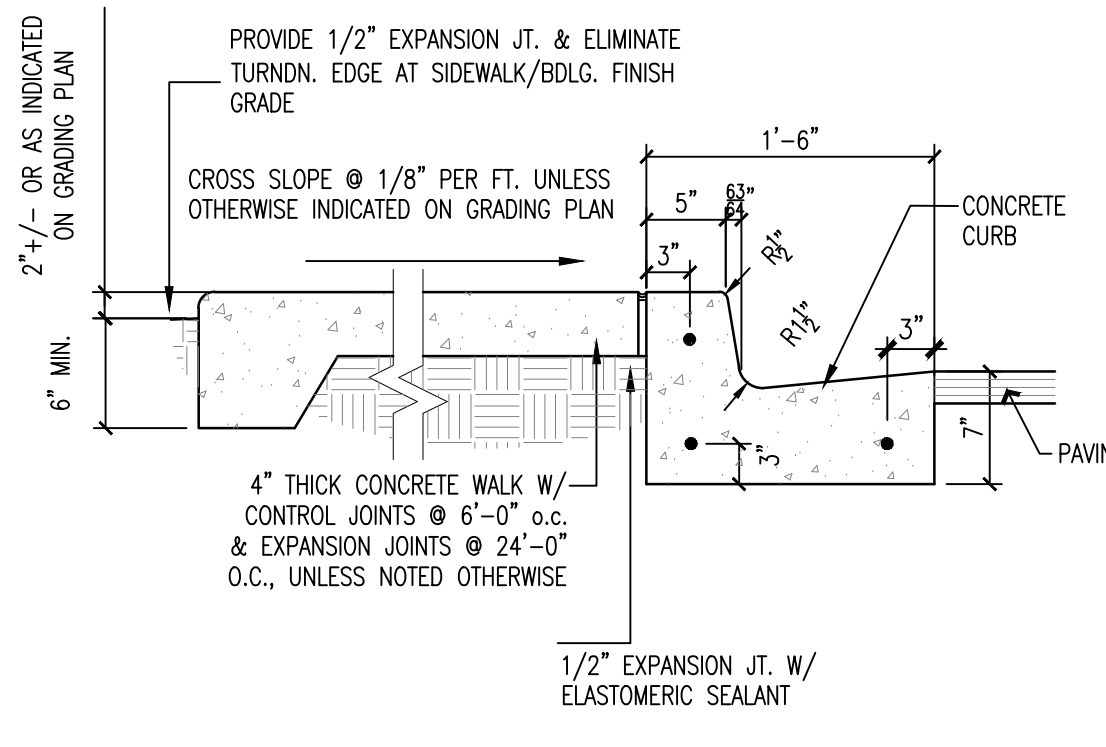


NOTE:
PROVIDE CONTROL JOINTS @ 6'-0" O.C. MAX. (MATCH CONTIGIOUS SIDEWALK) AND DOWELED
EXPANSION JOINTS @ 24'-0" O.C. MAX. UNLESS SHOWN OTHERWISE. CURB AND GUTTER
JOINTING SHALL REFLECT THE JOINTING OF ADJACENT FLATWORK.

