

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

November 14, 2024

Alejandro Sazo  
RBA Architects  
1104 Park Ave SW  
Albuquerque, NM 87102

[alejandro@rba81.com](mailto:alejandro@rba81.com)

**Re: Ronco Retail Ph-3  
4420 Wyoming Blvd NE  
Traffic Circulation Layout  
Engineer's/Architect's Stamp 10-28-24 (G20D001)**

Dear Mr. Sazo,

The TCL submittal received 11-13-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation.

Albuquerque

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

*Sertil A. Kanbar*

Sertil Kanbar, PhD, PE, CFM  
Sr. Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** \_\_\_\_\_  
**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

**TYPE OF SUBMITTAL:**

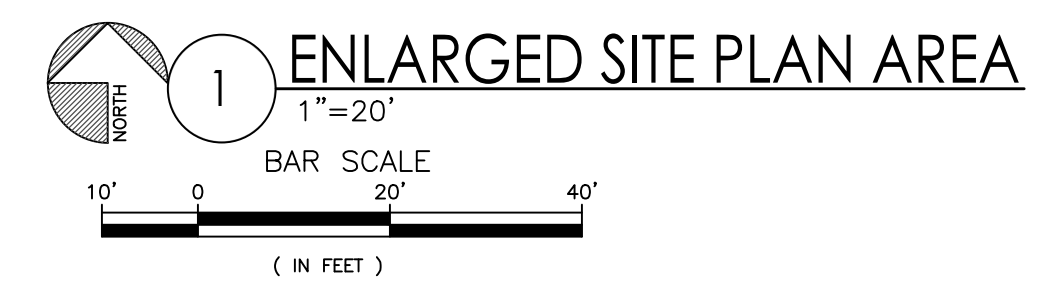
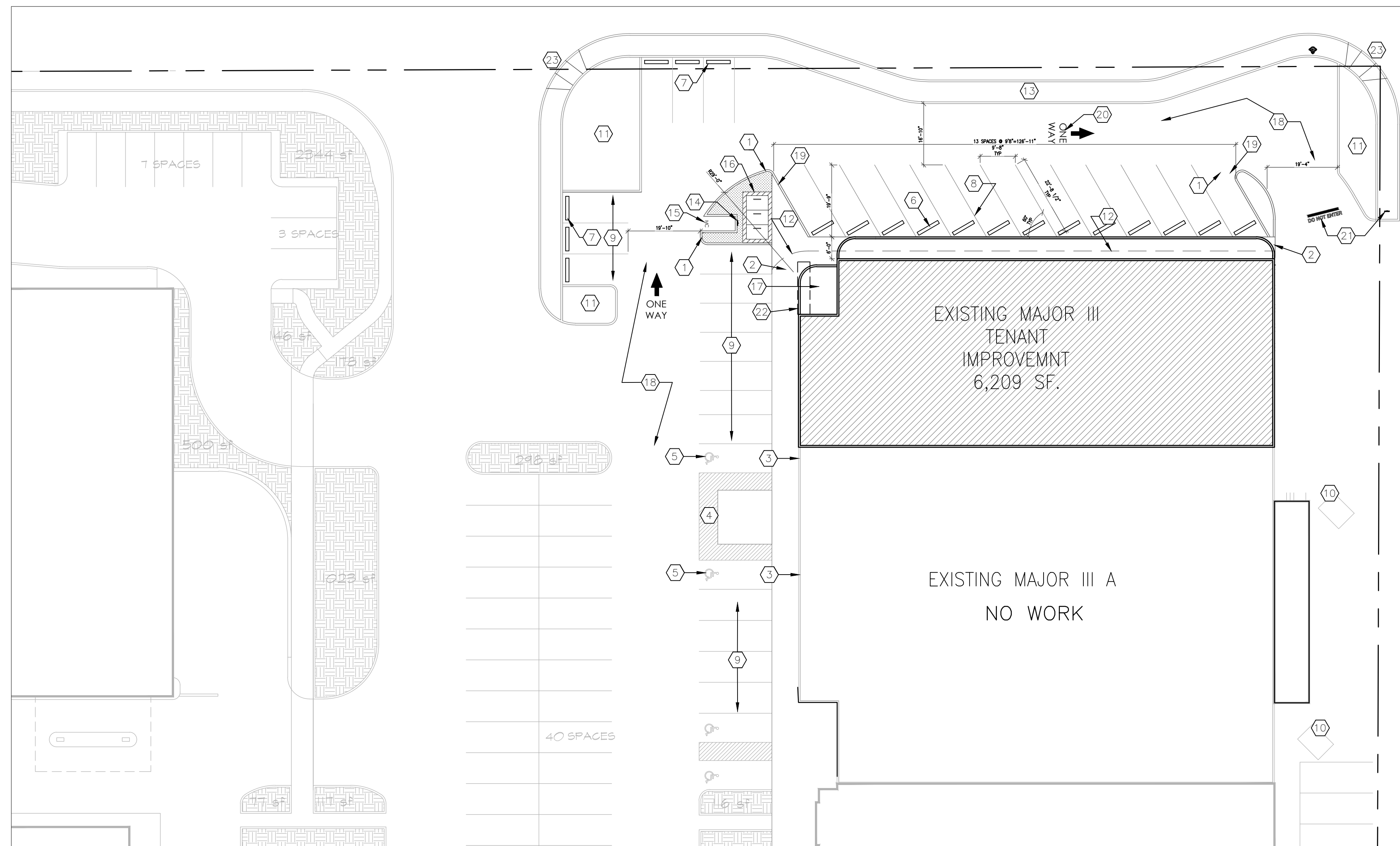
- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_

- PRE-DESIGN MEETING
- OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

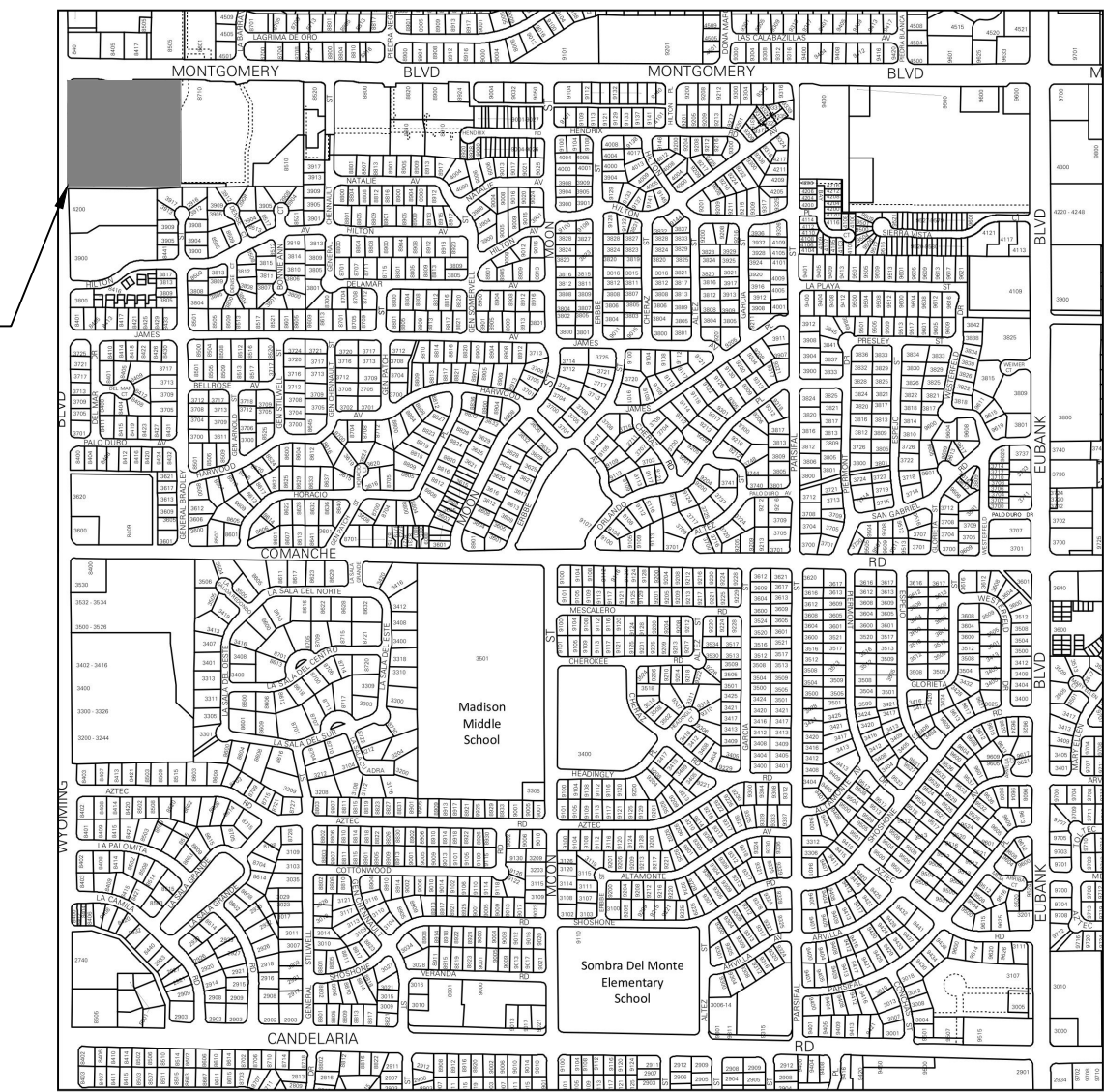
COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



**TRAFFIC CIRCULATION  
LAYOUT APPROVED**

Sertil A. Kanbar 11/14/2024

Signed \_\_\_\_\_ Date \_\_\_\_\_



For more current information and details visit: [www.cabq.gov/gis](http://www.cabq.gov/gis)

