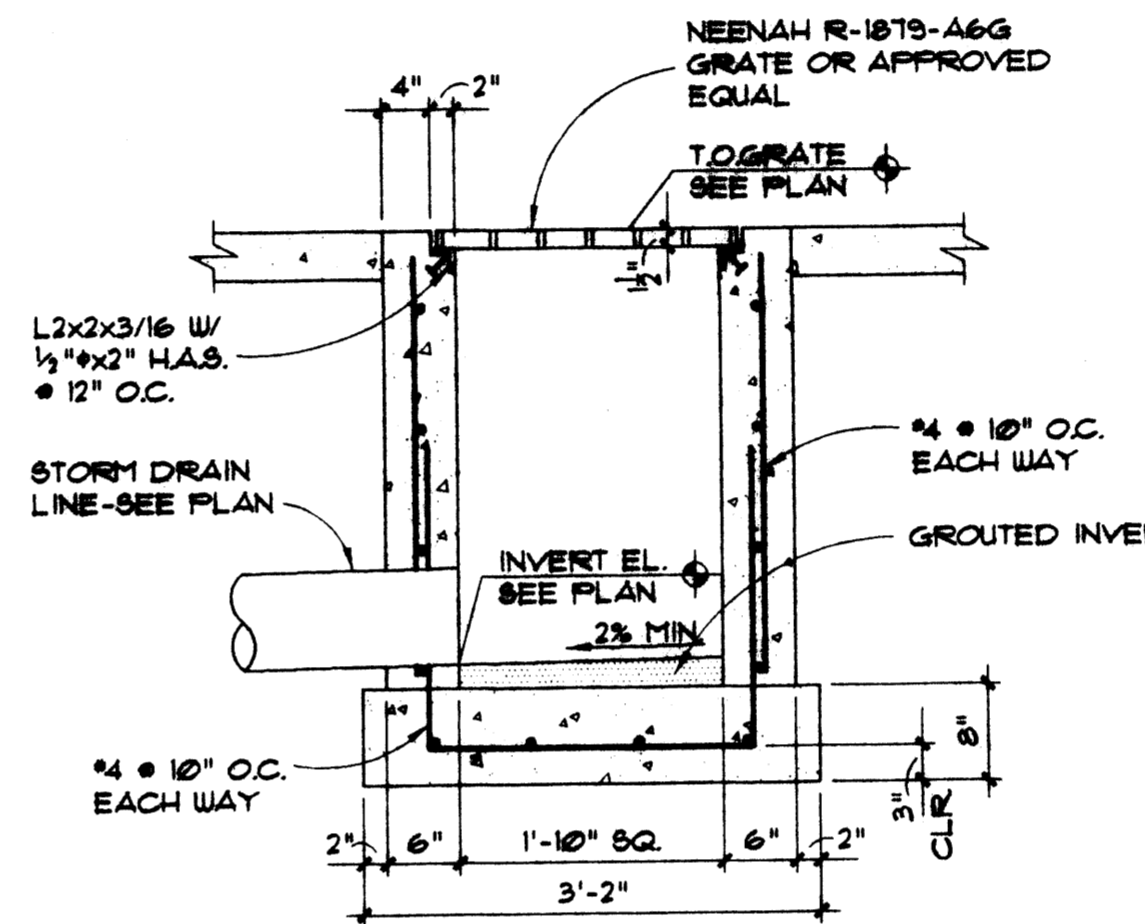


**KEYED NOTES**

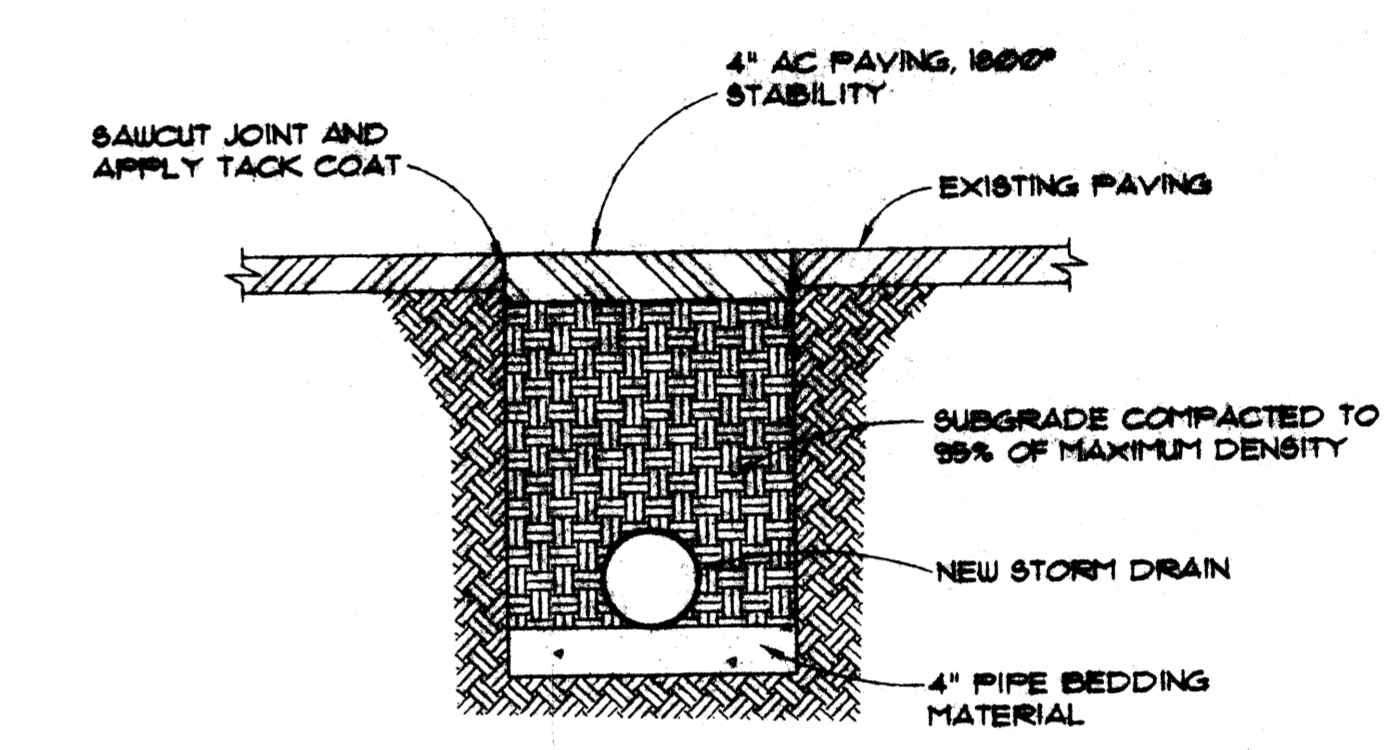
1. CONSTRUCT CONCRETE RETAINING WALL PER 6/8-201 W/ 6" CURBS AND HANDRAIL
2. DROP INLET PER DETAIL 1/C-101, TOP OF GRATE ELEV. = 50.20, INVERT ELEV. = 49.20
3. 8" PVC STORM DRAIN - INSTALL PER DETAIL 2/C-101
4. CORE HOLE AT EXISTING RETAINING WALL FOR DRAIN PIPE OUTLET, INVERT ELEV. = 49.50
5. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING