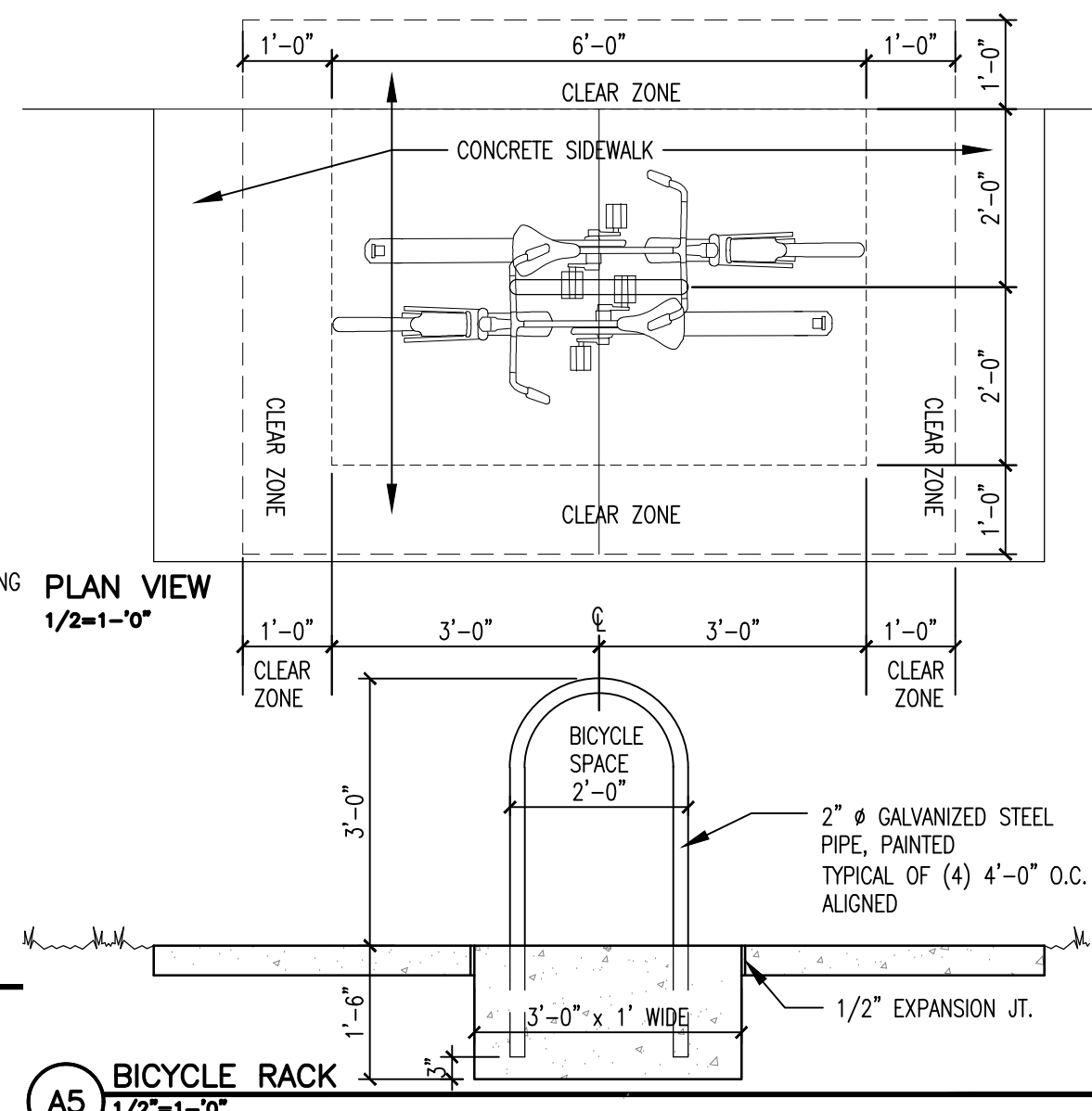


NOTE:
HEADER CURB MAYBE USED IN LIEU OF CURB
AND GUTTER AT NON-DRAINAGE LOCATIONS,
REFER CIVIL, VERIFY REPLACEMENT AREAS WITH
ARCHITECT.

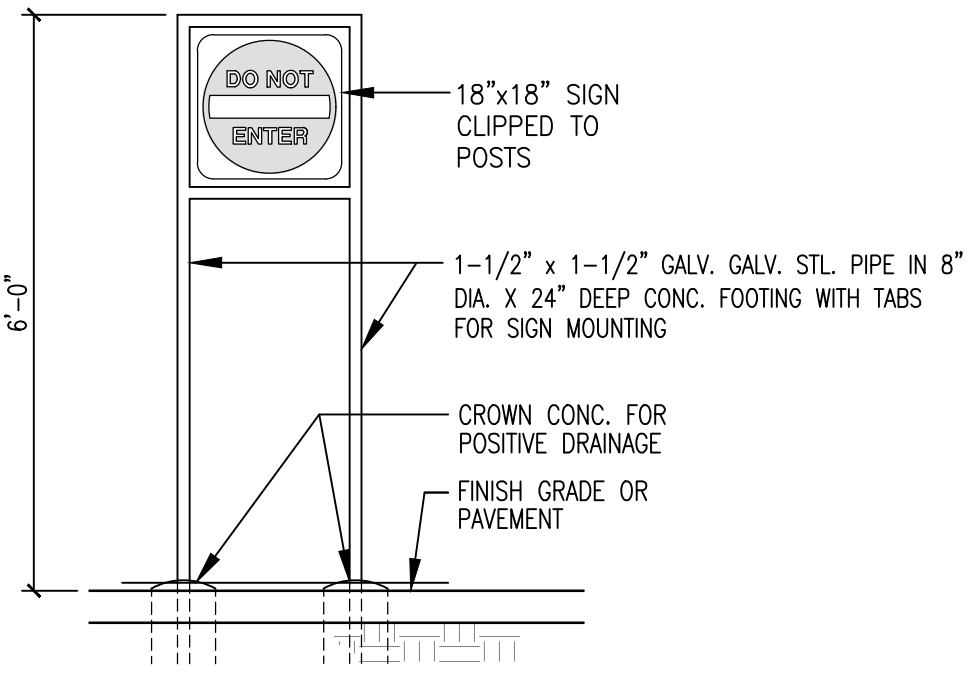
A3 CONCRETE CURB & GUTTER
1/2"=1'-0"