Address Map Page:  
**G-20-Z**  
Map Amended through:  
3/17/2017

AGIS  
Advanced Geographic Information System

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Scale: 0 750 1,500 Feet



**MX-M ZONE**

**PARKING REQUIREMENT PER IDO**

PARKING REQUIRED BY IDO TABLE 5-5-1,  
GENERAL RETAIL <10,000 SF. 3.5 SPACES/1000 SQ. FT.  
6,209 SQ. FT./1000=6.20 X 3.5=22 SPACES REQUIRED  
22 PARKING SPACES PROVIDED (1 ACCESSIBLE SPACES EXISTING)  
3 BICYCLES SPACES PROVIDED (EXISTING)  
1 MOTORCYCLES SPACES NEW

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**LANDSCAPING REQUIREMENT PER IDO**

I.D.O.PART 14-16-5, DEVELOPMENT STANDARDS  
5-6: LANDSCAPING, BUFFERING, AND SCREENING  
MINIMUM LANDSCAPE AREA 5-6(C)(2)(g)

LANDSCAPING:

|                             |   |
|-----------------------------|---|
| TOTAL LOT AREA:             |   |
| GROSS BLDG AREA:            |   |
| NET LOT AREA:               |   |
| LANDSCAPING REQUIRED 15%:   | 345,284 SF.                               |
| PROPOSED LANDSCAPING 15.4%: | 98,136 SF.<br>247,148 SF.                 |
|                             | 37,072 SF.                                |
|                             | 38,098 SF. EXISTING NO WORK ON THIS AREAS |

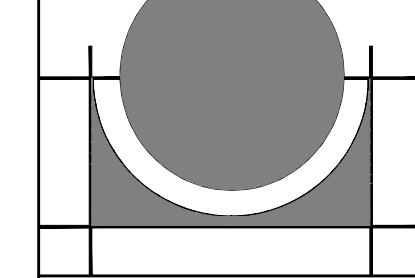
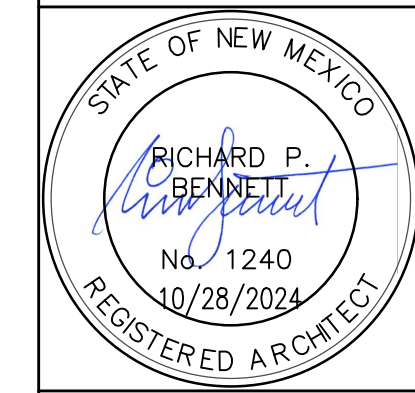
- KEYED NOTES**
- 2'-0" CURB RADIUS, TYP.
  - NEW 6" 4" THICK CONCRETE SIDEWALK. REF. DETAIL C5/AS2.0 SEE FLOOR PLAN
  - EXISTING ACCESSIBLE PARKING SIGNAGE PER CABQ STANDARDS, PAINT AS NEEDED, NO WORK
  - EXISTING PAINTED STRIPE HANDICAP ACCESSIBLE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, NO WORK
  - EXISTING HANDICAP SYMBOL PER CABQ STANDARDS, TYPICAL, PAINT AS NEEDED, NO WORK
  - PARKING BUMPER, TYP. REF: DETAIL C2/AS-2.0.
  - EXISTING PARKING BUMPERS, NO WORK
  - 4" WIDE PAINTED STRIPE PER C.O.A. STANDARDS, REF: DETAIL A11/AS-2.0, TYP.
  - EXISTING PARKING SPACES, PAINT AS NEEDED NO WORK
  - EXISTING DUMPSTER EXISTING FIRE HYDRANT LOCATION.
  - EXISTING LANDSCAPING AREA
  - EXISTING SIDEWALK TO BE REMOVED AND PREPARE AREA FOR NEW 6' WIDE CONCRETE SIDEWALK
  - EXISTING SIDEWALK ALL CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK CURB & GUTTER
  - MOTORCYCLE PARKING SIGNAGE PER CABQ STANDARDS, TYP. REF: A9/AS-2.0.
  - PAINTED "MC" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, AT MOTORCYCLE PARKING - WHITE ON PAVEMENT PER CABQ STANDARDS.
  - BIKE RACK FOR (1) BICYCLE. REF DETAIL A14-A15/AS-2.0. BIKE PARKING SPACES SHALL BE 6'-0" LONG X 2' WIDE FOR EACH BIKE. NOTE: A 1'-0" CLEAR ZONE AROUND THE BIKE PARKING SPACE.  
A. 30" TALL X 18" WIDE.  
B. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES.  
C. THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION. SEE THE IDO FOR ADDITIONAL INFORMATION.  
D. THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLES TO BE ATTACHED.  
E. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.  
F. EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.  
G. THE RACKS SHOULD BE STURDY AND ANCHORED TO A CONCRETE PAD.  
H. G.C. TO PROVIDE AND INSTALL RECESSED KNOX BOX WITH KEY FOR FIRE DEPARTMENT ACCESS, MOUNT BOX 4'-0" - 6'-0" HIGH A.F.F., TYP.
  - EXISTING ASPHALT NO WORK
  - NEW RAISED CONCRETE CURB REF. DETAIL C3/AS-2.0.
  - "ONE WAY" PAINT ON ASPHALT. REF. DETAIL A7/AS-2.0
  - "DO NOT ENTER" SIGNAGE AND PAINT ON ASPHALT. REF. DETAIL A6,A10/AS-2.0
  - EXISTING MONUMENT SIGN
  - EXISTING ADA CURB RAMPS MUST BE UPDATED TO CABQ STANDARD DRAWING 2441

NOTE:  
DUMPSTERS TO REMAIN IN THE SAME PLACE, THE SUITES WILL SHARE THE COST OF THE REFUSE SERVICE

NOTE:  
GENERAL CONTRACTOR TO FIELD VERIFY ALL EXIST. CONSTRUCTION AND DIMENSIONS PRIOR TO CONSTRUCTION

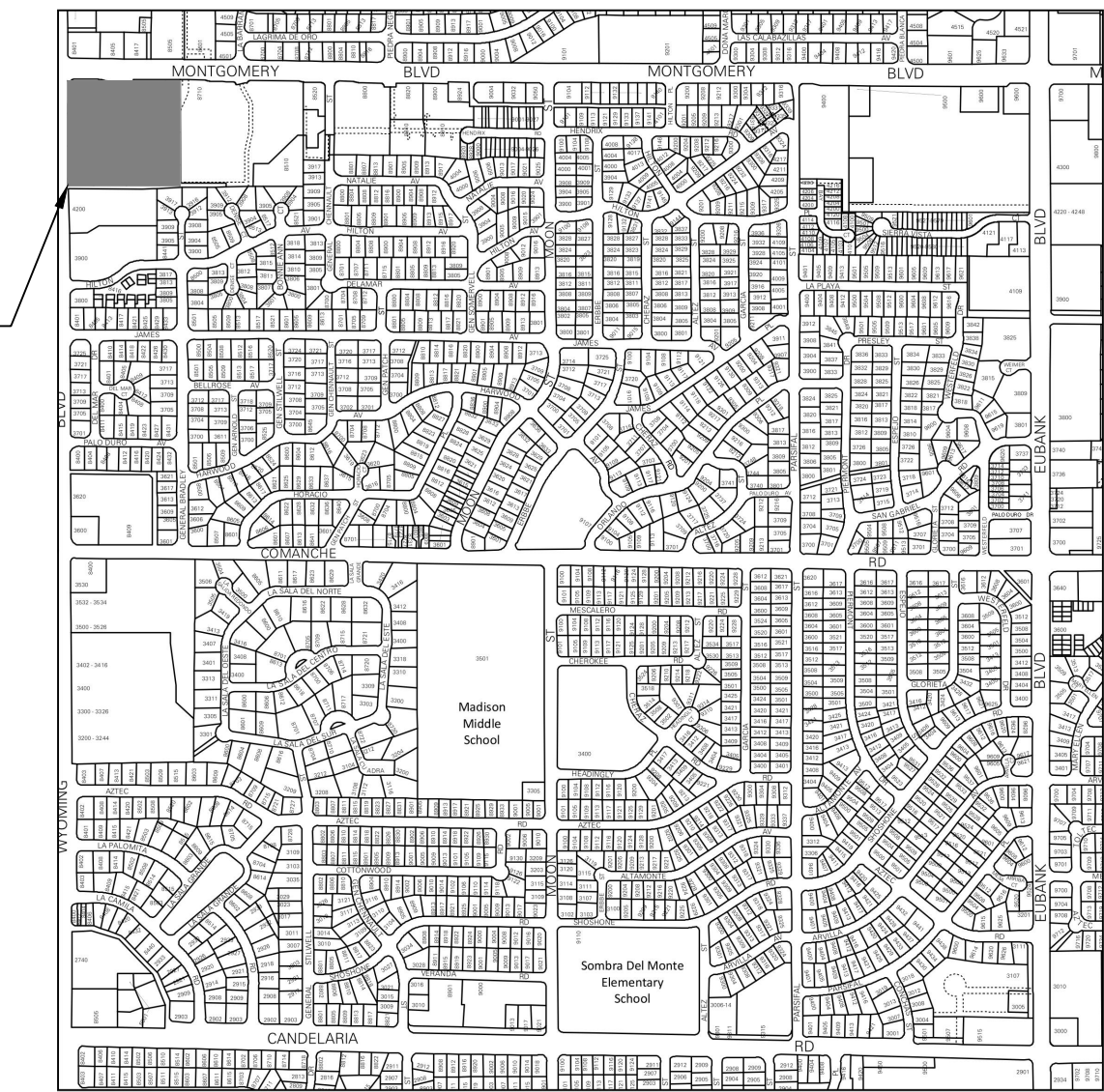
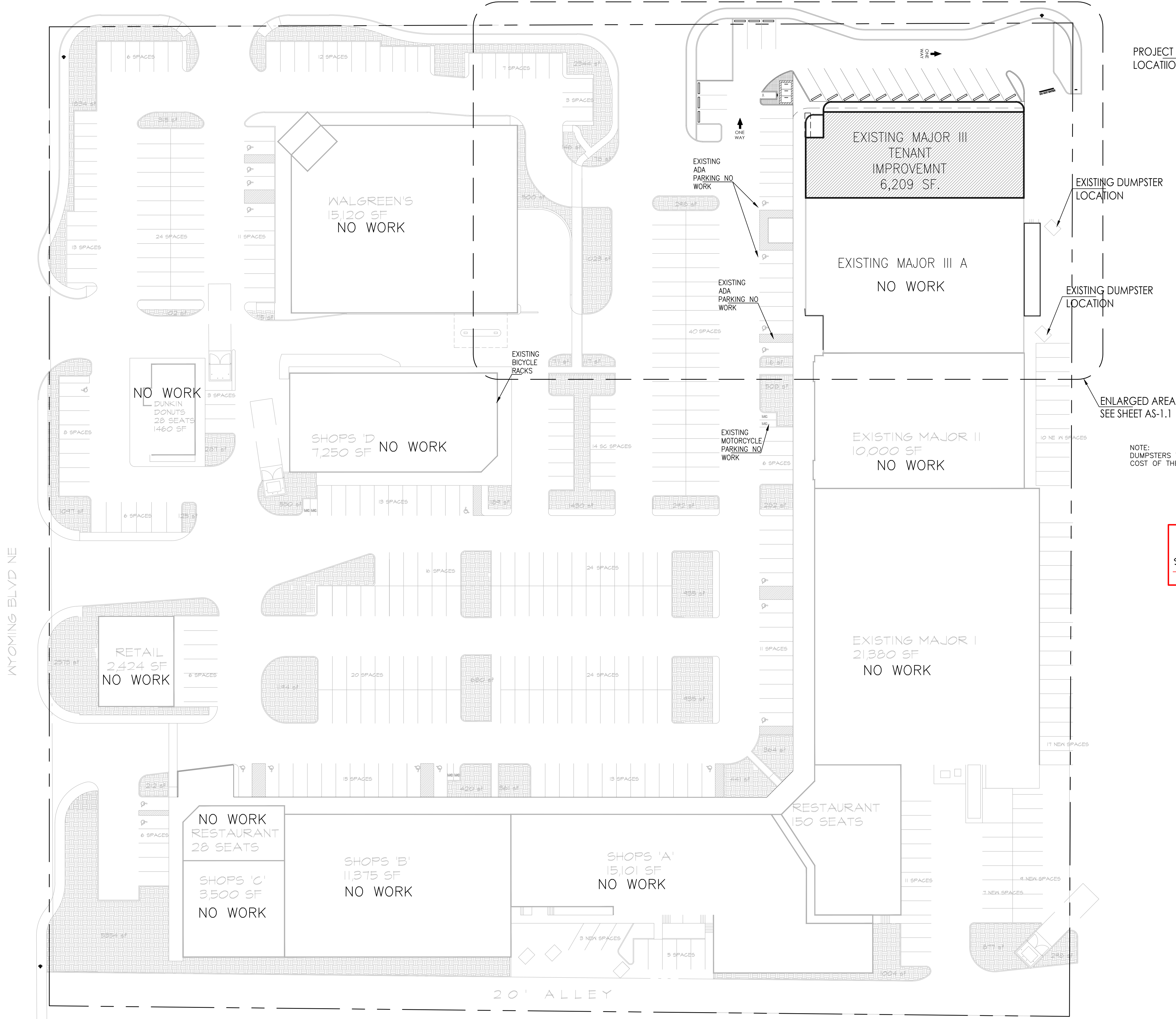
RONCO phase 3  
 ENLARGED AREA SITE PLAN  
 4420 WYOMING BLVD. NE.  
 ALBUQUERQUE, NM  
 PROJECT 2410

