CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

January 6, 2025

Graeme Means, P.E.
High Mesa, a Bowman Company
6010-B Midway Park Blvd NE
Albuquerque, NM 87109

RE: Presbyterian Medical Group Montgomery Building Addition
Grading and Drainage Plan
Engineer's Stamp Date: 12/23/2024
Hydrology File: G20D004A

Dear Mr. Means:

Based upon the information provided in your submittal received 12/23/2024, the Grading and Drainage Plans are approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Presbyterian Medical Gourp Montogmery Building Addition Hydrology File # G20/D004
Legal Description: Tract A-1, Montgomery Crossing Addition, Phase 3
City Address, UPC, OR Parcel: 8800 Montgomery NE

Applicant/Agent: High Mesa, a Bowman Company Contact: Graeme Means, PE
Address: 6010-B Midway Park Blvd NE Phone: 505-328-9064
Email: gmeans@bowman.com

Applicant/Owner: Presbyterian Healthcare Servcies Contact: Eric Cornish
Address: PO Box 26666, Albuquerque, NM 87125 Phone: 505-923-6101
Email: ecornish@phs.org

TYPE OF DEVELOPMENT: ☐ Plat (# of lots) _____ ☐ Single Family Home
☑ All other Developments

RE-SUBMITTAL: ☐ YES ☑ NO

DEPARTMENT: ☐ TRANSPORTATION ☑ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

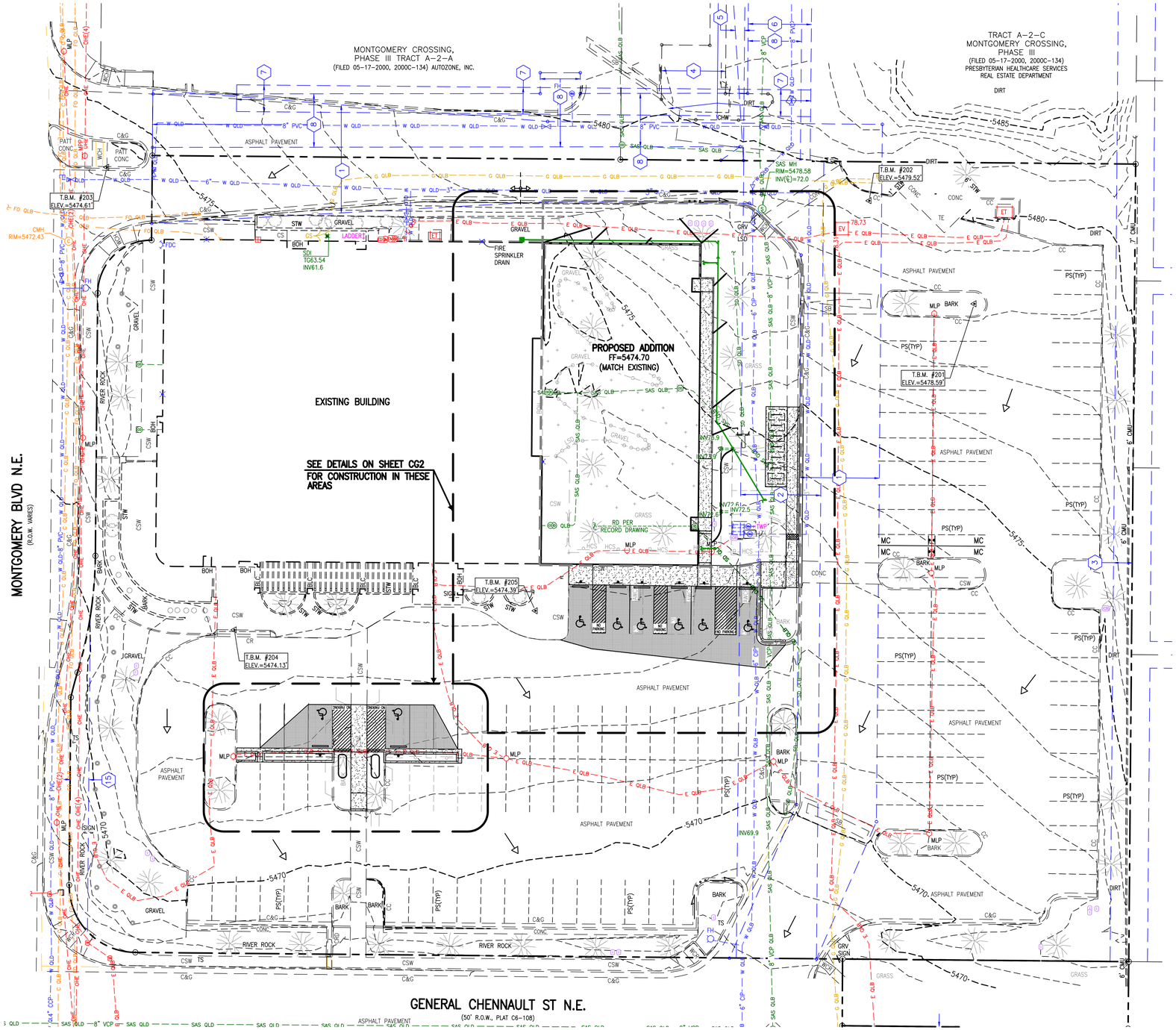
- ☐ Engineering / Architect Certification
- ☐ Conceptual Grading & Drainage Plan
- ☑ Grading & Drainage Plan, and/or Drainage Report
- ☐ Drainage Report (Work Order)
- ☐ Drainage Master Plan
- ☐ Conditional Letter of Map Revision (CLOMR)
- ☐ Letter of Map Revision (LOMR)
- ☐ Floodplain Development Permit
- ☐ Traffic Circulation Layout (TCL) – Administrative
- ☐ Traffic Circulation Layout (TCL) – DFT Approval
- ☐ Traffic Impact Study (TIS)
- ☐ Street Light Layout
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☐ Pad Certification
- ☑ Building Permit
- ☐ Grading Permit
- ☐ Paving Permit
- ☐ SO-19 Permit
- ☐ Foundation Permit
- ☐ Certificate of Occupancy - ☐ Temp ☐ Perm
- ☐ Preliminary / Final Plat
- ☐ Site Plan for Building Permit - DFT
- ☐ Work Order (DRC)
- ☐ Release of Financial Guarantee (ROFG)
- ☐ CLOMR / LOMR
- ☐ Conceptual TCL - DFT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12/23/2024

