

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 19, 2025

Graeme Means, PE
High Mesa, a Bowman Company
6010-B Midway Park Blvd NE
Albuquerque, NM 87109

**Re: Presbyterian Medical Group Montgomery Building Addition
8800 Montgomery NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 01-14-25 (G20D004A)**

Dear Mr. Means,

The TCL submittal received 12-23-24 is approved for Building Permit by transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL, to [ABQ-PLAN](#) for log in and evaluation by Transportation.

Albuquerque

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

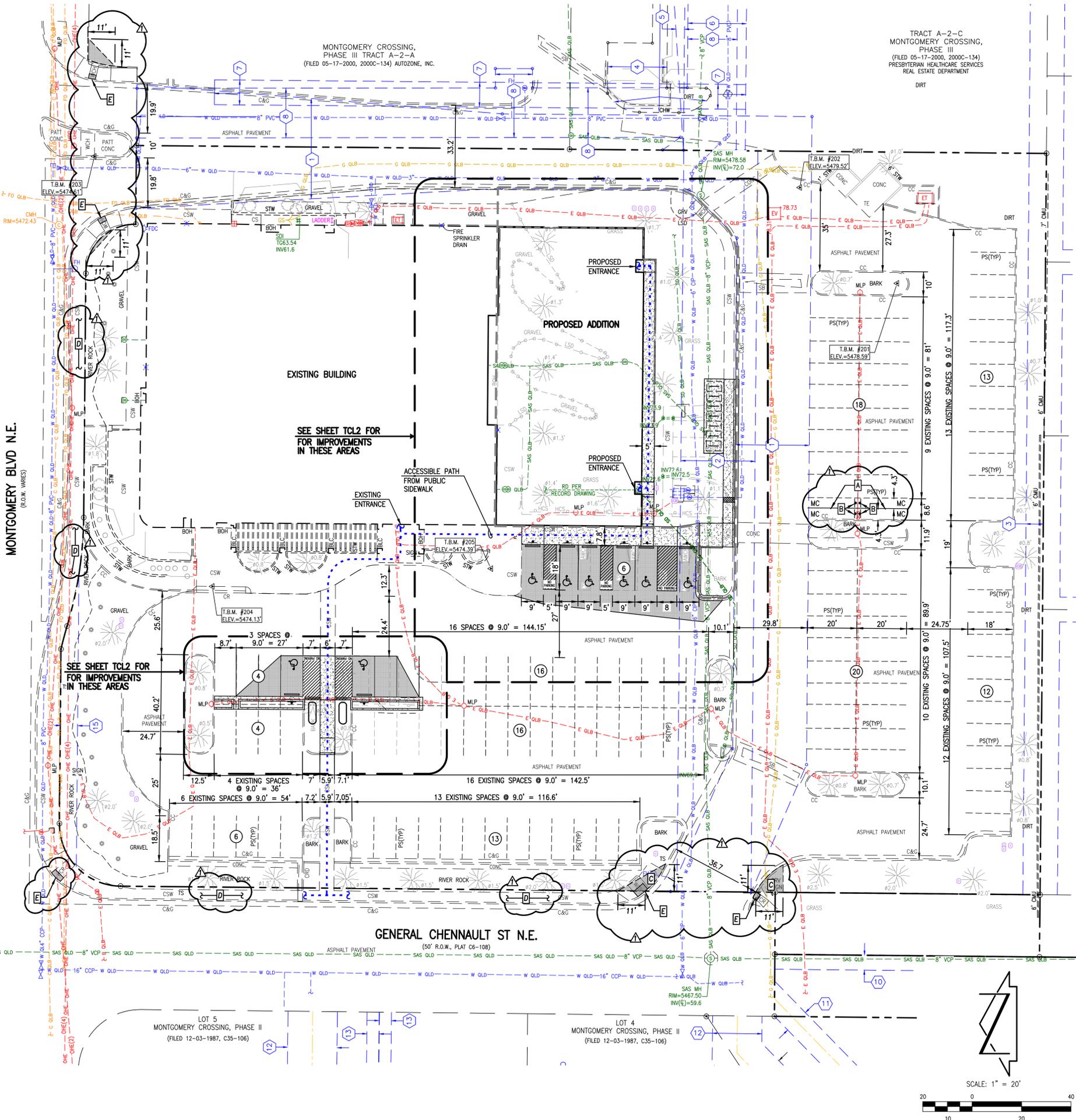
- Engineering / Architect Certification
- Conceptual Grading & Drainage Plan
- Grading & Drainage Plan, and/or Drainage Report
- Drainage Report (Work Order)
- Drainage Master Plan
- Conditional Letter of Map Revision (CLOMR)
- Letter of Map Revision (LOMR)
- Floodplain Development Permit
- Traffic Circulation Layout (TCL) – Administrative
- Traffic Circulation Layout (TCL) – DFT Approval
- Traffic Impact Study (TIS)
- Street Light Layout
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

