

FILE COPY



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 7, 1990

Tom Mann, P.E.  
The Mann Company, Inc.  
8200 Mountain Road, NE Suite #102  
Albuquerque, New Mexico 87110

RE: DRAINAGE PLAN FOR AN ADDITION TO THE MONTGOMERY CROSSING  
SHOPPING CENTER "GREGORY'S PLACE" (G-20/D1)  
ENGINEER'S STAMP DATED JULY 30, 1990

Dear Mr. Mann:

Based on the information provided on your submittal of July 31, 1990, the above referenced plan is approved for Building Permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

*Fred J. Aguirre*  
Fred J. Aguirre, P.E.  
Hydrologist

BJM:FJA/bsj  
(WP+83)

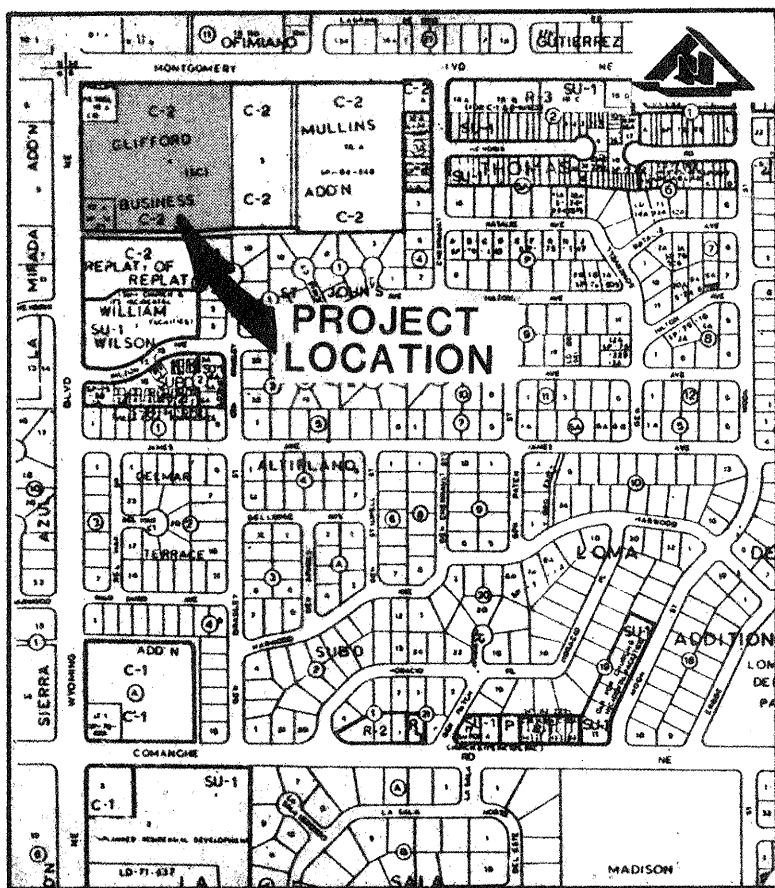
PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.  
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER



**VICINITY MAP**  
SCALE 1" = 800'

G-20

**LEGAL DESCRIPTION**

TRACT 3, CLIFFORD  
MULLINS BUSINESS ADDITION

**ADDRESS**

4400 WYOMING BLVD. NE

**BENCHMARK**

CITY OF ALBUQUERQUE BRASS CAP  
13-F19 LOCATED IN THE NORTHWEST  
QUADRANT OF WYOMING AND MONTGOMERY.  
ELEVATION = 5431.59

**LEGEND**

EXISTING	NEW	DESCRIPTION
		CURB & GUTTER
		CURB
		SPOT ELEVATIONS
		CONTOUR
		BUILDING
		PROPERTY LINE
		ROOF DRAIN
		RUNDOWN
		BASIN DIVISION LINE