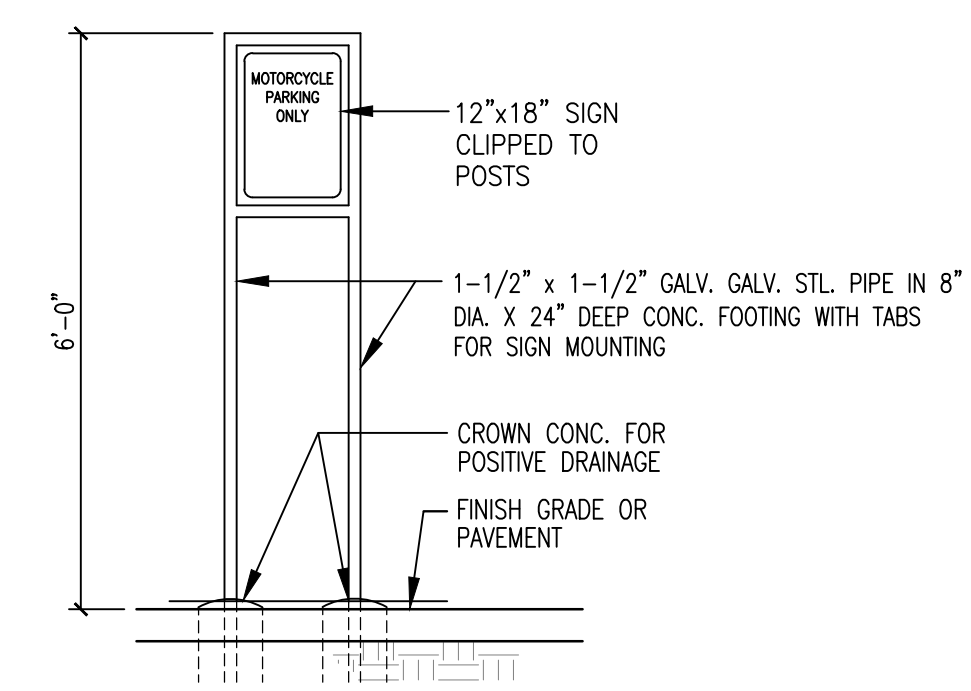
A4 SIDEWALK SECTION
1/2"=1'-0"



A5 BICYCLE RACK
1/2"=1'-0"