REV. 04/03/24



EASEMENTS

1. PUBLIC DRAINAGE AND CROSS ACCESS EASEMENT GRANTED BY DOCUMENT FILED 05-07-1991, BOOK 91-7, PAGE 8871, DOC. #91035653
2. 30' UTILITY AND DRAINAGE EASEMENT GRANTED BY PLAT C35-152 (OFFSITE)
3. 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT C9-6
4. APPROXIMATE LOCATION OF PRIVATE UNDERGROUND DRAINAGE VAULT EASEMENT GRANTED BY PLAT 2000C-134
5. APPROXIMATE LOCATION OF PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT 2000C-134
6. APPROXIMATE LOCATION OF PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT C5-185
7. APPROXIMATE LOCATION OF 10' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 91C-6
8. APPROXIMATE LOCATION OF PUBLIC WATERLINE EASEMENT GRANTED BY PLAT 2000C-134
15. 7' PNM EASEMENT GRANTED BY DOCUMENT FILED 05-02-1974, BOOK MISC. 87, PAGE 827, DOC. #1974006982

SCALE: 1" = 20'

LEGAL DESCRIPTION

TRACT A-1, MONTGOMERY CROSSING ADDITION, PHASE 3, ALBUQUERQUE, NEW MEXICO

C.O.A. BENCHMARK #12-F20A (P.B.M.)

AN AGRS BRASS DISK STAMPED "12-F20A", SET FLUSH WITH THE TOP OF A CONCRETE CURB, ON THE NOSE OF AN ISLAND IN THE CENTER OF MONTGOMERY BLVD. JUST WEST OF THE INTERSECTION OF DONA MARGUERTA AVENUE AND MONTGOMERY BOULEVARD.

MODIFIED GROUND COORDINATES:	PUBLISHED GROUND COORDINATES:
NORTHING = 1,502,976.13 FEET	NORTHING= 1,502,0975.99 FEET
EASTING = 1,553,978.64 FEET	EASTING = 1,553,977.87 FEET
ELEVATION = 5527.68 FEET (NAVD 1988)	ELEVATION= 5527.72 FEET (NAVD 1988)

PROJECT BENCHMARK #201 (P.B.M.)

A #5 REBAR W/CAP STAMPED "HMCG CONTROL NMPS 15075", SET IN GRAVEL IN A CONCRETE CURB ISLAND NEAR THE SOUTHEAST CORNER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET.
MODIFIED GROUND COORDINATES:
NORTHING = 1,502,590.40 FEET
EASTING = 1,552,147.88 FEET
ELEVATION = 5478.59 FEET (NAVD 1988)

TEMPORARY BENCHMARK #202 (T.B.M.)

A MAG NAIL W/WASHER, SET IN ASPHALT PAVEMENT NEAR THE SOUTHEAST CORNER OF THE PROJECT SITE NORTH OF THE TRASH ENCLOSURE, AS SHOWN ON THIS SHEET.
MODIFIED GROUND COORDINATES:
NORTHING = 1,502,629.75 FEET
EASTING = 1,552,186.57 FEET
ELEVATION = 5479.52 FEET (NAVD 1988)

TEMPORARY BENCHMARK #203 (T.B.M.)

A MAG NAIL W/WASHER, SET AT THE BACK OF A CONCRETE CURB NEAR THE NORTHEAST CORNER OF THE PROJECT SITE, AS SHOWN ON THIS SHEET.
MODIFIED GROUND COORDINATES:
NORTHING = 1,502,915.27 FEET
EASTING = 1,552,199.10 FEET
ELEVATION = 5474.61 FEET (NAVD 1988)

TEMPORARY BENCHMARK #204 (T.B.M.)

A MAG NAIL W/WASHER, SET AT THE BACK OF A MOUNTABLE CONCRETE CURB WEST OF THE MAIN BUILDING, AS SHOWN ON THIS SHEET.
MODIFIED GROUND COORDINATES:
NORTHING = 1,502,867.55 FEET
EASTING = 1,552,025.83 FEET
ELEVATION = 5474.13 FEET (NAVD 1988)

TEMPORARY BENCHMARK #205 (T.B.M.)