**LEGEND**

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- FF FINISHED FLOOR
- TC TOP OF CONCRETE
- NEW CONCRETE PAVING
- F.V. FIELD VERIFY
- TA TOP OF ASPHALT



1 DROP INLET SECTION 3/4" x 1'-0"



2 PIPE TRENCH DETAIL N.T.S.

**DESIGN NARRATIVE**

THIS PROJECT IS A 4900 SF ADDITION TO AN EXISTING BUILDING AT THE SIERRA VISTA SHOPPING CENTER. THE ADDITION AND ASSOCIATED RAMPS AND COMPACTOR PAD WILL REPLACE EXISTING PAVED SURFACES. THE EXISTING DRAINAGE PATTERN WILL REMAIN UNCHANGED, ALSO THE IMPROVEMENTS WILL NOT CHANGE THE EXISTING DEVELOPED FLOW VOLUMES.

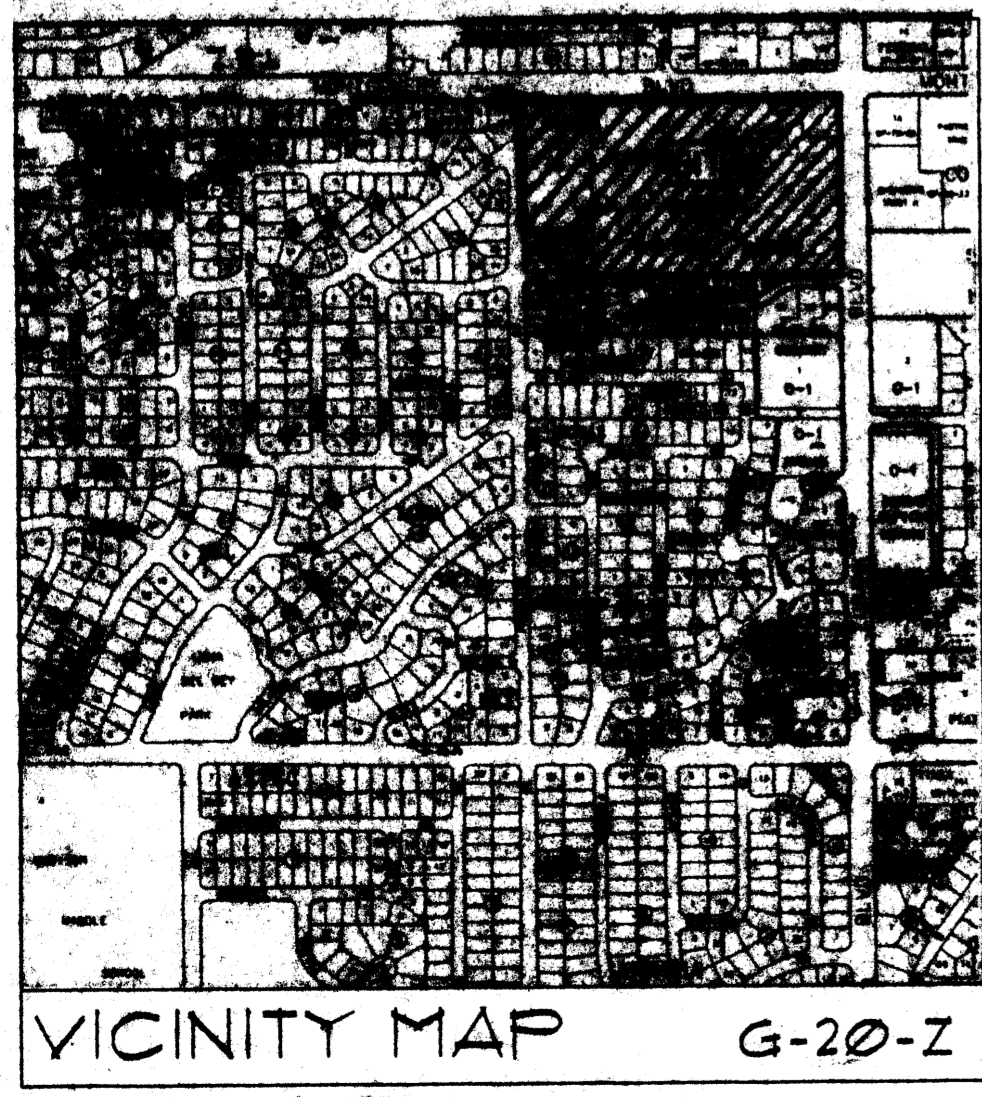
**LEGAL DESCRIPTION**

TRACTS A-3, B-2, 4 E SIERRA VISTA SHOPPING CENTER SECTION 5, T. 10N, R. 4E, NPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

**PROJECT BENCHMARK**

THE BASIS OF ELEVATIONS FOR THIS DRAWING IS ACS BENCHMARK 24-721, THE UNPUBLISHED ELEVATION OF WHICH IS 5916.231 PER THE CITY SURVEYOR OF ALBUQUERQUE, N.M. AND IS LOCATED IN THE NORTHEAST CORNER OF THE INTERSECTION OF EUBANK BOULEVARD NE WITH MONTGOMERY BOULEVARD NE

**A1 GRADING and DRAINAGE PLAN**  
SCALE: 1"=30'



REGISTERED  
 NOV 27 2000  
 HYDROLOGY SECTION

**DCSW**  
 DESIGN COLLABORATIVE SOUTHWEST, INC.  
 3200 Central Ave., SW, Albuquerque, NM 87102  
 505.848.8899 Fax: 505.848.0825  
 Web Site: www.dcsww.com  
 E-Mail: dcsww@prodnet.com