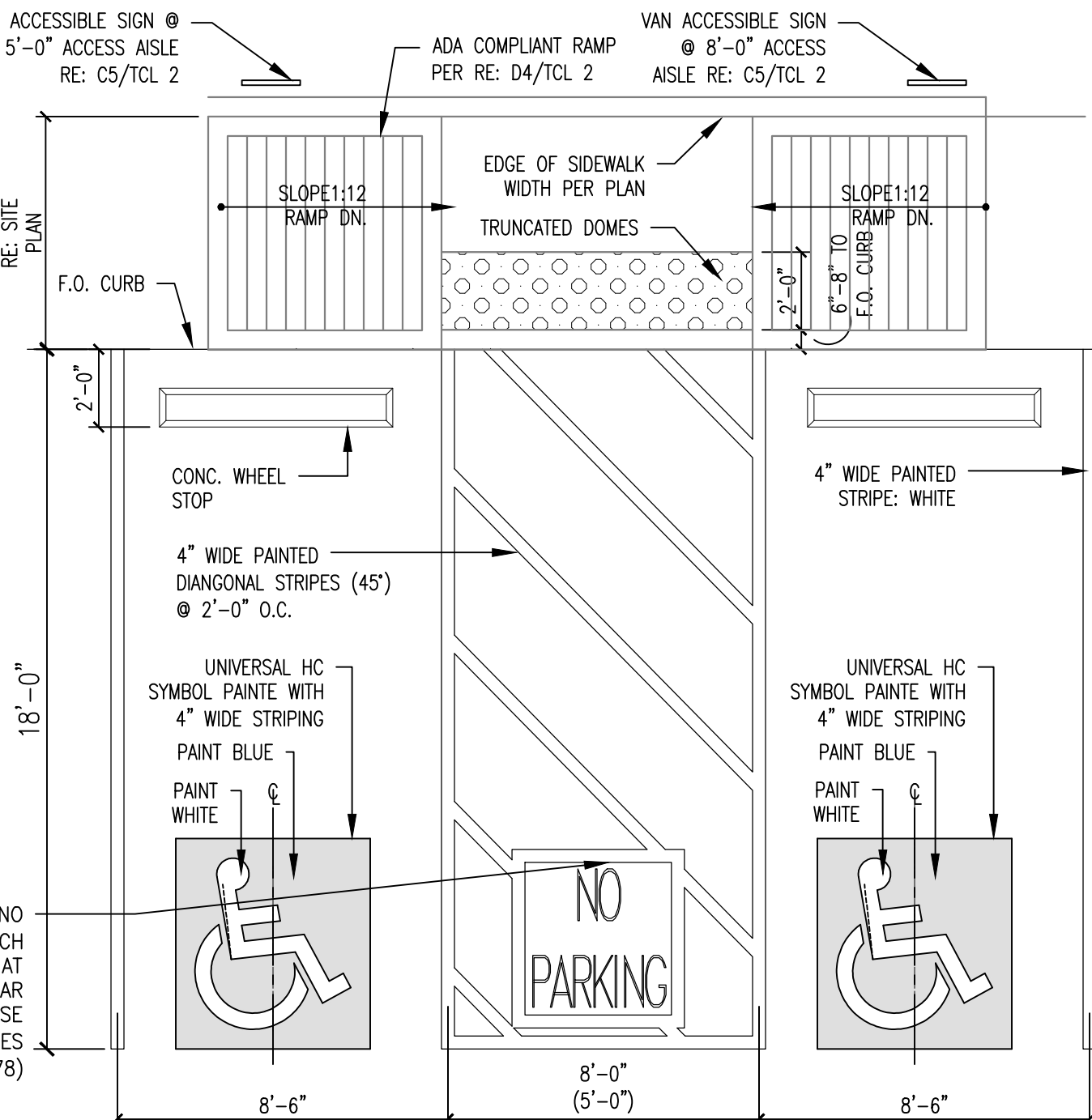
B4 DO NOT ENTER SIGN ELEVATION
1/2"=1'-0"



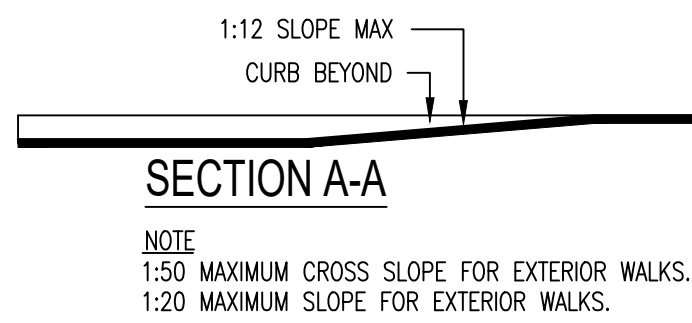
B5 MOTORCYCLE SIGN ELEVATION
1/2"=1'-0"

- NOTES:
1. RAMPS SHALL NOT BE PLACED IN HANDICAP ACCESS AISLE, BUT SHALL BE PLACED WITHIN THE SIDEWALKS
 2. ACCESS AISLE MAY NOT EXCEED 2% IN ANY DIRECTION.
 3. HANDICAP ACCESS RAMPS MAY NOT EXCEED A SLOPE OF 8%
 4. MINIMUM WIDTH OF HANDICAP ACCESS RAMPS IS 3'-0"
 5. SIDES OF RAMPS MAY NOT EXCEED SLOPE OF 10% UNLESS HANDRAIL IS PROVIDED.
 6. HANDICAP PARKING SHALL MEET ALL OTEHR APPLICABLE CITY AND ADA CODE REQUIREMENTS

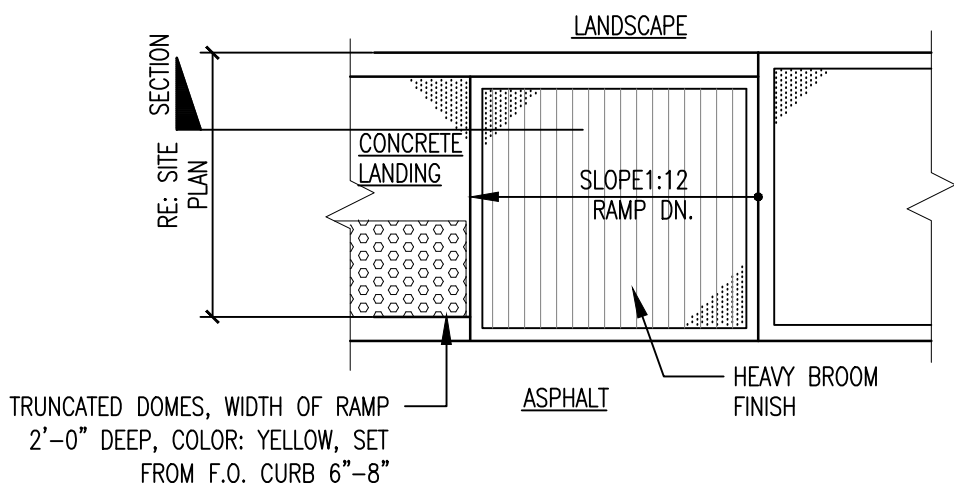
ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-1-4.1.B NMSA 1978)