REVISION DATE



DATE  
10/25/2024

SHEET NUMBER  
AS-1.1



Address Map Page:  
**G-20-Z**  
Map Amended through:  
3/17/2017

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PROJECT LOCATION

EXISTING DUMPSTER LOCATION

EXISTING DUMPSTER LOCATION

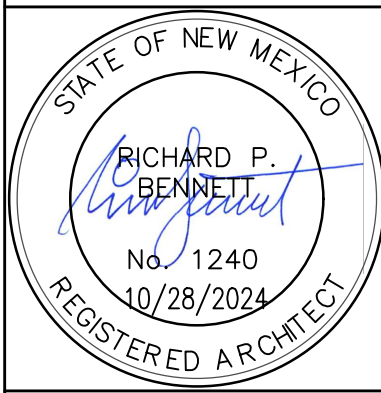
ENLARGED AREA SEE SHEET AS-1.1

NOTE: DUMPSTERS TO REMAIN IN THE SAME PLACE, THE SUITES WILL SHARE THE COST OF THE REFUSE SERVICE

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
Sertil A. Kanbar 11/14/2024  
Signed \_\_\_\_\_ Date \_\_\_\_\_

RONCO phase 3  
OVERALL SITE PLAN  
4420 WYOMING BLVD. NE.  
ALBUQUERQUE, NM  
PROJECT 2410

REVISION DATE



RBA ARCHITECTURE, P.C.  
ARCHITECTURE, PLANNING, DESIGN  
10000 N. 1st St. NE  
Albuquerque, NM 87112  
www.rba.com

DATE  
10/25/2024

SHEET NUMBER  
AS-1.0

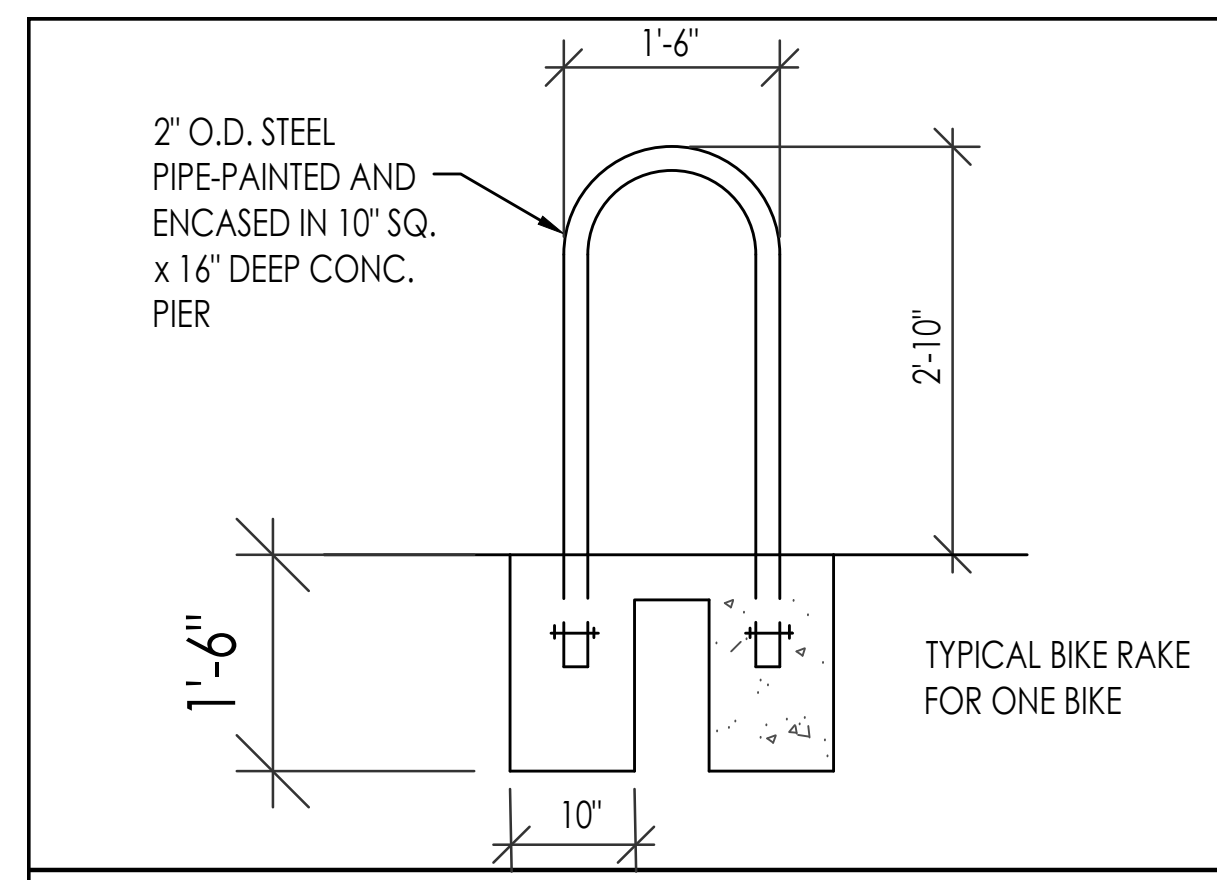
**OVERALL SITE PLAN**  
1  
1"=30'  
BAR SCALE  
0 30' 60'  
( IN FEET )

NOTE: GENERAL CONTRACTOR TO FIELD VERIFY ALL EXIST. CONSTRUCTION AND DIMENSIONS PRIOR TO CONSTRUCTION

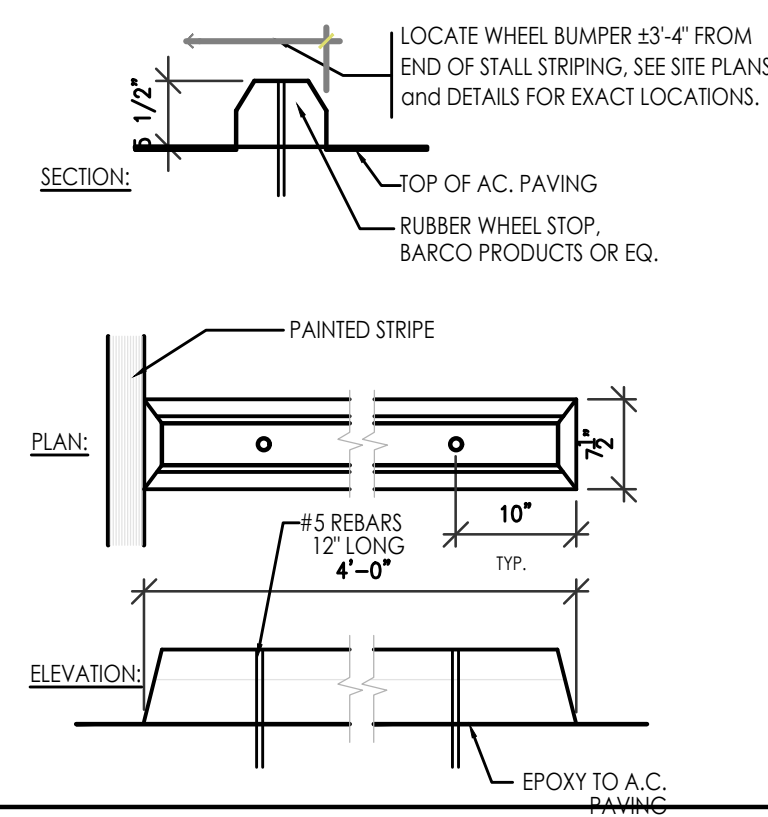
**TRAFFIC CIRCULATION  
LAYOUT APPROVED**