**Walk** Structural Engineering  
 Civil Engineering  
 1100 Broadway, NE, Albuquerque, NM 87102  
 505-243-3000 • Fax: 505-243-3100

Architect: Engineer:

**SIERRA VISTA SHOPPING CENTER REMODEL**  
 9500 MONTGOMERY BLVD. NE  
 ALBUQUERQUE, NM 87111

**FOUNDATION PERMIT SET**  
 NOVEMBER 10, 2000

MARK	DATE	DESCRIPTION
ISSUE:		FOUNDATION PERMIT SET
PROJECT NO:		0023
CAD DWG FILE:		C-101.DWG
DRAWN BY:		LEK
CHECKED BY:		MJW
DATE:		11/22/00

SHEET TITLE  
**GRADING AND DRAINAGE PLAN**

**C-101**  
 sheet of 3 sheets

REGISTERED  
 NOV 27 2000  
 HYDROLOGY SECTION



MARK	DATE	DESCRIPTION
ISSUE:		FOUNDATION PERMIT SET
PROJECT NO:		0023
CAD DWG FILE:		C-101.DWG
DRAWN BY:		LEK
CHECKED BY:		MJW
DATE:		11/22/00

SHEET TITLE  
**GRADING AND DRAINAGE PLAN**

RECEIVED  
 NOV 27 2000  
 HYDROLOGY SECTION

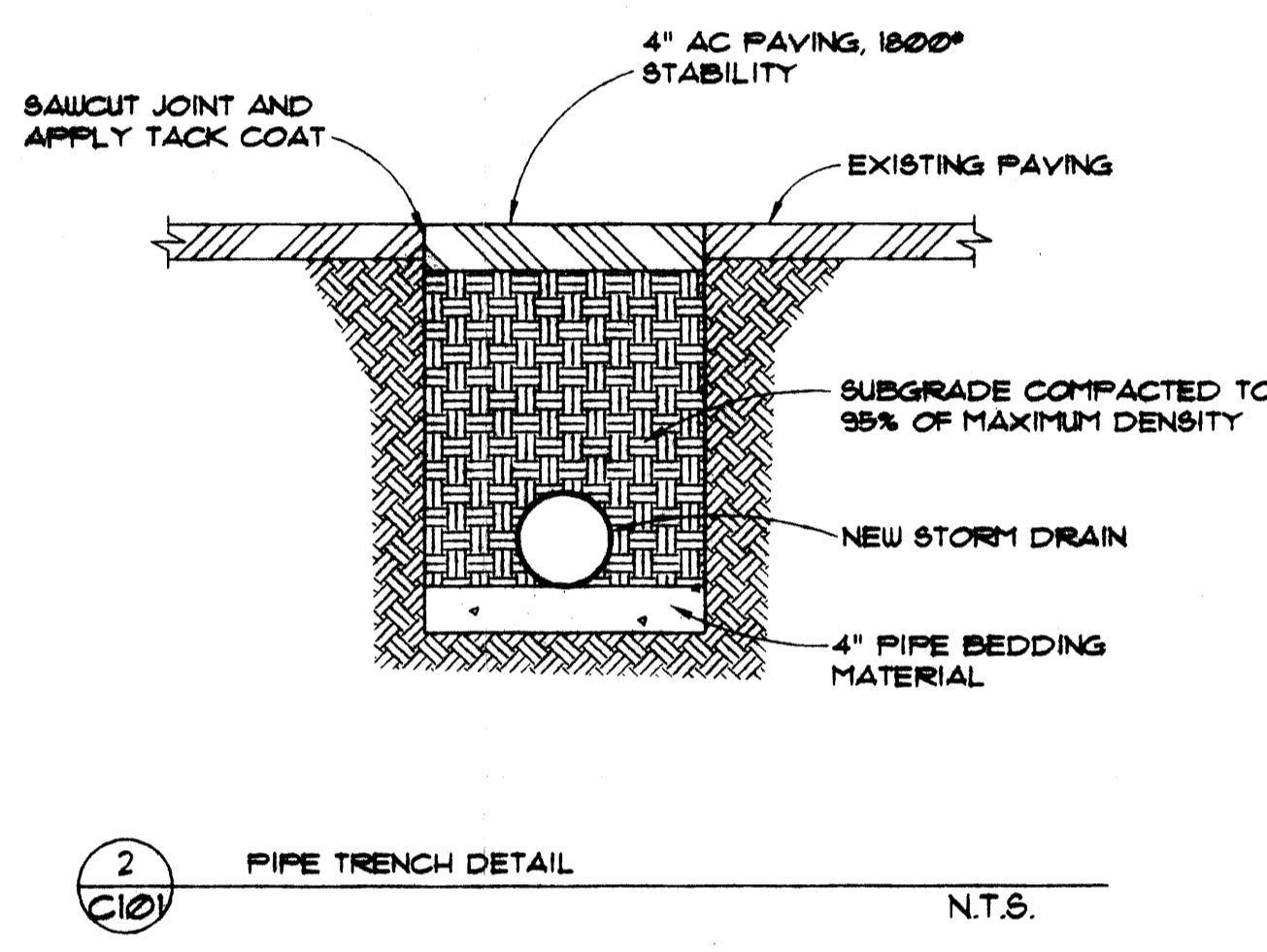
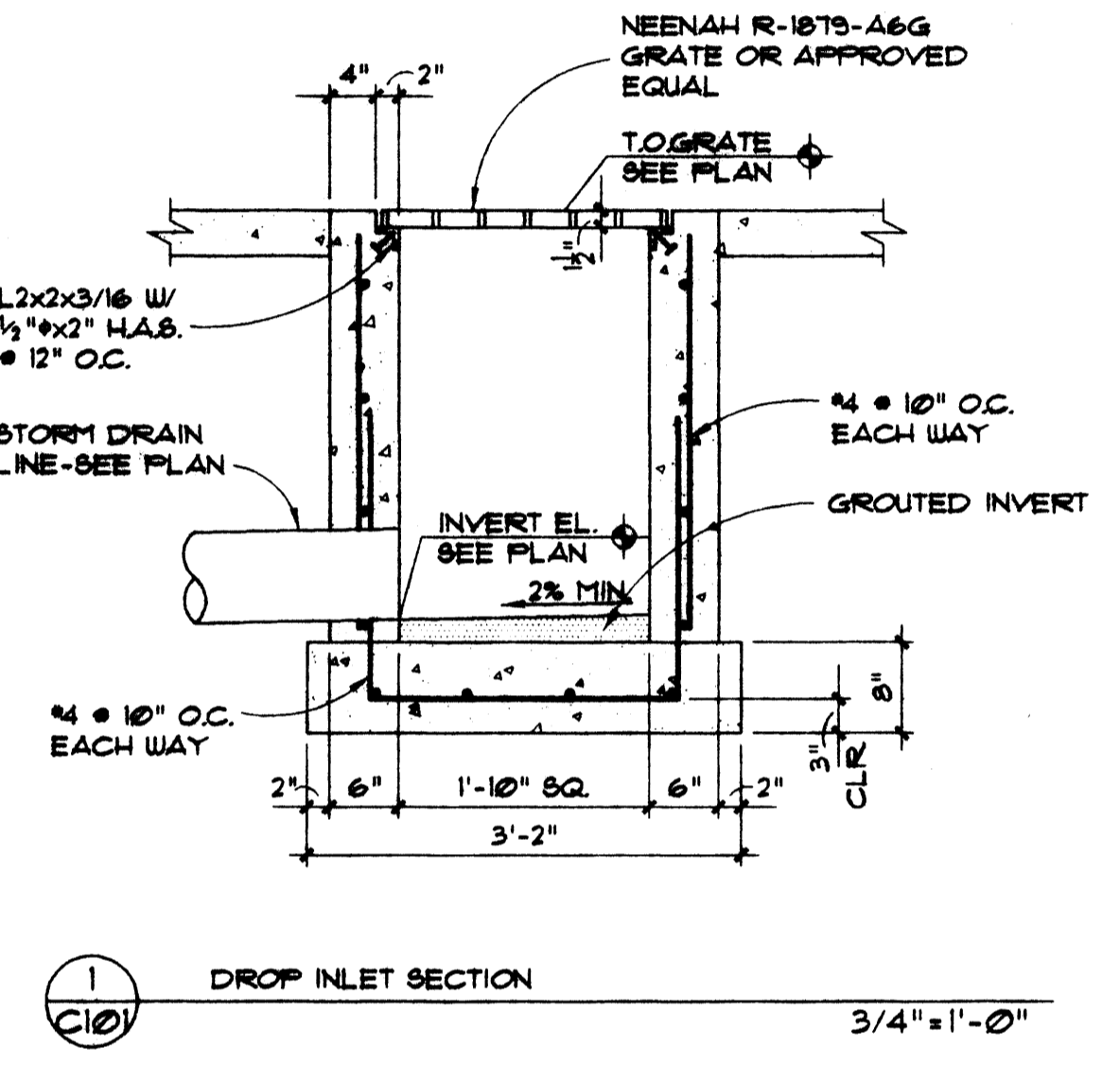
RECEIVED  
 NOV 27 2000  
 HYDROLOGY SECTION