A MAG NAIL W/WASHER, SET IN CONCRETE SIDEWALK JOINT WEST OF THE MAIN BUILDING, AS SHOWN ON THIS SHEET.
MODIFIED GROUND COORDINATES:
NORTHING = 1,502,754.78 FEET
EASTING = 1,552,032.99 FEET
ELEVATION = 5474.39 FEET (NAVD 1988)

CONSTRUCTION NOTES:

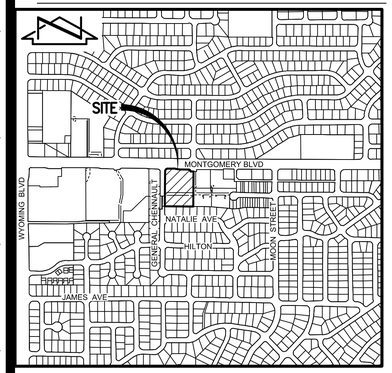
1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR APPROVED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-2020 EDITION (JUNE 2020).
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING PUBLIC UTILITIES AND EXISTING UTILITIES OWNED AND OPERATED BY ALBUQUERQUE PUBLIC SCHOOLS.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 06/17/2024. THAT UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUES, NEW MEXICO EXCAVATION LAWS (NMB11), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.
6. ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE AND / OR UNUSED AS A RESULT OF THIS PROJECT SHALL NOT BE ABANDONED IN PLACE, BUT SHALL INSTEAD BE COMPLETELY REMOVED WITHIN THE PROJECT AREA AND CAPPED AT THE PROJECT LIMITS, UNLESS OTHERWISE NOTED.
7. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
8. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.
9. ALL KNOWN EXISTING UTILITIES ARE SHOWN HEREON FOR REFERENCE AND INFORMATION. ALTHOUGH REMOVALS OF CONFLICTING UTILITIES MAY BE ACCOUNTED FOR BY OTHER SHEETS AND OTHER DISCIPLINES, THEY ARE SHOWN HEREON TO HELP PREVENT INADVERTENT DAMAGE AND INFORM THE GENERAL CONTRACTOR OF UTILITIES THAT MAY NOT HAVE BEEN OTHERWISE ACCOUNTED FOR.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 01-06-2025
BY:
HydroTrans # G20D004A

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY FROM REQUIRING THE CORRECTION OF ERRORS, CORRECTION, OR ERROR OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

Kevin Georges & Associates
Architecture & Planning
214 Truman Street NE – Albuquerque, New Mexico 87108-1333 505/255-4975



VICINITY MAP F-20 & G-20
SCALE: 1" = 750'

FIRM 143 of 750 PANEL
SCALE: 1" = 500'

2024.055.3

HIGH MESA a Bowman company
6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com

100% Construction Documents

PMG Montgomery

8800 Montgomery Boulevard NE
Albuquerque, New Mexico
Presbyterian Project No. 01.MP60287

Project Title

Drawn By J.Y.R. Checked By G.M.
Proj. No. 2023.05 Date 12-23-2024

J. GRAEME MEANS NEW MEXICO 13676 REGISTERED PROFESSIONAL ENGINEER 12/23/2024

Revisions Architect Engineer

OVERALL SITE GRADING PLAN

CG1

Sheet Title Sheet 7 of 65

File Name: Q:\NM-ALBQ-HM\Data\data\2024\2024.055.3\ENG\240553_Design Base.dwg - CG1 Plot Date: 12/19/24 Plot Time: 15:38