Sertil A. Kanbar 11/14/2024

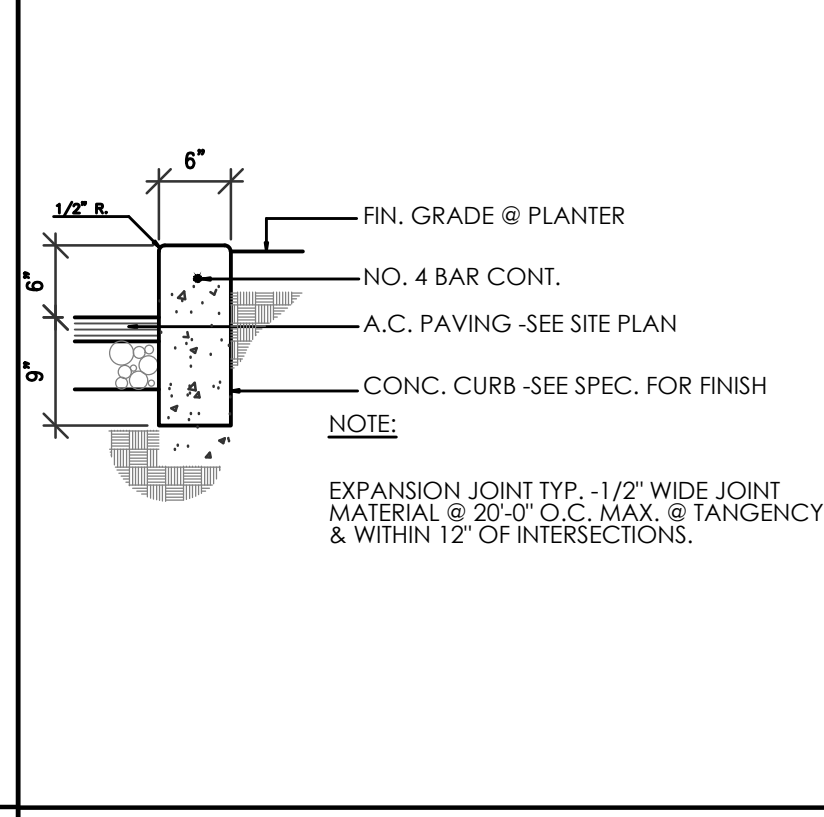
Signed \_\_\_\_\_ Date \_\_\_\_\_



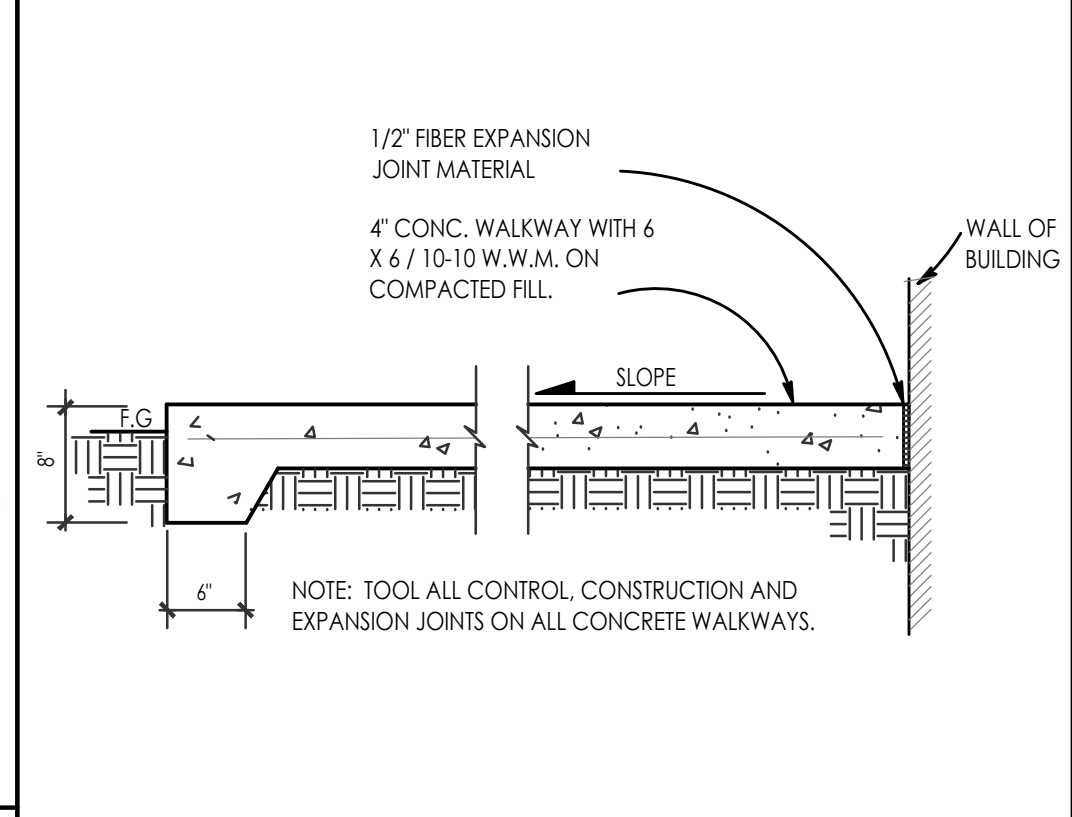
**C1 BIKE RACK ELEVATION**  
3/4"=1'-0"



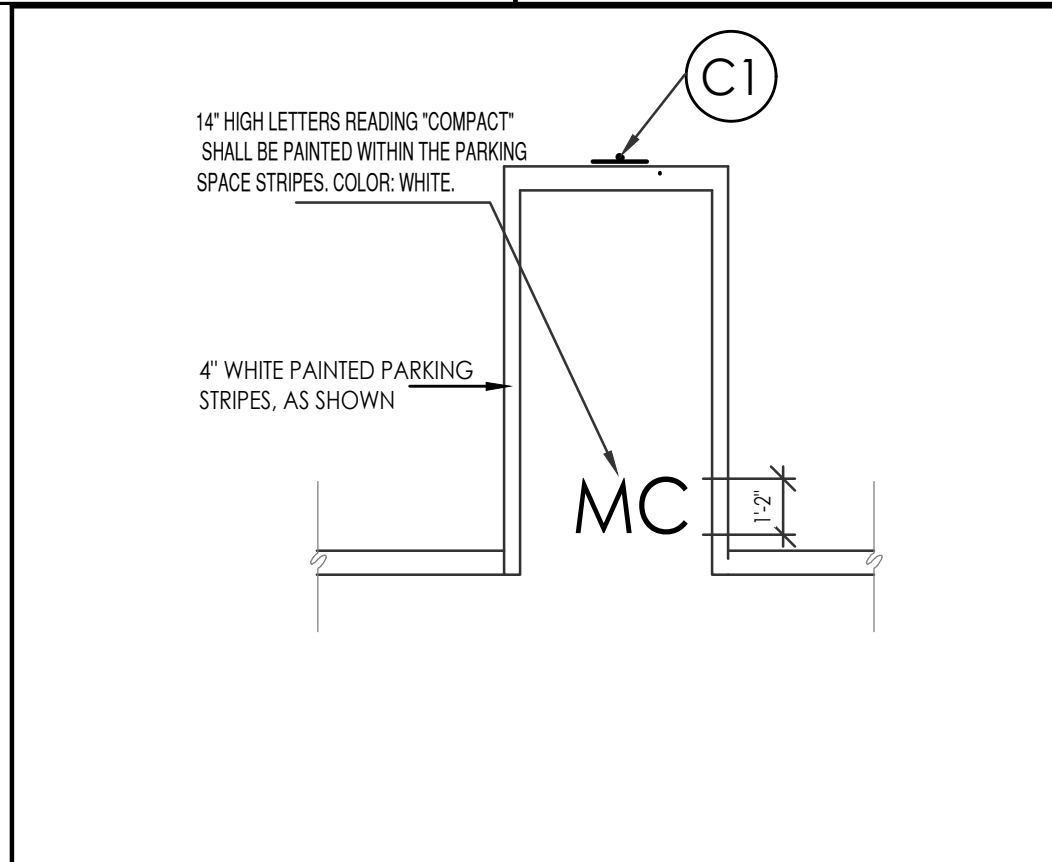
**C2 WHEEL BUMPER DETAIL**  
3/4"=1'-10"