### KEYED NOTES

1. CONSTRUCT CONCRETE RETAINING WALL PER 6/8-201 W/ 6" CURB AND HANDRAIL
2. DROP INLET PER DETAIL 1/C-101, TOP OF GRATE ELEV. = 50.00, INVERT ELEV. = 48.00
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### LEGEND

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- EXISTING SPOT ELEVATION
- FLOW DIRECTION ARROW
- FINISHED FLOOR
- TOP OF CONCRETE
- NEW CONCRETE PAVING
- FIELD VERIFY
- TOP OF ASPHALT



### DESIGN NARRATIVE

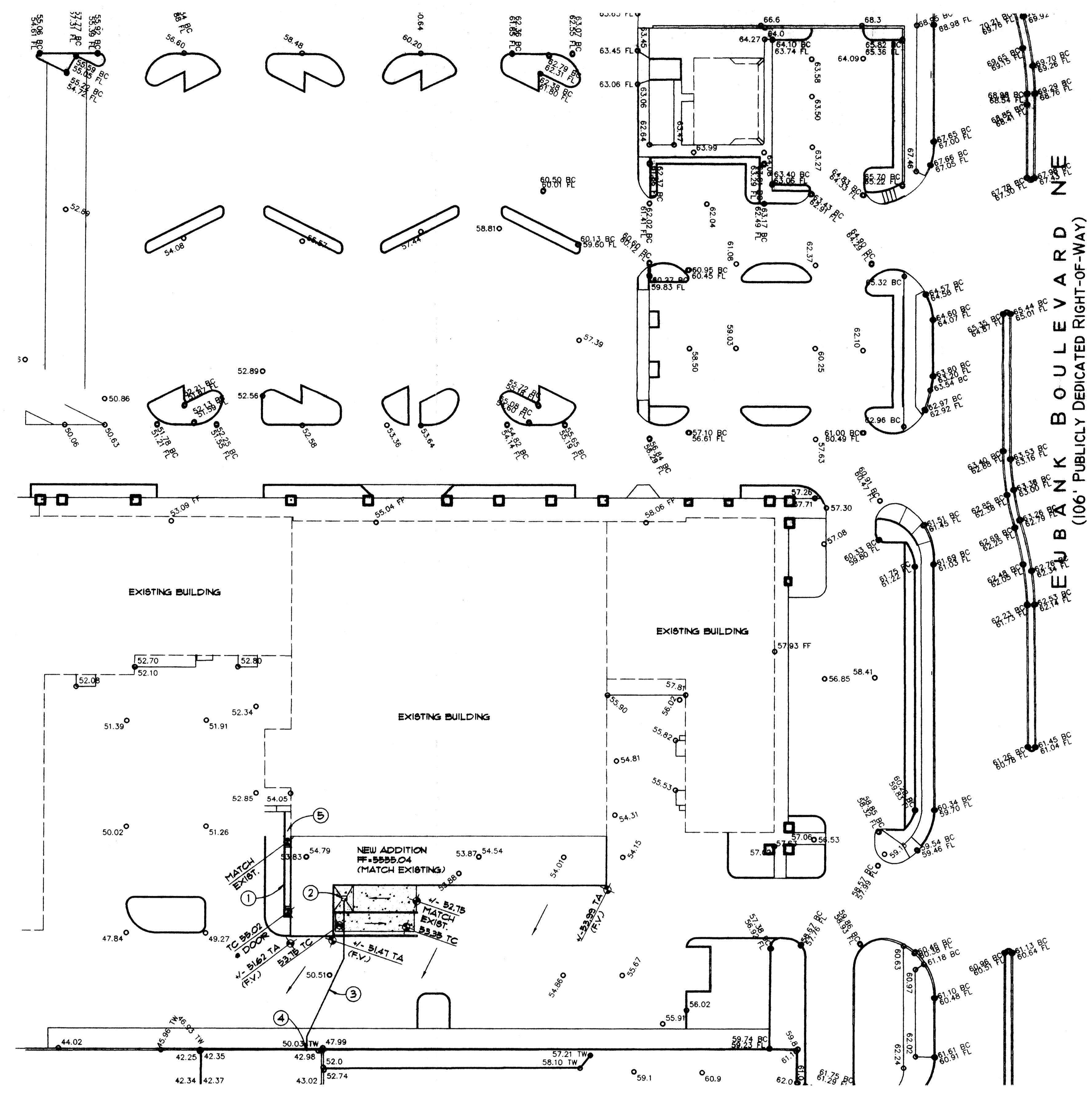
THIS PROJECT IS A 4500 SF ADDITION TO AN EXISTING BUILDING AT THE SIERRA VISTA SHOPPING CENTER. THE ADDITION AND ASSOCIATED RAMPS AND COMPACTOR PAD WILL REPLACE EXISTING PAVED SURFACES. THE EXISTING DRAINAGE PATTERN WILL REMAIN UNCHANGED. ALSO THE IMPROVEMENTS WILL NOT CHANGE THE EXISTING DEVELOPED FLOW VOLUMES.