LEGEND

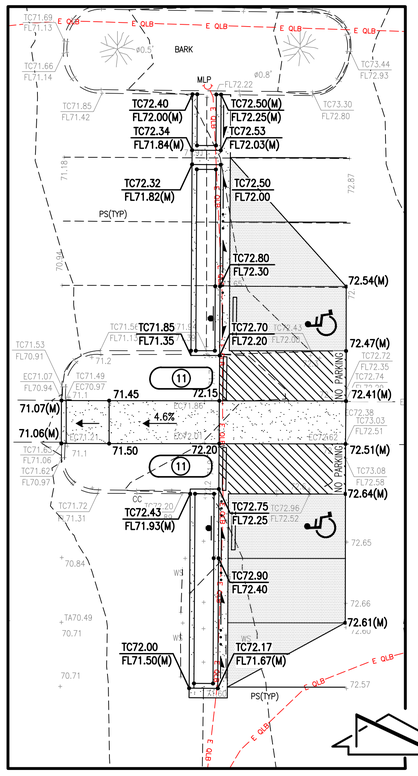
ASPH	ASPHALT	SB	SPEED BUMP	MPP	METAL POWER POLE	+ 78.10	EXISTING SPOT ELEVATION
AWCR	ASPHALT WHEELCHAIR RAMP	SD	STORM DRAIN		SAS SINGLE CO	• 78.70	PROPOSED SPOT ELEVATION
BLC	BUILDING COLUMN	SDI	STORM DRAIN INLET	S	SAS MANHOLE		EXISTING FLOWLINE
BOH	BUILDING OVERHANG	STW	STUCCO WALL	SD	SD CO		PROPOSED FLOWLINE
BIKE	BIKE RACK	SWC	SIDEWALK CULVERT	SD	SD MANHOLE	5145	EXISTING CONTOUR
BENCH	CONCRETE BENCH	TA	TOP OF ASPHALT	RD	ROOF DRAIN	20	PROPOSED CONTOUR
C	COMMUNICATION	TC	TOP OF CURB		METAL SIGN GENERAL		EXISTING DIRECTION OF FLOW
CC	CONCRETE CURB	TCO	TOP OF CONCRETE		TRAFFIC CONTROL BOX		PROPOSED DIRECTION OF FLOW
CCP	CONCRETE CYLINDER PIPE	TE	TRASH ENCLOSURE		TRAFFIC CONTROL CABINET		RIGHT OF WAY LINE
CHW	CONCRETE HEADER WALL	TG	TOP OF GRATE		TRAFFIC MAST ARM		PUBLIC EASEMENT LINE
CLD	CENTERLINE OF DOOR	TS	TRAFFIC SIGN		TRAFFIC PULL BOX		HIGH POINT / DIVIDE
CLDD	CENTER LINE OF DOUBLE DOOR	TW	TOP OF WALL		TRAFFIC SIGNAL		PROPOSED CONCRETE
CMU	CONCRETE MASONRY UNIT	TYP	TYPICAL	PIV	POST INDICATOR VALVE		PROPOSED ASPHALT PAVING
CONC	CONCRETE	VG	CONCRETE VALLEY GUTTER		WATER FAUCET		PROPOSED LANDSCAPE AREA
CR	CONCRETE RAMP	VCP	VITRIFIED CLAY PIPE		WATER FOUNTAIN		PROPOSED GRAVEL BASE COURSE
CRD	CONCRETE RUNDOWN	WCR	WHEELCHAIR RAMP		WATER HOT BOX		PROPOSED RETAINING WALL
CS	CONCRETE STEPS WITH METAL HANDRAIL	WHB	WATERLINE HOTBOX		WATER METER BOX		
		WS	WHEEL STOP		WATER VALVE BOX		
CSW	CONCRETE SIDEWALK		COMM CONDUIT	FDC	FIRE DEPT CONNECTION		
EA	EDGE OF ASPHALT		COMM MANHOLE	FH	FIRE HYDRANT		
EC	EDGE OF CONCRETE		ELEC DISCONNECT SWITCH		LANDSCAPE ROCK/BOULDER		
ET	ELECTRIC TRANSFORMER		ELEC DISTRIBUTION PANEL		XERISCAPE PLANT		
EV	ELECTRIC VAULT		ELEC JUNCTION BOX	1.2'ø	DECIDUOUS TREE AND DIAMETER		
FL	FLOWLINE		ELEC METER				
GA	GATE		ELEC OUTLET		SHRUB		
GRV	GRAVEL		BOLLARD FENCE		SMALL SHRUB		
HCS	HANDICAP SIGN		GUARD POST				
INV	INVERT ELEVATION		GATEPOST		**INV**	**INVERT**	
LSD	LANDSCAPE DIVIDER		FENCE		**TA**	**TOP OF ASPHALT PAVEMENT**	
MH	MANHOLE		GAS LINE SERVICE		**TC**	**TOP OF CURB**	
OHE(2)	OVERHEAD ELECTRIC (# OF LINES)		GAS METER		**TG**	**TOP OF GRATE**	
PI	PAINTED ISLAND		GAS MANHOLE	GS			
PS	PARKING STRIPE		GAS SERVICE	GS			
PVC	POLYVINYL CHLORIDE		IRR CONTROL BOX				
SAS	SANITARY SEWER		IRR VALVE BOX	MLP			
			METAL LIGHT POLE				

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 11 DEC 2025
BY: [illegible]
Hydrology Section

APPROVAL OF GRADING & DRAINAGE PLAN SHALL EXPIRE TWELVE YEARS AFTER THE APPROVAL DATE IF THE CITY OF NO BUILDING PERMIT HAS BEEN ISSUED FOR THE DEVELOPMENT.

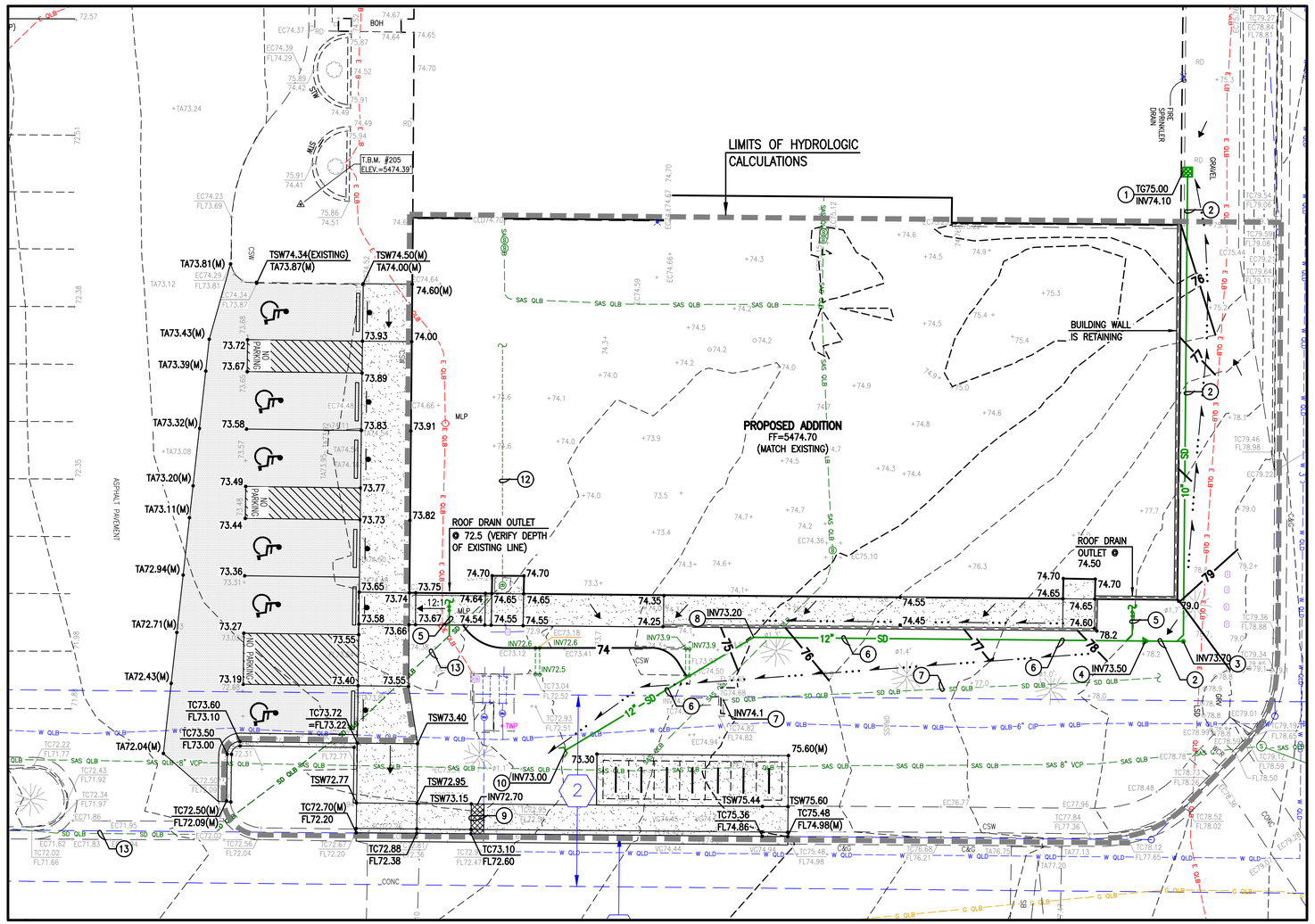
KEYED NOTES:

1. INSTALL STORM DRAIN INLET PER TYPICAL SECTION, SHEET CG3
2. INSTALL 10" HDPE STORM DRAIN
3. INSTALL 10" WYE WITH CLEANOUT TO GRADE
4. INSTALL 10"x12" REDUCER AND 12"x8"WYE
5. EXTEND 8" ROOF DRAIN TO BUILDING AND CONNECT TO 6" PRIMARY AND OVERFLOW ROOF DRAINS. SEE SHEET P3 FOR DOUBLE CLEANOUT AND CONTINUATION.
6. INSTALL 12" HDPE STORM DRAIN
7. EXISTING POND OVERFLOW LINE TO REMAIN
8. INSTALL 12" BEND
9. INSTALL 24" SIDEWALK CULVERT
10. INSTALL 12" END SECTION
11. CONSTRUCT DEPRESSION IN LANDSCAPING
12. REMOVE AND DISPOSE OF EXISTING ROOF DRAIN LINE
13. EXISTING ROOF DRAIN LINE DOWNSTREAM OF NEW CONNECTION TO REMAIN



GRADING DETAIL (WEST PARKING LOT)

SCALE: 1" = 10'



GRADING PLAN DETAIL (ADDITION AREA)

SCALE: 1" = 10'

NOTE:
THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT-OF-WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES.
THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON A BOUNDARY SURVEY PREPARED BY HIGH MESA, A BOWMAN COMPANY, NMPS 15075, DATED 06/17/2024 (2024.055.2). THE TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY HIGH MESA, A BOWMAN COMPANY, NMPS NO. 15075, DATED 06/17/2024 (2024.055.2).

Kevin Georges & Associates
Architecture & Planning
214 Truman Street NE – Albuquerque, New Mexico 87108–1333 505/255–4975

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2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT–OF–WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 06/17/2024. THAT UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL–INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED–IN–PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.
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2024.055.3

HIGH MESA a Bowman company
6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com

100% Construction Documents

PMG Montgomery
8800 Montgomery Boulevard NE
Albuquerque, New Mexico
Presbyterian Project No. 01.MP60287