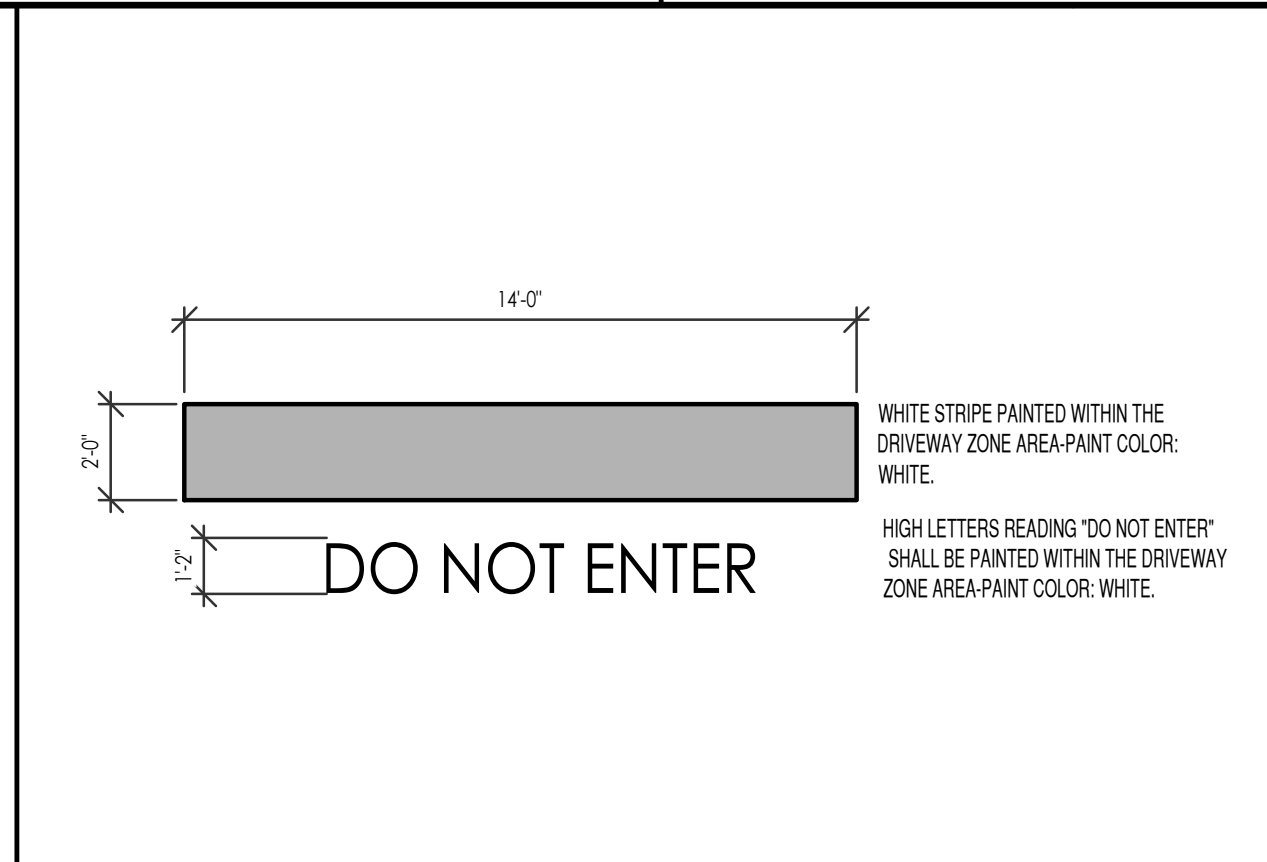
**C3 CONCRETE CURB DETAIL**  
3/4"=1'-10"



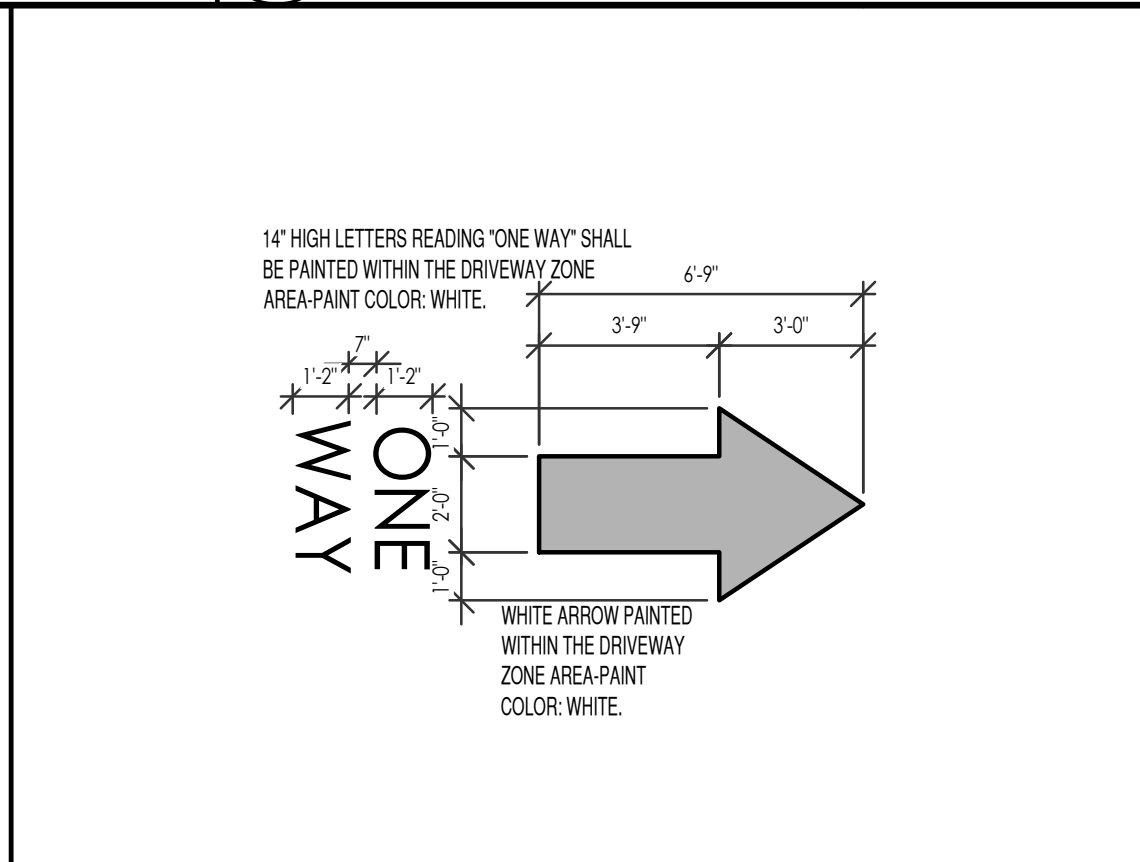
**C5 TYPICAL SIDEWALK DETAIL**  
N.T.S.



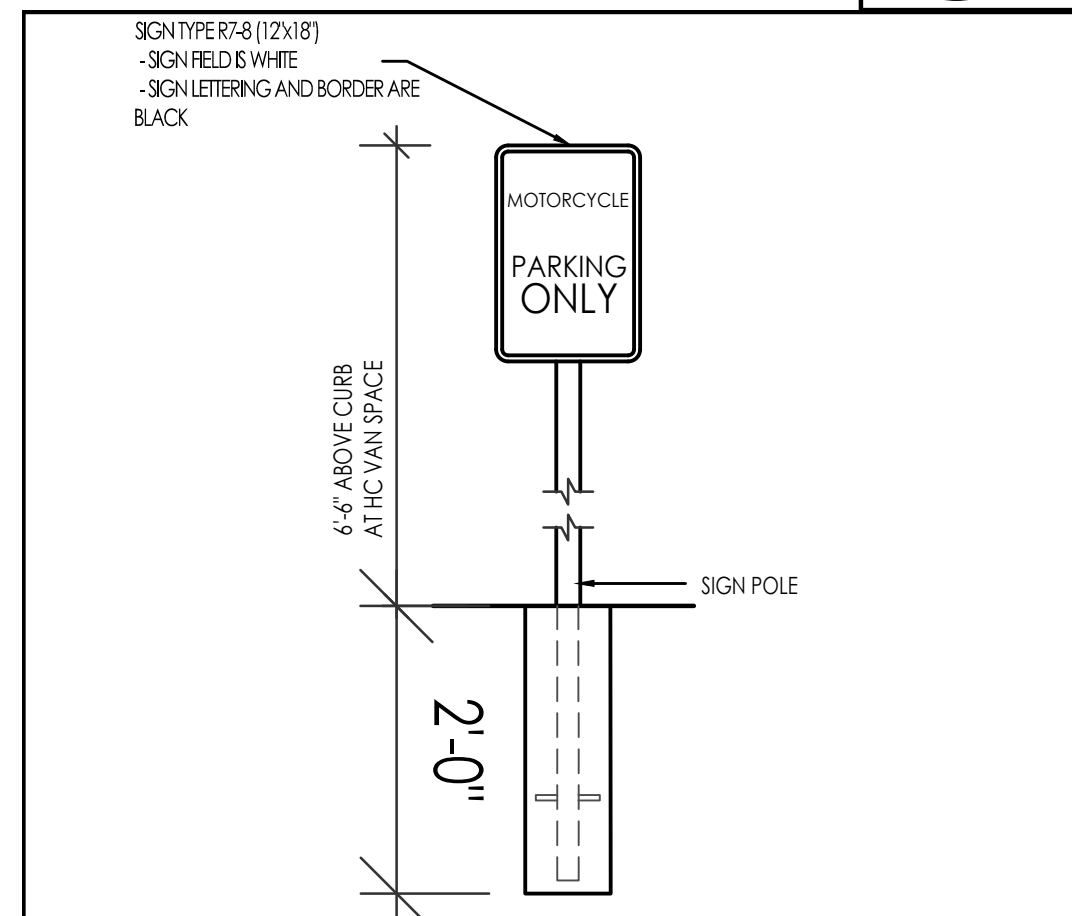
**A5 COMPACT PARKING SPACE PAVEMENT MARK**  
1/2"=1'-0"