### LEGAL DESCRIPTION

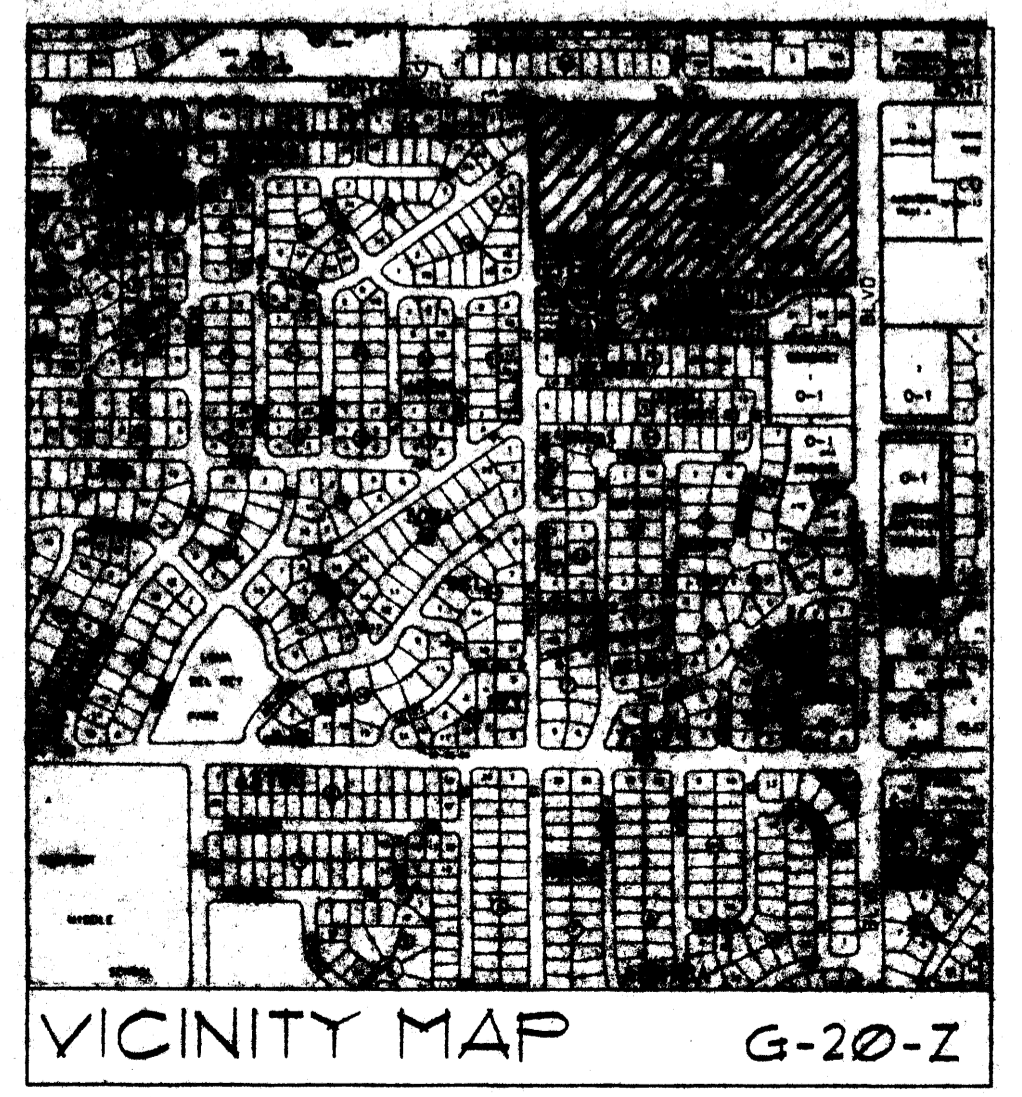
TRACTS A-3, B-2 & E, SIERRA VISTA SHOPPING CENTER SECTION 5, T. 10N, R. 4E, N1/4M CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

### PROJECT BENCHMARK

THE BASIS OF ELEVATIONS FOR THIS DRAWING IS ACS BENCHMARK 24-F21, THE UNPUBLISHED ELEVATION OF WHICH IS 9876.231 PER THE CITY SURVEYOR OF ALBUQUERQUE, NM, AND IS LOCATED IN THE NORTHEAST CORNER OF THE INTERSECTION OF EUBANK BOULEVARD NE WITH MONTGOMERY BOULEVARD NE



**A1 GRADING and DRAINAGE PLAN**  
 SCALE: 1"=30'



# SITE PLAN

## BELL ATLANTIC METRO MOBILE 4201 EUBANK BLVD. NE A PROPOSED CELLULAR TELEPHONE INSTALLATION

### A PORTION OF THE N.E.1/4, SECTION 5, T10N, R4E, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO

#### LEGAL DESCRIPTION

TWO PARCELS OF LAND BEING A PORTION OF TRACT LETTERED "A-3" OF THE REVISED AND AMENDED PLAT OF TRACTS "A-3," "B-2," AND "E," SIERRA VISTA SHOPPING CENTER, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 5, 1979, VOLUME D9, FOLIO 146, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

#### LEASE PARCEL 1

BEGINNING AT THE NEW MEXICO STATE PLANE COORDINATES X=415,083.46 AND Y=1,502,302.96; THENCE N 89°53'31" W 15.00 FEET TO A POINT; THENCE N 00°06'29" E 45.00 FEET TO A POINT; THENCE S 89°53'31" E 15.00 FEET TO A POINT; THENCE S 00°06'29" W 45.00 FEET ALONG THE WALL OF A BUILDING TO THE POINT OF BEGINNING MORE OR LESS.