Project Title

Drawn By J.Y.R. Checked By G.M.
Proj. No. 2023.05 Date 12-23-2024

J. GRAEME MEANS NEW MEXICO 13676 REGISTERED PROFESSIONAL ENGINEER 12/23/2024

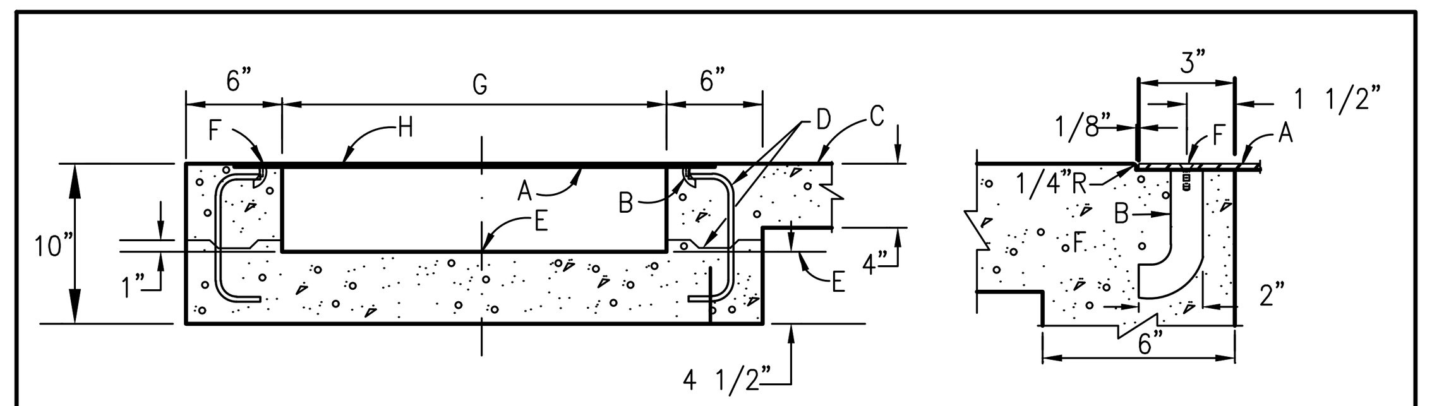
Revisions Architect Engineer

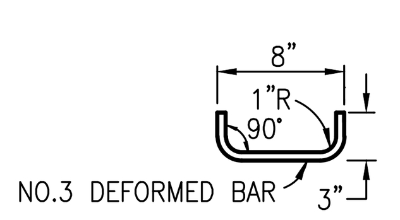
ENLARGED GRADING PLAN

CG2

Sheet Title Sheet 8 of 65

File Name: Q:\NM-ALBQ-HMD\data\data\2024\2024.055.3\ENG\240553_Design Base.dwg - CG2 Plot Date: 12/23/24 Plot Time: 14:09





DOWEL DETAIL

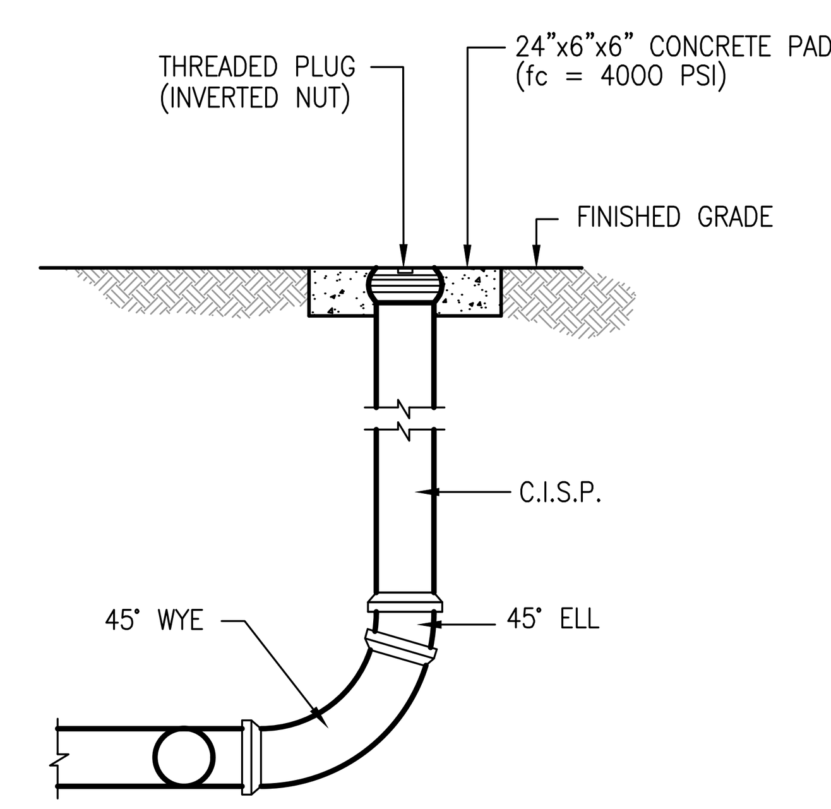
SCALE: 1" = 1'

CONSTRUCTION NOTES:

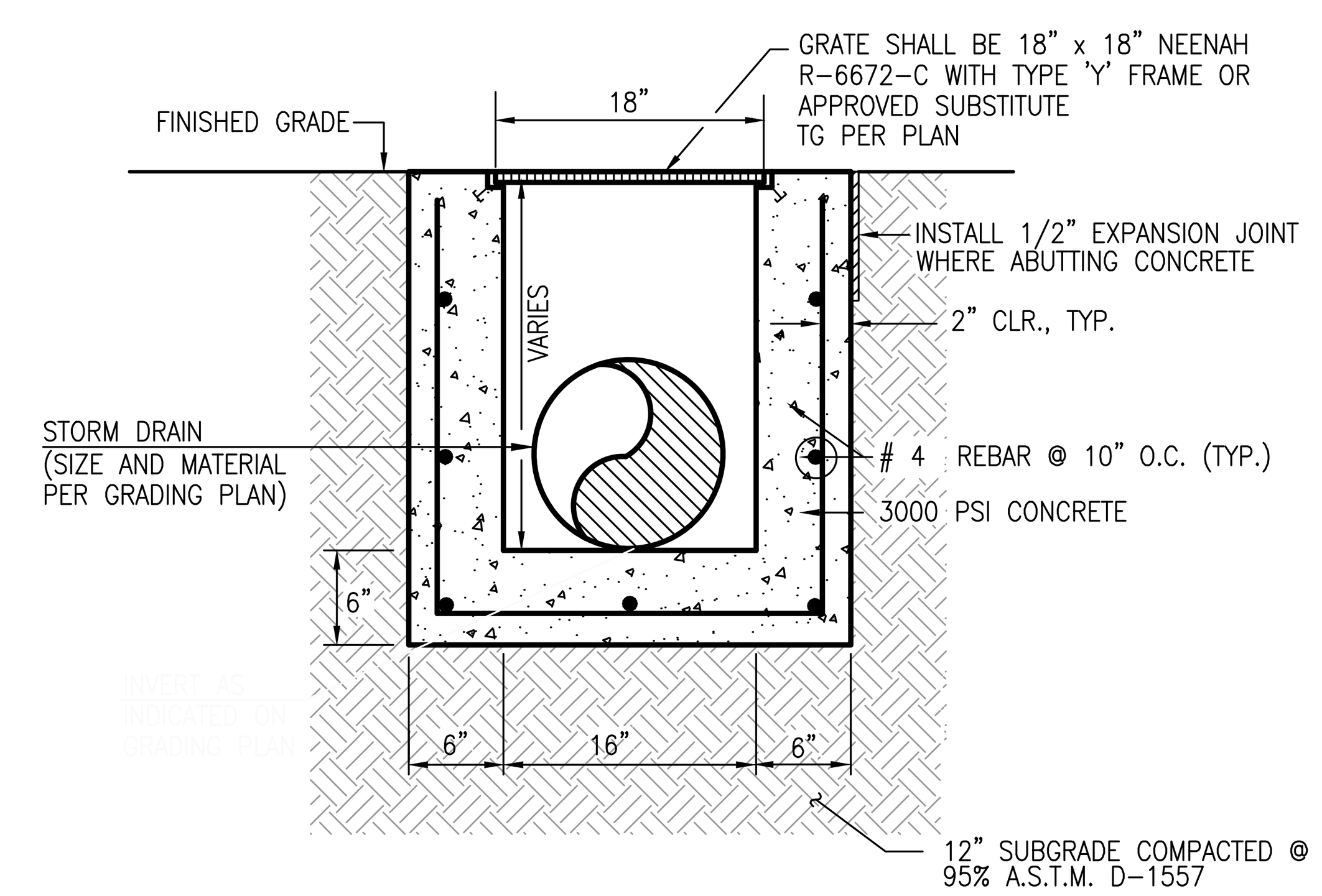
A. 3/8" CHECKERED STEEL PLATE.
B. ROD ANCHOR 1" x 5"
C. SIDEWALK GRADE
D. DOWEL AND JOINT, (OPTIONAL).
E. GUTTER FLOWLINE ELEV.
F. 3/8" x 1" F.H. C'SUNK STAINLESS STEEL MACHINE SCREW.
G. DRAIN WIDTH, 24" MAX. 12" MIN.
H. AFTER CLEANING SURFACE OF SCALE, RUST, OILS, ETC., PAINT GRATE WITH ONE SHOP COAT RED OXIDE, TWO FINISH COATS OF ALUMINUM PAINT (AASHTO M 69).