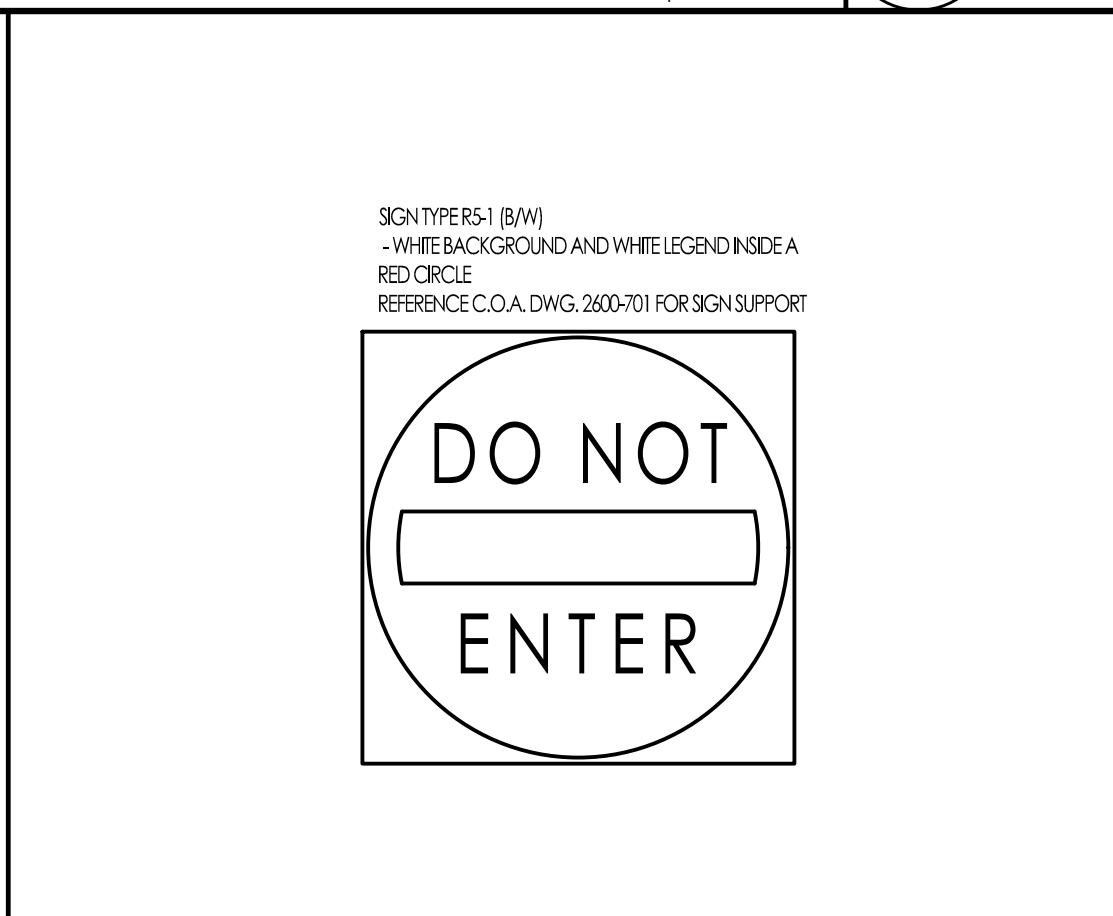
**A6 PAVEMENT MARKING DETAIL**  
1/4"=1'-0"



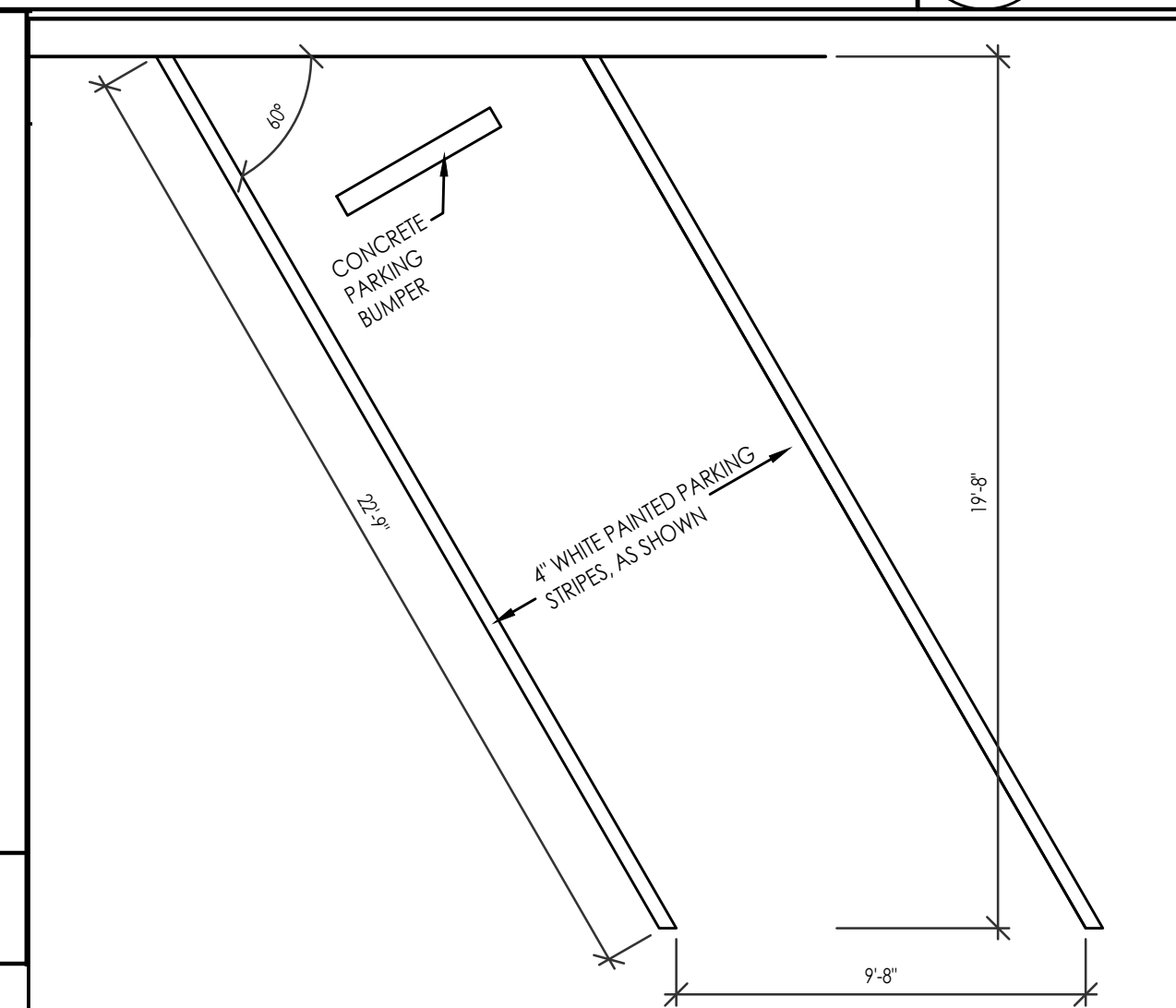
**A7 PAVEMENT MARKING DETAIL**  
1/4"=1'-0"



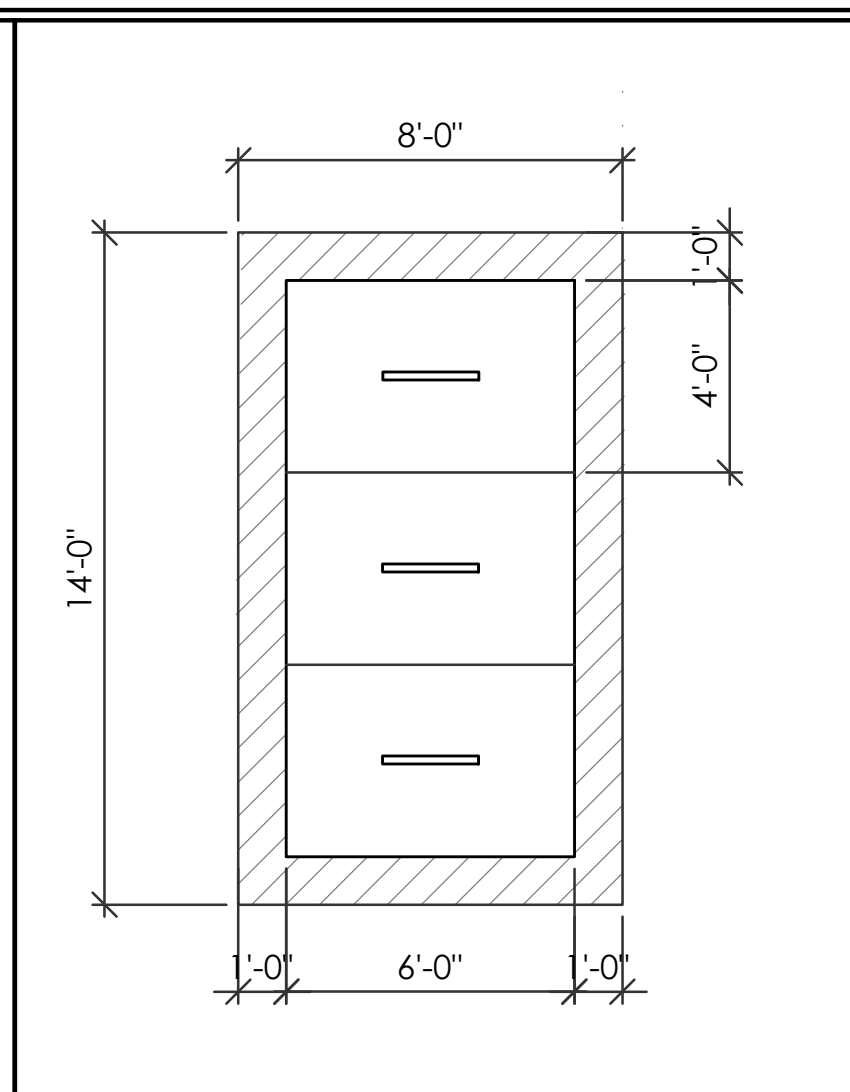
**A9 MOTORCYCLE SIGNAGE ELEVATIONS**  
3/4"=1'-0"



