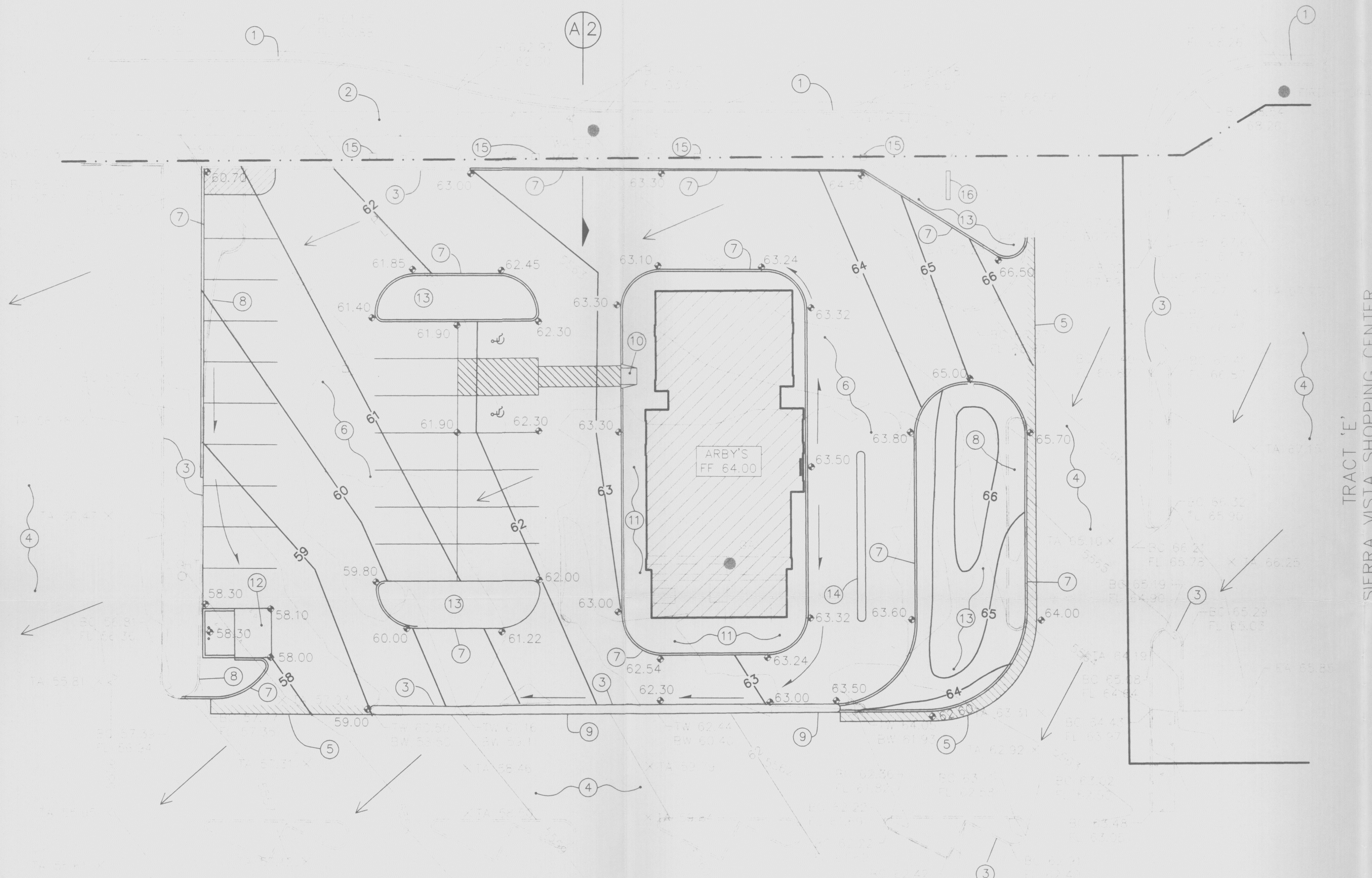
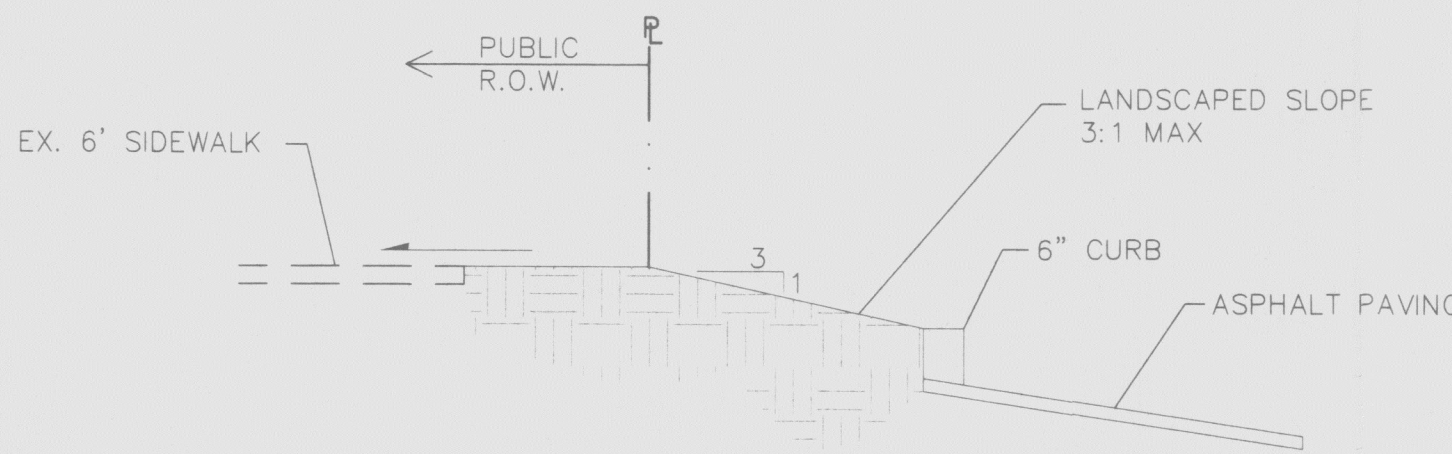