#### LEASE PARCEL 2

BEGINNING AT THE NEW MEXICO STATE PLANE COORDINATES X=415,020.68 AND Y=1,502,315.70; THENCE N 00°14'36" E 10.00 FEET TO A POINT; THENCE S 89°45'24" E 20.00 FEET TO A POINT; THENCE S 00°14'36" W 10.00 FEET TO A POINT; THENCE N 89°45'24" W 20.00 FEET TO THE POINT OF BEGINNING MORE OR LESS.

#### DEVELOPER

BELL ATLANTIC METRO MOBILE  
8777 E VIA DE VENTURA, SUITE 250  
SCOTTSDALE, ARIZONA 85258  
PHONE: (602) 948-8543

#### UTILITIES

WATER	CITY OF ALBUQUERQUE
SEWER	CITY OF ALBUQUERQUE
GAS	GAS COMPANY OF NEW MEXICO
TELEPHONE	US WEST
ELECTRIC	PUBLIC SERVICE COMPANY OF NEW MEXICO
CABLE TELEVISION	JONES INTERCABLE

#### OWNER

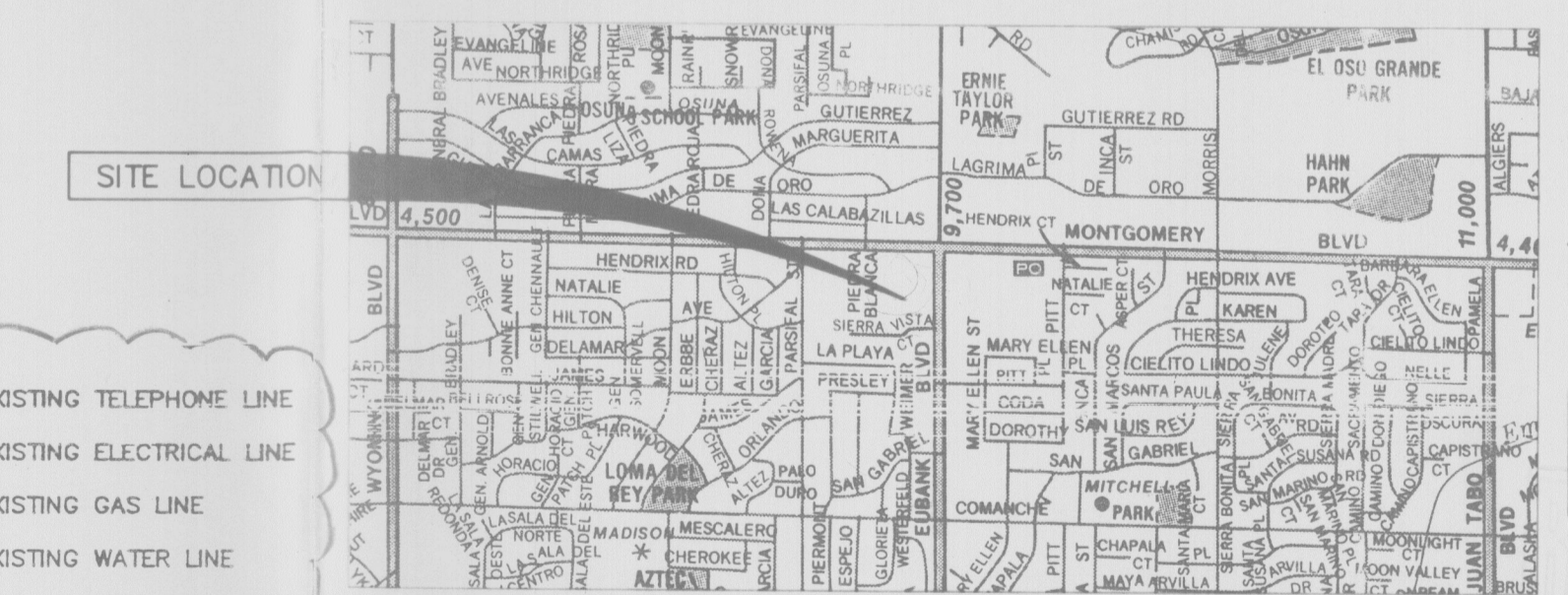
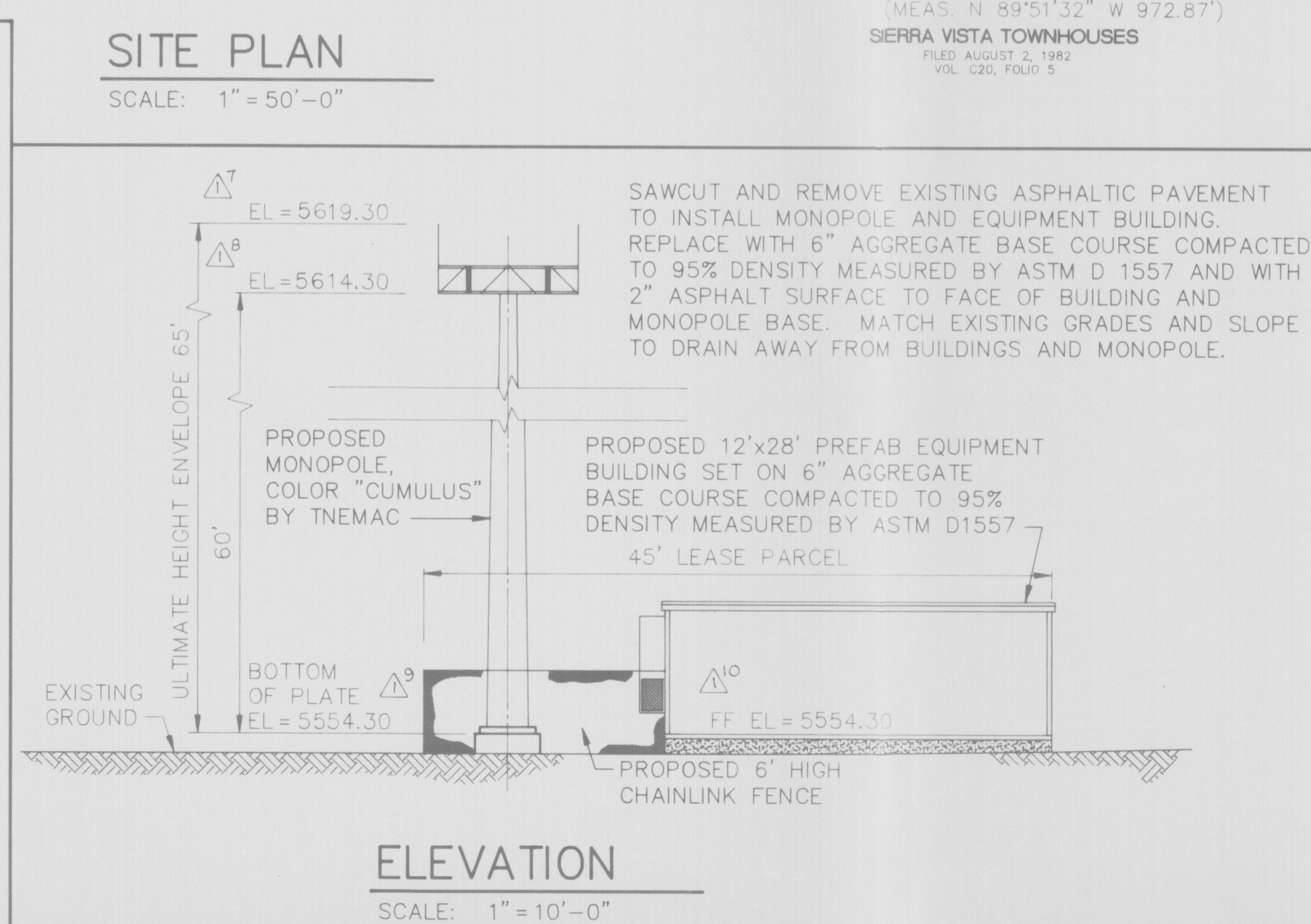
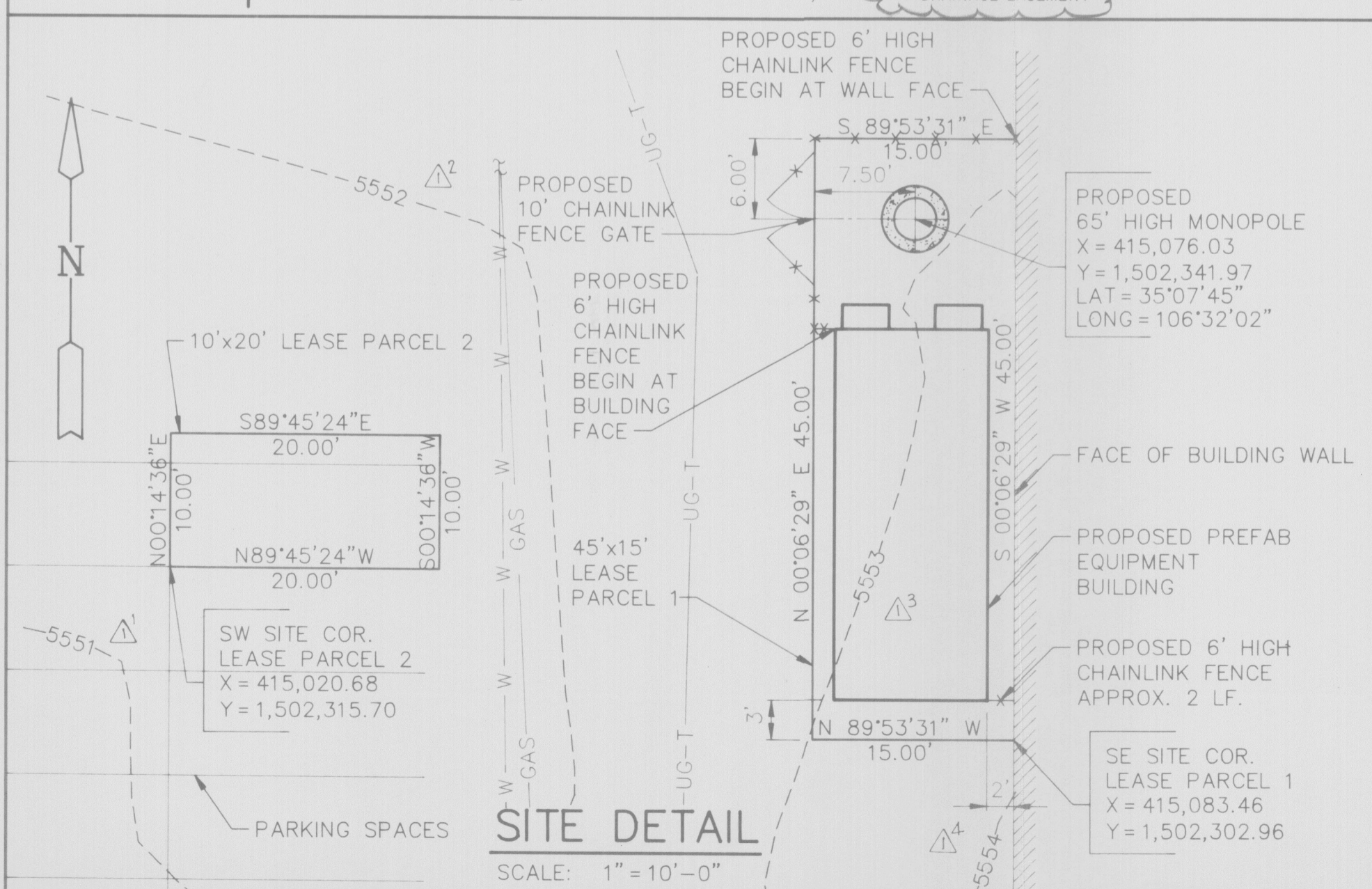
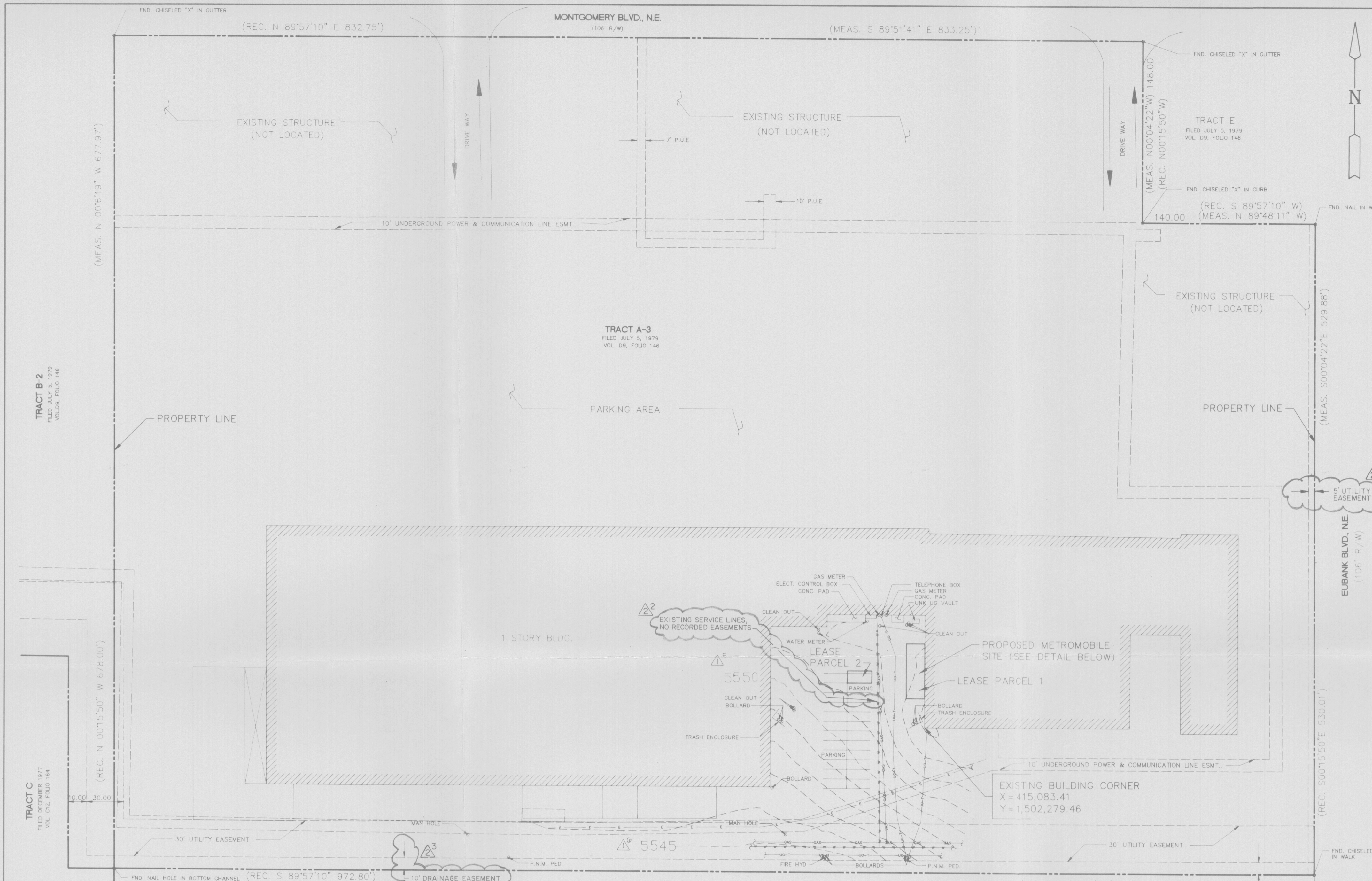
TRISIS TRUST EBA,  
SIERRA VISTA SHOPPING AND OFFICE CENTER  
AGENT -  
SENTINEL ASSOCIATES  
888 7<sup>TH</sup> AVENUE, SUITE 4500  
NEW YORK, NEW YORK 10106