**A10 DO NOT ENTER ELEVATIONS**  
3/4"=1'-0"



**A11 4" WIDE PAINTED STRIPE DETAIL**  
1/2"=1'-10"



**C6 BIKE RACK TOP VIEW**  
NOT TO SCALE

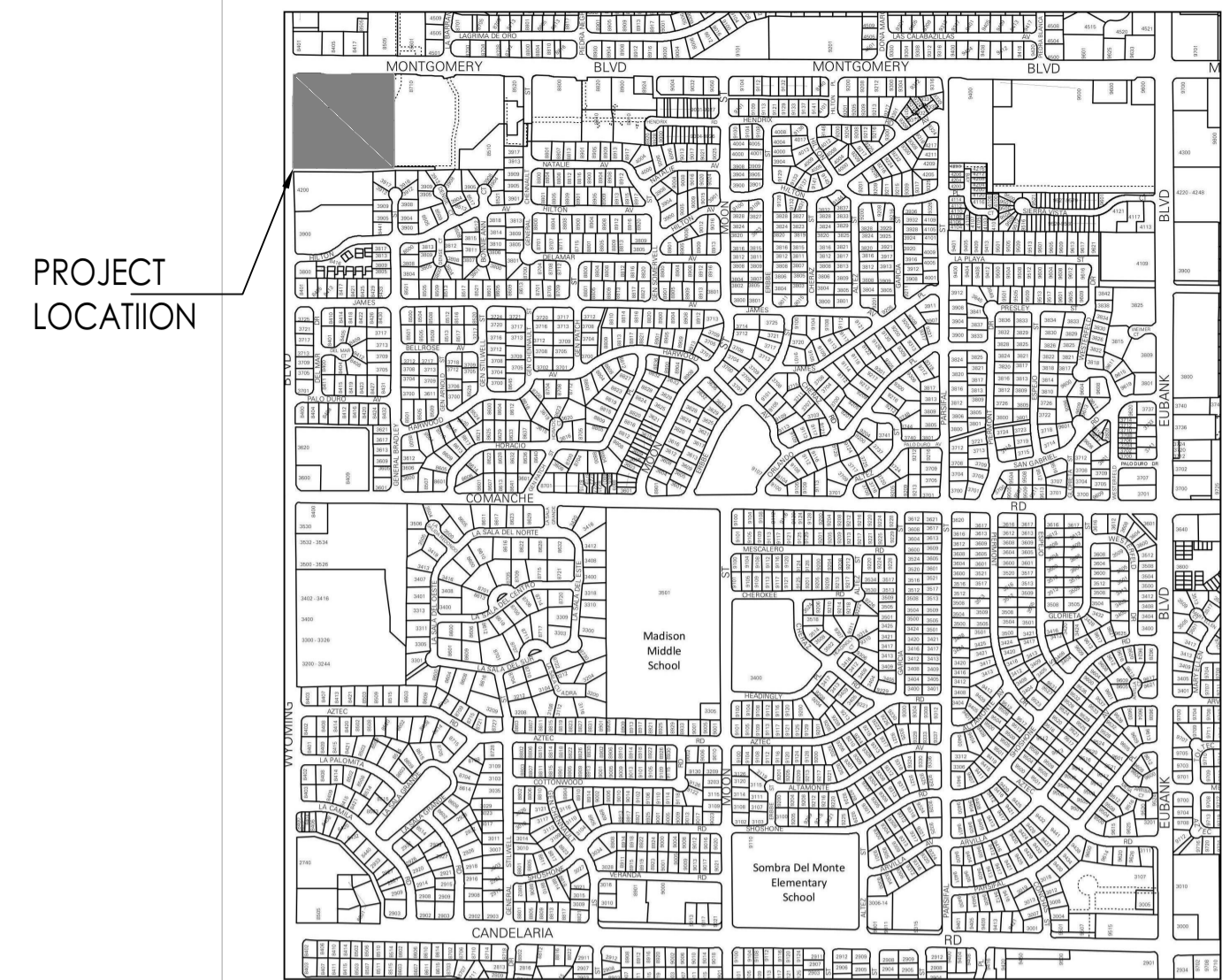
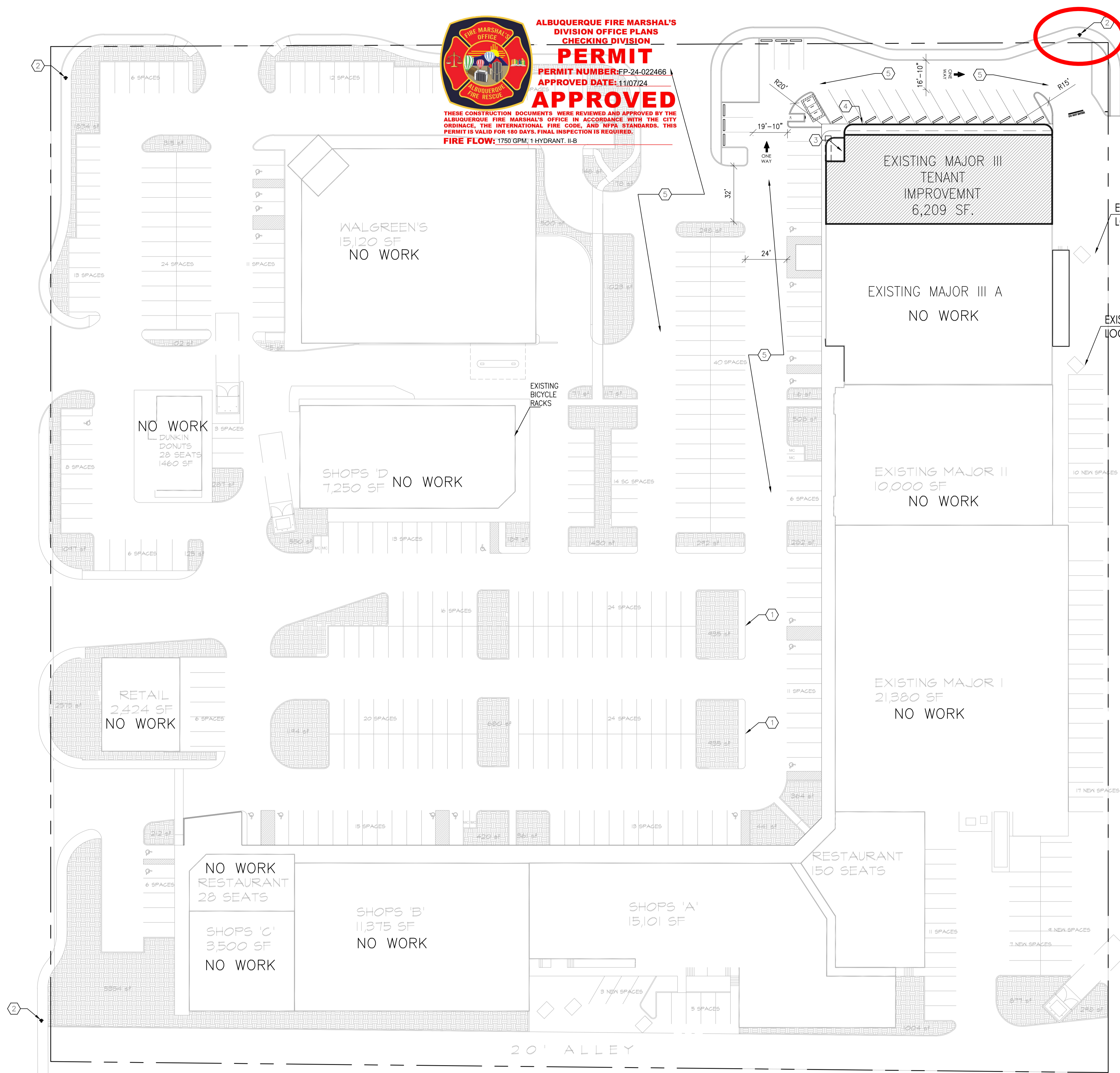
**RONCO phase 3  
SITE DETAILS  
4420 WYOMING BLVD. NE.  
ALBUQUERQUE, NM  
PROJECT 2410**

|                        |
|------------------------|
| REVISION DATE          |
|                        |
|                        |
| DATE<br>10/25/2024     |
| SHEET NUMBER<br>AS-2.0 |



ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION  
**PERMIT**  
PERMIT NUMBER: FP-24-022466  
APPROVED DATE: 11/07/24  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.  
FIRE FLOW: 1750 GPM, 1 HYDRANT, II-B



Address Map Page:  
**G-20-Z**  
Map Amended through:  
3/17/2017

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VELOCITY MAP  
NTS.

RONCO phase 3  
FIRE 1 PLAN  
4420 WYOMING BLVD. NE.  
ALBUQUERQUE, NM  
PROJECT 2410

**MX-M ZONE**

PROJECT LOCATED AT 4420 WYOMING BLVD. NE. TENANT IMPROVEMENT ALL REMODELING WORK TO BE INTERIOR ON AN EXISTING BUILDING AND SITE NO SQUARE FOOT TO BE ADDED.

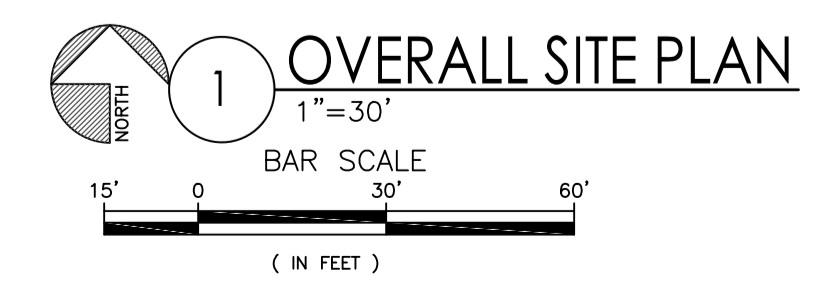
FIRE FLOW REQUIREMENTS BUILDING TYPE 2B NON SPRINKLED  
6,209 S.F. (1 STORY)  
5,901-7,900 S.F. = 1,750 G.P.M. = 2 HOUR FLOW DURATIONS  
1,750 G.P.M. = 1 HYDRANT = 500 FEET SPACING =  
250 FEET MAX DISTANCE FROM ROAD TO HYDRANT

**KEYED NOTES**

- EXISTING FIRE LINE
- EXISTING FIRE HYDRANT LOCATION.
- KNOX BOX LOCATION BETWEEN 4' AND 6' A.F.F. ILLUMINATED AND IMMEDIATELY VISIBLE.
- PREMIS ID LOCATION COORDINATE WITH FIRE MARSHAL.
- EXISTING ASPHALT

**LIFE SAFETY GENERAL NOTES**

- PREMISE IDENTIFICATION - SHALL BE MINIMUM 12 INCHES HIGH x 1 INCH WIDE STROKE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY, LOCATIONS AND TYPE.
- ALL PENETRATIONS THROUGH A FIRE RATED WALL ASSEMBLY TO BE FIRESTOPPED WITH THERMAFIBER AS MANUFACTURED BY THERMAFIBER, LLC, WABASH, 46992 OR OTHER APPROVED EQUAL.
- ALL EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP, REF: ELECTRICAL.