SIDEWALK CULVERT SECTION

SCALE: 1" = 2"



TYPICAL SINGLE CLEANOUT SECTION



TYPICAL 18"X18" STORM INLET SECTION

SCALE: 1" = 1' – 0"

DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THE EXISTING PRESBYTERIAN MEDICAL GROUP CLINIC IS LOCATED AT 8800 MONTGOMERY NE AT THE SOUTHEAST CORNER OF MONTGOMERY BLVD NE AND GENERAL CHENNAULT STREET NE. THE ORIGINAL SITE WAS CONSTRUCTED IN 1992, AND PRESBYTERIAN NOW PROPOSES TO CONSTRUCT A BUILDING ADDITION THAT WAS SHOWN AS FUTURE ON THE ORIGINAL GRADING AND DRAINAGE PLAN. THIS GRADING AND DRAINAGE PLAN HAS BEEN PREPARED TO SUPPORT BUILDING PERMIT APPROVAL FOR THE PROPOSED BUILDING ADDITION.

II. PROJECT DESCRIPTION

THE EXISTING LEGAL DESCRIPTION IS TRACT A-1, MONTGOMERY CROSSING ADDITION, PHASE 3. THE SITE IS CURRENTLY DEVELOPED AS A MEDICAL OFFICE AND CLINIC. THE SITE IS NOT ENCUMBERED BY A MAPPED FLOOD HAZARD ZONE, BUT A PORTION OF THE SITE DOES DRAIN TO MONTGOMERY BLVD NE THAT HAS A ZONE AO (DEPTH 1 FT) DESIGNATION.

III. EXISTING CONDITIONS

THE EXISTING SITE DRAINS FROM EAST TO WEST ACROSS PAVED SURFACES AND DISCHARGES DIRECTLY TO GENERAL CHENNAULT ST NE. THE ORIGINAL SITE CONSTRUCTION WAS SUPPORTED BY THE GRADING AND DRAINAGE PLAN PREPARED BY BPLW (G20/D004A, ENGINEER'S STAMP DATED 3/18/1991). THAT PLAN WAS APPROVED FOR FREE DEVELOPED DISCHARGE FROM TRACT A-1 AT A RATE OF 4.0 CFS PER ACRE WITH 78% IMPERVIOUS AREA THAT INCLUDED A PROPOSED FUTURE ADDITION. THAT ORIGINAL PLAN ALSO INCLUDED A MASTER DRAINAGE PLAN FOR THE UPSTREAM PROPERTIES THAT IMPOSED A DETENTION REQUIREMENT WITH CONTROLLED DISCHARGE TO TRACT A-1. THE OUTFALL PIPE FOR THAT DETENTION FACILITY CURRENTLY DISCHARGES ONTO THE SITE AS SHOWN BY KEYED NOTE 7 ON SHEET CG2.

IV. DEVELOPED CONDITIONS

A NEW BUILDING ADDITION IS PROPOSED TO EXPAND THE EXISTING BUILDING TO THE SOUTH AS WAS PROVIDED FOR AND ANTICIPATED BY THE 1991 PLANS. AS PART OF THIS PROJECT, PORTIONS OF THE EXISTING PARKING LOT WILL BE REMOVED AND REPLACED TO PROVIDE ACCESSIBLE PARKING SPACES MEETING ADA SLOPE CRITERIA. NO OTHER SITE CHANGES ARE PROPOSED. OFFSITE FLOWS WILL CONTINUE TO BE ACCEPTED AND THE ESTABLISHED DRAINAGE CONCEPT OF FREE DISCHARGE TO THE EXISTING PARKING LOT PAVEMENT WILL BE MAINTAINED. DUE TO THE LIMITED SITE AREA AND ESTABLISHED VEGETATION, THIS PROJECT PROPOSES PAYMENT-IN-LIEU OF MEETING STORMWATER QUALITY REQUIREMENTS.