**EROSION CONTROL MEASURES**

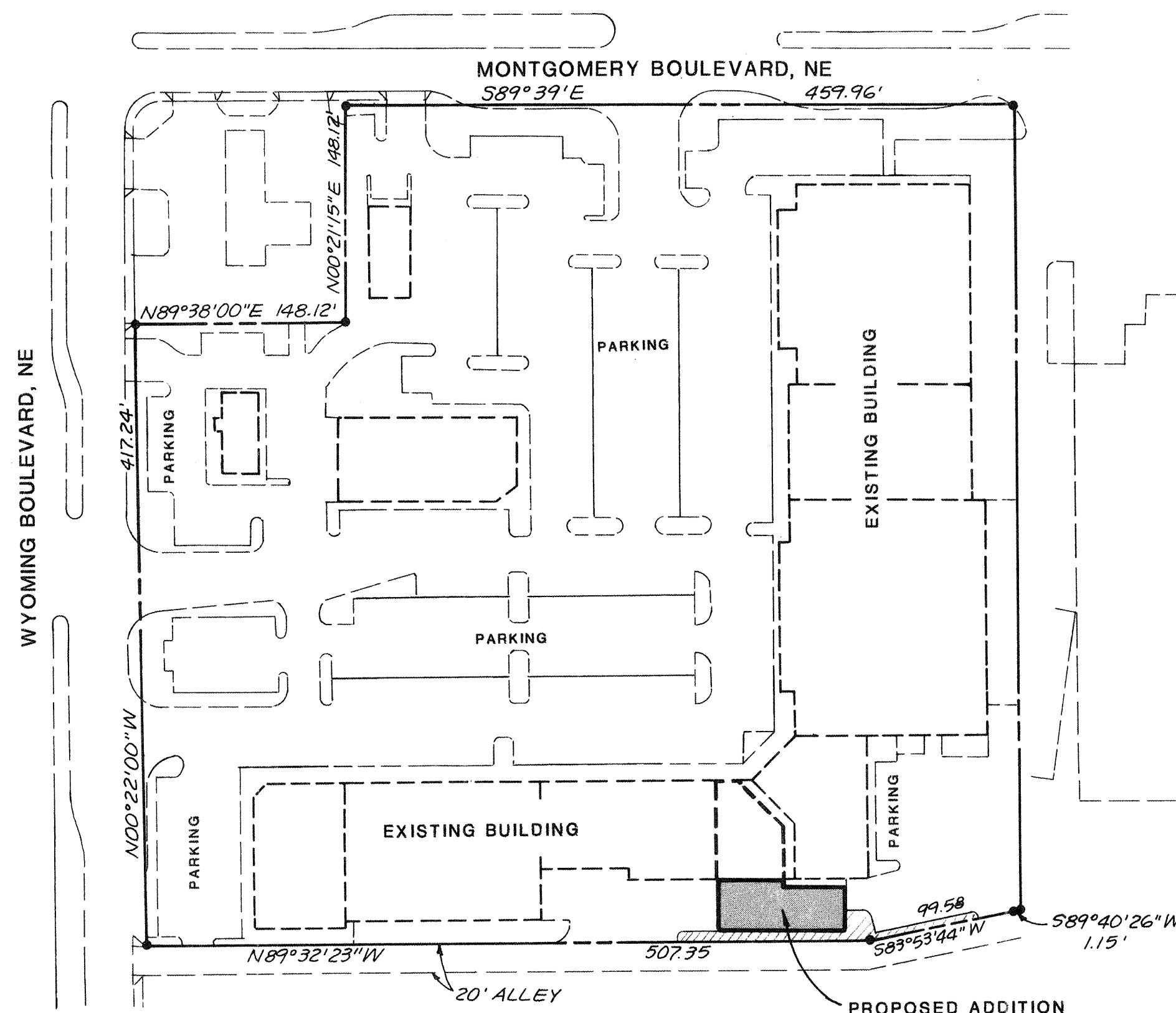
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO THE PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

**CONSTRUCTION NOTES**

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE 280-1990, FOR THE LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