#### SITE DATA

ZONED	C-2
BUILDING AREA	317 SF
LEASE AREA 1	675 SF
LEASE AREA 2	200 SF

#### NOTES

- SITE PLAN BASED ON RESULT OF SURVEY 9 FEB 93, COMMUNITY SCIENCES CORPORATION.
- BEARING BASE FOR SURVEY IS THE CITY OF ALBUQUERQUE CONTROL SYSTEM.
- COORDINATES SHOWN ARE NEW MEXICO STATE PLANE COORDINATE VALUES, CENTRAL ZONE, GROUND TO GRID FACTOR = 0.9996440. ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE. ALL DISTANCES ARE GROUND DISTANCES.
- ALL ITEMS SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. THIS SURVEY DOES NOT REFLECT ALL IMPROVEMENTS.



**CAS NUMBER: 1-93-83**

I certify that this area is zoned **C-2 (SC)** and that this plan is consistent with the specific **ITEM DEVELOPMENT PLAN** approved by the Environmental Planning Commission (EPC) on **April 14, 1993** and that the findings in the Official Notice have been complied with.

SITE DEVELOPMENT PLAN	Date
Traffic Engineer, Transportation Division	Date
Parks and Recreation Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division/AM/PCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque/Bernalillo County Planning Division Date

PLN2 (10706)

**VICINITY MAP**  
SCALE: NONE

0 25' 50' 100' 150'  
1" = 50'-0" SITE PLAN  
0 5' 10' 20' 30'  
1" = 10'-0" DETAIL, ELEVATION

REVISION	DATE	DESCRIPTION
4	9-27-93	REVISED EASEMENT INFORMATION
10	3-8-93	REVISED ELEVATIONS ACCORDING TO ACS CAP ELEV.

**ALBUQUERQUE, NEW MEXICO**

**BELL ATLANTIC METRO MOBILE**

<b>LEEDSHILL - HERKENHOFF, INC.</b> ENGINEERS ARCHITECTS	QA RELEASE
	DESIGN BY FGL
<b>LH PROJECT MANAGER</b>	CHECKED BY SMA
	DRAWN BY MRL
<b>1 OF 1</b>	SCALE AS SHOWN
	DATE FEB, 1993
	SEQUENCE NO. -