V. CALCULATIONS

CALCULATIONS ANALYZING THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100 YEAR, 6-HOUR RAINFALL EVENT HAVE BEEN PREPARED FOR THE PORTION OF THE SITE BEING IMPACTED BY THIS PROJECT. THE DPM PROCEDURE FOR 40 ACRE AND SMALLER BASINS, AS SET FORTH IN DPM 6-2(A) HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED. AS SHOWN BY THE CALCULATIONS, THE PROPOSED IMPROVEMENTS WILL RESULT IN A MINOR INCREASE IN 100-YEAR RUNOFF VOLUME OF 760 CF AND A 0.2 CFS INCREASE IN THE PEAK RATE OF RUNOFF. SWQV CALCULATIONS FOR A REDEVELOPMENT SITE HAVE BEEN PERFORMED AND THE SWQV OF 180 CF WILL BE ADDRESSED VIA PAYMENT IN LIEU.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

CALCULATIONS

I. **SITE CHARACTERISTICS**

A. PRECIPITATION ZONE = **3**

B. $P_{100,\ 6\ HR}$ = P_{360} = **2.43** **IN**

C.

TOTAL PROJECT AREA (A_T) =	12,898	SF
	0.30	**AC**

D. LAND TREATMENTS

1.

EXISTING LAND TREATMENT				PROPOSED LAND TREATMENT			
BASIN 1	12,898	**SF**		**BASIN 1**	12,898	**SF**	
	0.30	**AC**			**0.30**	**AC**	
LAND TREATMENT	**AREA (SF/AC)**		**%**	**LAND TREATMENT**	**AREA (SF/AC)**		**%**
A				A			
B				B			
C	10,843	SF	84%	C	4,655	SF	36%
	0.25	**AC**			**0.11**	**AC**	
D	2,127	SF	16%	D	8,243	SF	64%
	0.05	**AC**			**0.19**	**AC**	

II. **HYDROLOGY**

A. **EXISTING CONDITION 100 YEAR STORM**

1. **BASIN 1**

a. VOLUME 100-YR, 6-HR

$WT_E = (E_A \cdot A_A + E_B \cdot A_B + E_C \cdot A_C + E_D \cdot A_D)/A_T$

$\Rightarrow (0.67 \cdot 0.00) + (0.86 \cdot 0.00) + (1.09 \cdot 0.25) + (2.58 \cdot 0.05)/0.30 =$ **1.33 IN**

$V_{100,6\ HR} = (E_W/12) \cdot A_T$ $\Rightarrow (1.33/12) \cdot 0.30 =$ **0.0328 AC-FT = 1,430 CF**

c. PEAK DISCHARGE 100-YR

$Q_{100} = Q_A \cdot A_A + Q_B \cdot A_B + Q_C \cdot A_C + Q_D \cdot A_D$

$\Rightarrow (1.84 \cdot 0.00) + (2.49 \cdot 0.00) + (3.17 \cdot 0.25) + (4.49 \cdot 0.05) =$ **1.0 CFS**

A. **PROPOSED CONDITION 100 YEAR STORM**

2 **BASIN 1**

a. VOLUME 100-YR, 6-HR

$WT_E = (E_A \cdot A_A + E_B \cdot A_B + E_C \cdot A_C + E_D \cdot A_D)/A_T$

$\Rightarrow (0.67 \cdot 0.00) + (0.86 \cdot 0.00) + (1.09 \cdot 0.11) + (2.58 \cdot 0.19)/0.30 =$ **2.04 IN**

$V_{100,6\ HR} = (E_W/12) \cdot A_T$ $\Rightarrow (2.04/12) \cdot 0.30 =$ **0.0503 AC-FT = 2,190 CF**

b. STORM WATER QUALITY VOLUME (REDEVELOPMENT SITE)

$V_{SWQV} = ((P_{SWQV})/12) \cdot A_D$

$\Rightarrow ((0.26)/12) \cdot (0.19) =$ **0.0041 AC-FT = 180 CF**

c. PEAK DISCHARGE 100-YR

$Q_{100} = Q_A \cdot A_A + Q_B \cdot A_B + Q_C \cdot A_C + Q_D \cdot A_D$

$\Rightarrow (1.84 \cdot 0.00) + (2.49 \cdot 0.00) + (3.17 \cdot 0.11) + (4.49 \cdot 0.19) =$ **1.2 CFS**

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2024.055.3

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100% Construction Documents

PMG Montgomery

8800 Montgomery Boulevard NE
Albuquerque, New Mexico

Presbyterian Project No. 01.MP60287

Project Title

Drawn By J.Y.R. Checked By G.M.

Proj. No. 2023.05 Date 12–23–2024

J. GRAEME MEANS NEW MEXICO 13676 REGISTERED PROFESSIONAL ENGINEER

12/23/2024

Revisions Architect Engineer

DRAINAGE PLAN, CALCULATIONS, SECTIONS AND DETAILS

Sheet Title

CG3

Sheet 9 of 65

File Name: Q:\NM-ALBQ-HM\Data\data\2024\2024.055.3\ENG\240553 _ Design Base.dwg - CG3 Plot Date: 12/23/24 Plot Time: 14:18