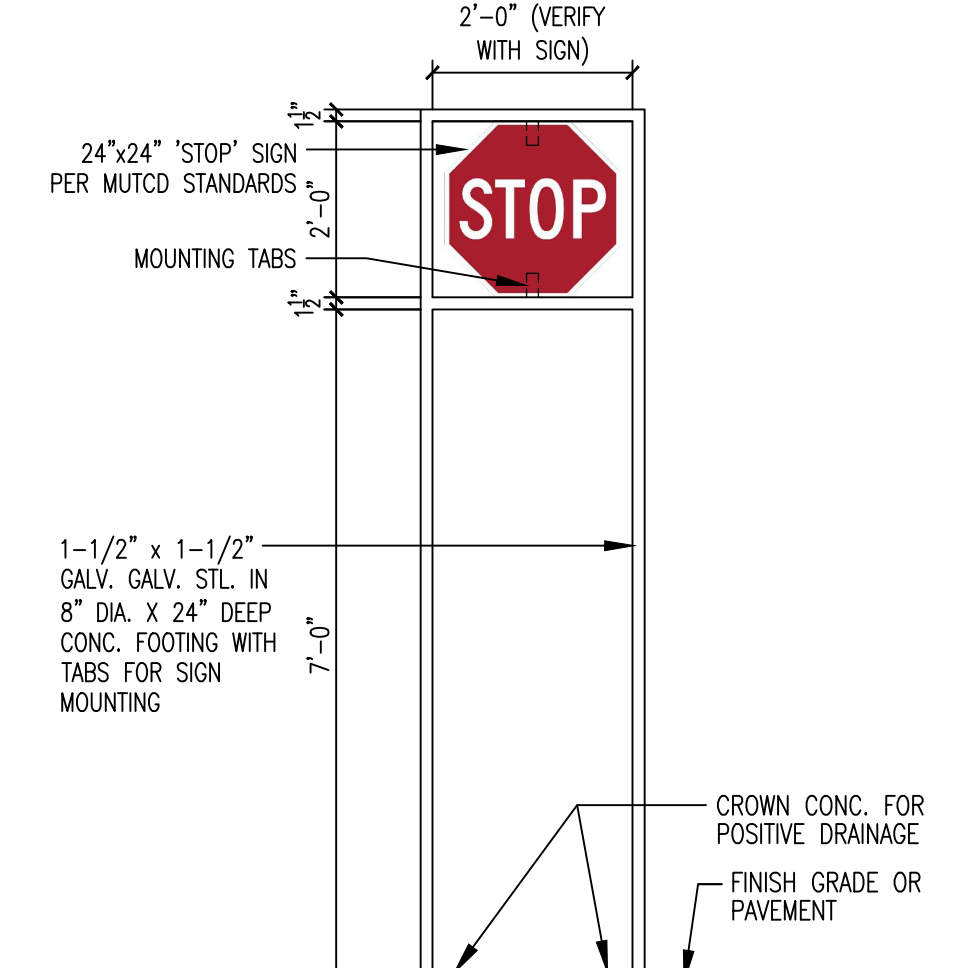
C4 TYPICAL ADA PARKING STALLS DETAIL
1/4"=1'-0"



D4 ACCESSIBLE SIDEWALK RAMP
1/4"=1'-0"



D5 STOP SIGN ELEVATION
1/2"=1'-0"



TRAFFIC CIRCULATION
LAYOUT APPROVED

Sertil A. Kanbar 8/6/2024

Signed Date

DRAWING NAME

REVISIONS



peter butterfield

architect

13013 glenwood hills ct. ne
albuquerque nm 87111 (ph) 505 332 9323 (fax) 212 0901

SHEET NO.

TCL-2
7/15/24

Restoration Pizza
4321 Wyoming Blvd NE
Albuquerque, New Mexico