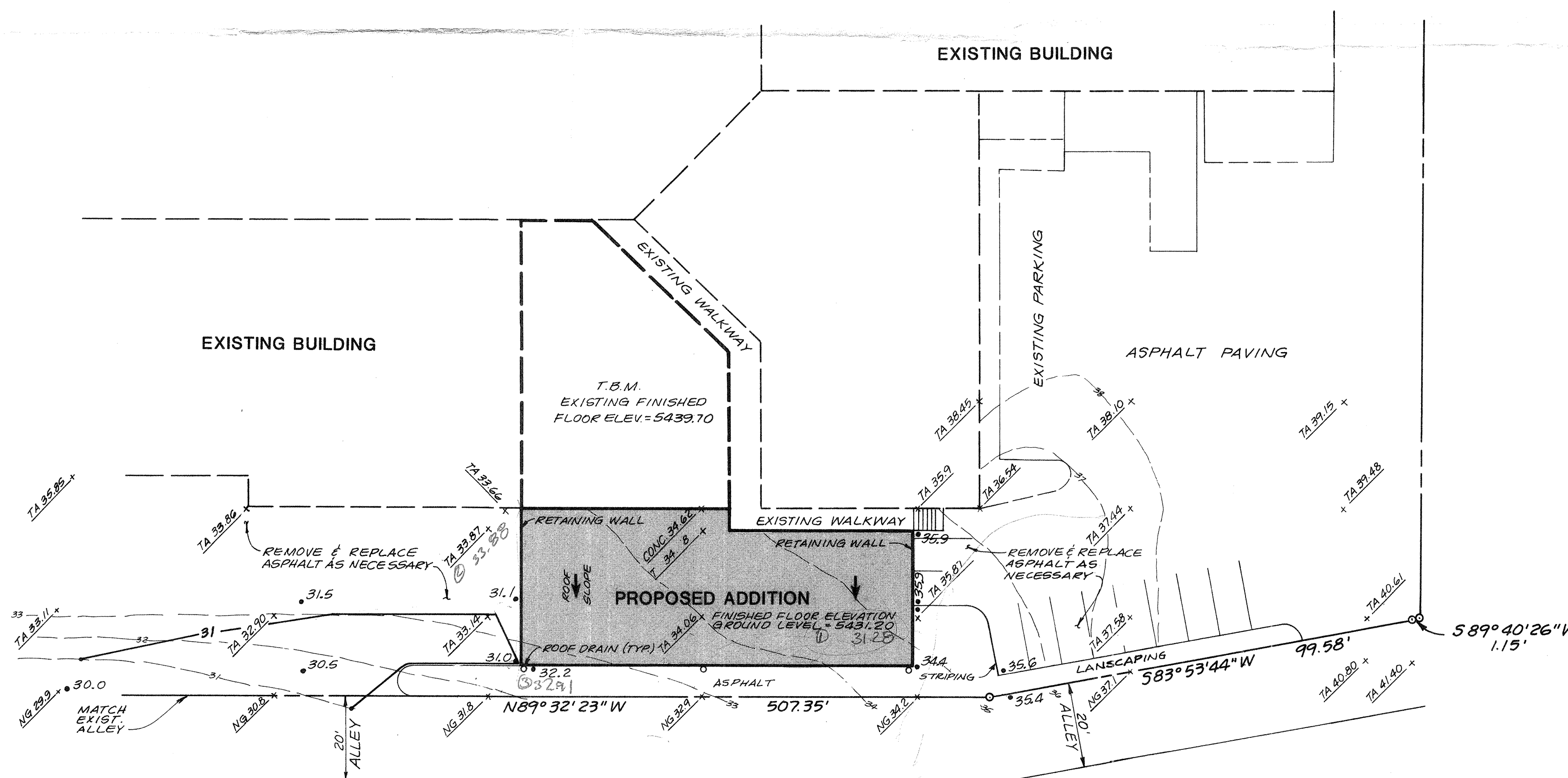
**HYDROLOGY APPROVAL & INSPECTION**

APPROVED FOR PERMIT  
ENGINEER *[Signature]* DATE 9/2/90  
INSPECTION REQUESTED DATE 10-28-90  
APPROVAL DATE 10-29-90 DISAPPROVED  
5019 APPROVAL DATE N/A  
SURVEY DATE 10-29-90  
HYDROLOGY BOOK NO./PAGE NO. 89-1 Pg. 113 #55  
SURVEYED BY  
COMMENTS



**SITE MAP**

SCALE: 1" = 80'



**GRADING AND DRAINAGE PLAN**

SCALE: 1" = 20'

**DRAINAGE PLAN**

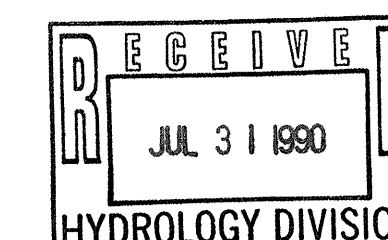
The following items concerning the Gregory's Place Drainage Plan are contained hereon:


1. Vicinity Map
2. Grading Plan.

The project, as shown by the Vicinity Map, is a minor addition to the existing Montgomery Crossing Shopping Center located in the southeast quadrant at Montgomery Boulevard NE and Wyoming Boulevard NE.

The Grading Plan shows 1) existing and proposed grades indicated by spot elevations and contours at 1'-0" intervals, 2) continuity between existing and proposed elevations, 3) the limit and character of existing improvements and 4) the limit and character of proposed improvements. The proposed improvements consist of additional space at the rear of the center to provide additional retail space and storage for one shop. The area is currently paved. Replacing the pavement with roof will decrease the runoff. The decrease is too small to calculate using the methods outlined in the Development Process Manual.

The proposed improvements are consistent with previously approved drainage plans.



		HYDROLOGICAL					
NO.	DESCRIPTION					DATE	
REVISIONS							
GRADING AND DRAINAGE PLAN FOR GREGORY'S PLACE							
							
THE MANN COMPANY, INC 8200 MOUNTAIN ROAD N.E. SUITE 102 ALBUQUERQUE, NEW MEXICO 87110 (505) 266-3555							
JOB NO.	DATE	DESIGN BY	DRAWN BY	CHECKED BY	SHEET NUMBER		
00361	7-90	TTM	LAH	TTM	1 OF 1		

CONCRETE TROUGH  
NTS