HYDROLOGY — HYMO								
Zone 4			P360 = 2.60 in			P1440 = 3.10 in		
Basin	Basin	Land Treatment (acre)		Ew	V100	Q100		
	area (Ac)	A	B	C	D	(in)	(af)	(cfs)
Existing								
SITE	1.38	0.00	0.00	0.10	1.28	2.28	0.2622	6.8
Developed								
SITE	1.38	0.00	0.07	0.14	1.17	2.19	0.2518	6.5

MONTGOMERY BLVD N.E.

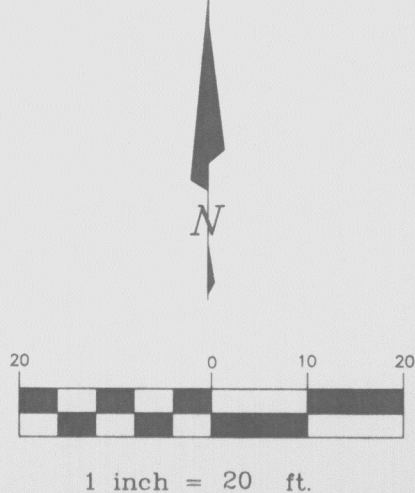


TRACT A-3 SIERRA VISTA SHOPPING CENTER



KEYED NOTES

1. EXISTING STANDARD CURB & GUTTER
2. EXISTING 6" SIDEWALK
3. EXISTING 6" CURB TO REMAIN
4. EXISTING ASPHALT PAVING TO REMAIN
5. LIMITS OF ASPHALT REMOVAL MATCH EXISTING
6. NEW ASPHALT PAVEMENT
7. NEW 6" CONCRETE CURB
8. REMOVE AND DISPOSE EXISTING CONCRETE CURB
9. EXISTING RETAINING WALL TO REMAIN. CONTRACTOR TO REPAIR AS NECESSARY
10. CONSTRUCT HANDICAP RAMP
11. CONSTRUCT CONCRETE SIDEWALK
12. CONSTRUCT REFUSE ENCLOSURE PER CITY DETAILS
13. LANDSCAPING
14. PAINTED LANE STRIPING
15. EXISTING LIGHT POLE TO BE REMOVED
16. EXISTING SIGN TO BE REMOVED



GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the construction of an Arby's restaurant located at 9500 Montgomery Boulevard NE. Proposed site improvements include paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS

The project site is approximately 1.38 acres in size and is located at 9500 Montgomery Blvd NE, just west of Wyoming Blvd. The project site is particularly described as a portion of Tract A-3 Sierra Vista Shopping Center. The site is bounded by Montgomery Blvd on the north and developed commercial properties on the east, west and south. Site topography slopes from northeast to southwest at approximately 4%. All on-site runoff drains southwest through the Sierra Vista Shopping Center. Masterplan drainage improvements constructed for the shopping center convey all runoff to an existing channel and drainage system located south of the shopping center.

PROPOSED CONDITIONS

As shown by the Plan, the project consists of an Arby's restaurant and associated site improvements. The Plan shows the contours and elevations required to properly grade and construct the required paving and drainage improvements. The directions of drainage flows are given by flow arrows and the project hydrology is tabulated for both existing and proposed conditions.

All drainage flows will be managed on-site and discharge to the shopping center where Masterplan drainage improvements convey all runoff to an existing channel and drainage system located south of the shopping center. As a result of the development excess runoff is expected to be reduced due to the provision of additional landscaping improvements.

EROSION CONTROL

Temporary erosion control will be required during the construction phase to protect downstream property and improvements from sediment and uncontrolled runoff. This Plan recommends the placement of silt fencing along the south and west construction boundary to mitigate sediment deposition into the adjoining parking lots and public streets. It is the Contractor's responsibility to properly maintain these facilities during the construction phase of the project.

CALCULATIONS

Calculations are provided which define the 100-year/6 hour design storm falling with the project area under existing and proposed condition. Hydrology is per "Section 22.2, Part A, DPM, Vol 2" updated July 1997. % Existing site improvements

DRAINAGE PLAN NOTES

1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer may be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.

LEGEND

- 6001 — EXISTING CONTOUR ELEVATION
- 02.5 x — EXISTING SPOT ELEVATION
- 01 — PROPOSED CONTOUR ELEVATION
- — — — — PROPERTY LINE
- 01.5 — PROPOSED SPOT ELEVATION
- — — — — DIRECTION OF FLOW
- — — — — DRAINAGE SWALE
- — — — — DRAINAGE BASIN DIVIDE

PROPERTY ADDRESS

9500 MONTGOMERY BLVD. N.E.

LEGAL DESCRIPTION

Tract A-3  
SIERRA VISTA SHOPPING CENTER

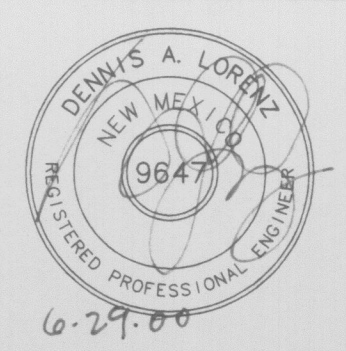
PROJECT BENCHMARK

COA BM NO. 11-F20: A square cut on NNW curb return. At northwest quadrant of Montgomery Blvd. and Piedra Blanca St. intersection. Elev 5551.911

SURVEY

Topographic map based on measurements made by Brasher and Lorenz, Inc., 8-19-99.

ARBY'S RESTAURANT  
GRADING & DRAINAGE PLAN



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DRAWN BY: M.D.B.II	DATE: APRIL, 2000
CHECKED BY: D.L.	SHEET 2 OF 2
FILE: 99559-GD.DWG	