REVISION DATE

STATE OF NEW MEXICO  
RICHARD P. BENNETT  
No. 1240  
10/28/2024  
REGISTERED ARCHITECT

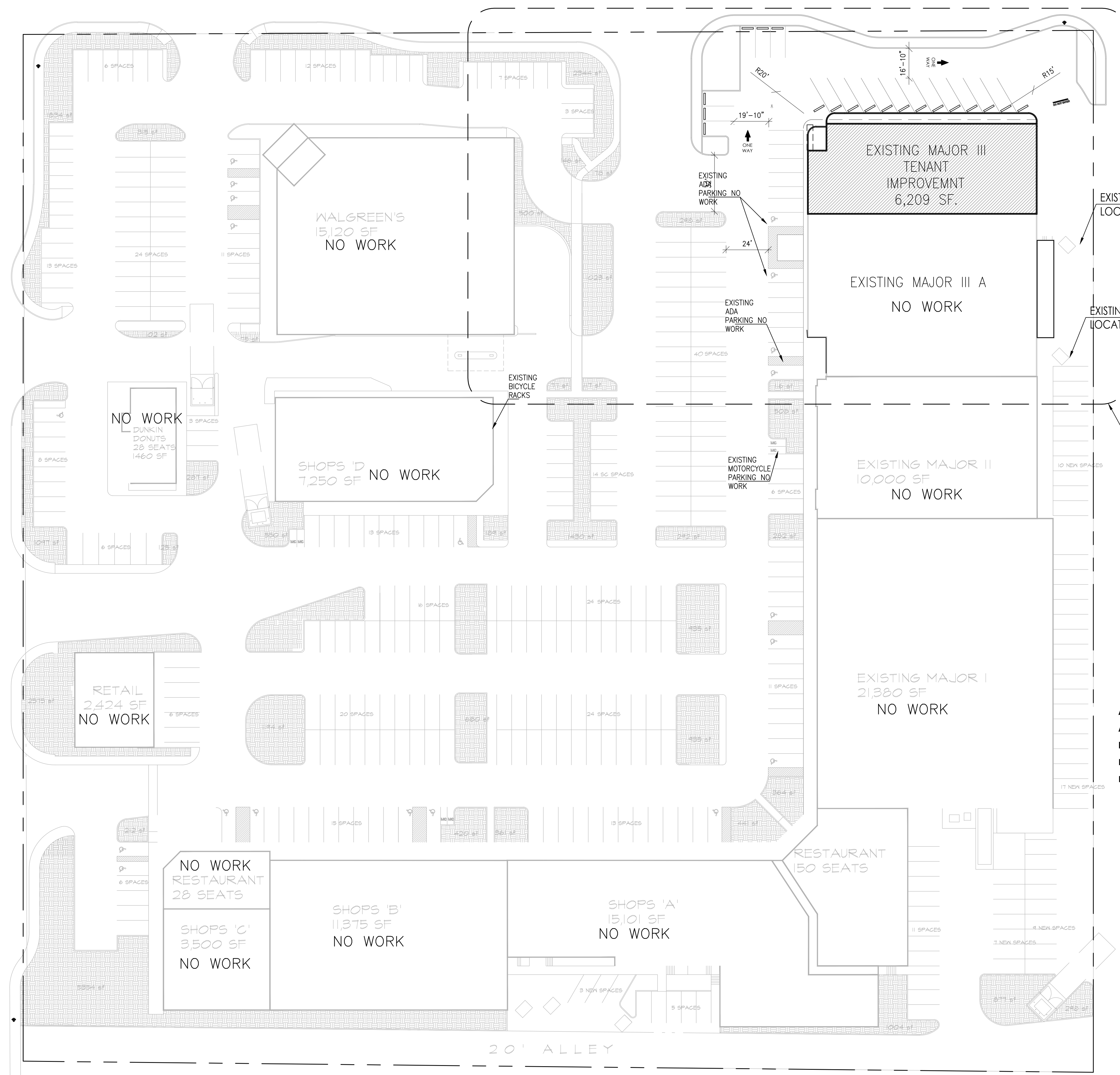
RBA  
ARCHITECTURE, PC  
PLANNING  
DESIGN

4420 Wyoming Ave. NE, Ste. 10702  
Albuquerque, NM 87112  
505.885.1000  
www.rbaarch.com

DATE  
10/25/2024

SHEET NUMBER  
F-1

NOTE:  
GENERAL CONTRACTOR TO  
FIELD VERIFY ALL EXIST.  
CONSTRUCTION AND  
DIMENSIONS PRIOR TO  
CONSTRUCTION



WYOMING BLVD NE

20' ALLEY

PROJECT LOCATION

EXISTING DUMPSTER LOCATION

EXISTING DUMPSTER LOCATION

ENLARGED AREA SEE SHEET AS-1.1

NOTE: DUMPSTERS TO REMAIN IN THE SAME PLACE, THE SUITES WILL SHARE THE COST OF THE REFUSE SERVICE



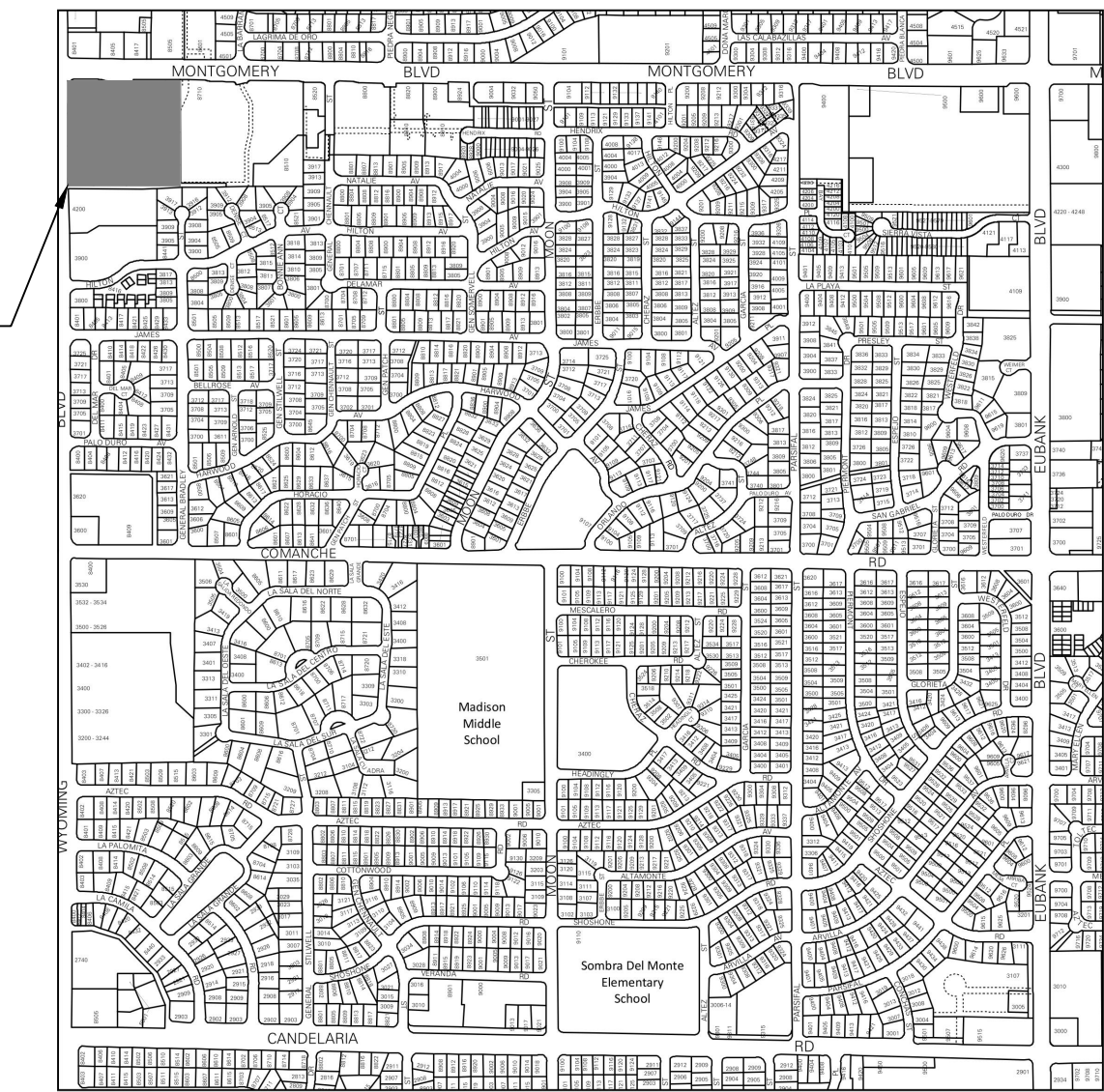
Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: *Herman Gallagos*

Date: 10-30-24

\*\*Existing dumpster location to remain\*\*  
\*\*See note above\*\*



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**G-20-Z**  
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VELOCITY MAP NTS.

**OVERALL SITE PLAN**  
1  
1"=30'  
BAR SCALE  
0 30' 60'  
( IN FEET )

RONCO phase 3  
OVERALL SITE PLAN  
4420 WYOMING BLVD. NE.  
ALBUQUERQUE, NM  
PROJECT 2410

| REVISION | DATE |
|----------|------|
|          |      |

STATE OF NEW MEXICO  
RICHARD P. BENNETT  
No. 1240  
10/28/2024  
REGISTERED ARCHITECT

RBA ARCHITECTURE, PC  
ARCHITECTURE  
PLANNING  
DESIGN  
1000 1/2 Ave. SW  
Albuquerque, NM 87102  
www.rbaarch.com

DATE  
10/25/2024

SHEET NUMBER  
AS-1.0

NOTE: GENERAL CONTRACTOR TO FIELD VERIFY ALL EXIST. CONSTRUCTION AND DIMENSIONS PRIOR TO CONSTRUCTION