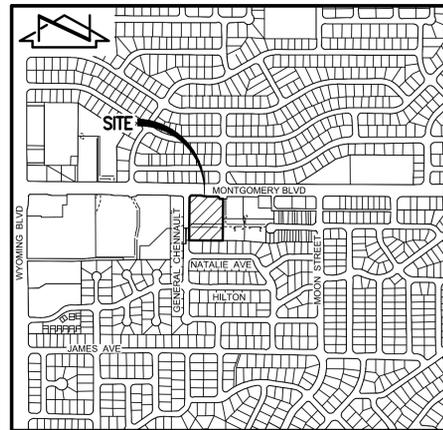
- Pad Certification
- Building Permit
- Grading Permit
- Paving Permit
- SO-19 Permit
- Foundation Permit
- Certificate of Occupancy - Temp Perm
- Preliminary / Final Plat
- Site Plan for Building Permit - DFT
- Work Order (DRC)
- Release of Financial Guarantee (ROFG)
- CLOMR / LOMR
- Conceptual TCL - DFT
- OTHER (SPECIFY) _____

DATE SUBMITTED: _____

File Name: C:\NM-ALBO-HM\Drawings\2024\055.3\ENG\340553_Design Base-R1.dwg - TCL1 Plot Date: 1/14/25 Plot Time: 17:41



TRACT A-2-C
MONTGOMERY CROSSING,
PHASE III
(FILED 05-17-2000, 2000C-134)
PRESBYTERIAN HEALTHCARE SERVICES
REAL ESTATE DEPARTMENT



VICINITY MAP
SCALE: 1" = 750'

LEGAL DESCRIPTION
TRACT A-1, MONTGOMERY CROSSING ADDITION, PHASE 3,
ALBUQUERQUE, NEW MEXICO

- EASEMENTS**
- PUBLIC DRAINAGE AND CROSS ACCESS EASEMENT GRANTED BY DOCUMENT FILED 05-07-1991, BOOK 91-7, PAGE 8871, DOC. #91035653
 - 30' UTILITY AND DRAINAGE EASEMENT GRANTED BY PLAT C35-152 (OFFSITE)
 - 7' PUBLIC UTILITY EASEMENT GRANTED BY PLAT C9-6
 - APPROXIMATE LOCATION OF PRIVATE UNDERGROUND DRAINAGE VAULT EASEMENT GRANTED BY PLAT 2000C-134
 - APPROXIMATE LOCATION OF PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT 2000C-134
 - APPROXIMATE LOCATION OF PUBLIC SANITARY SEWER EASEMENT GRANTED BY PLAT C5-185
 - APPROXIMATE LOCATION OF 10' PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 91C-6
 - APPROXIMATE LOCATION OF PUBLIC WATERLINE EASEMENT GRANTED BY PLAT 2000C-134
 - 6' PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED BY PLAT FILED 12-30-1987, BOOK C35, PAGE 106, DOC. #1987129798
 - 10' NATURAL GAS EASEMENT GRANTED BY PLAT FILED 12-30-1987, BOOK C35, PAGE 106, DOC. #1987129798
 - 20' WATER EASEMENT GRANTED BY PLAT FILED 12-30-1987, BOOK C35, PAGE 106, DOC. #1987129798
 - 5' UTILITY EASEMENT GRANTED BY PLAT FILED 09-27-1963, BOOK C5, PAGE 185, DOC. #1963060142
 - 7' PNM EASEMENT GRANTED BY DOCUMENT FILED 05-02-1974, BOOK MISC. 87, PAGE 827, DOC. #1974006982

TCL NARRATIVE:

TCL NARRATIVE (G20/D4)

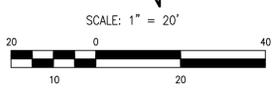
THIS SUBMITTAL SUPPORTS A BUILDING ADDITION TO AN EXISTING MEDICAL CLINIC. AS SHOWN HEREON, THE SITE IS FULLY DEVELOPED AND THE PROPOSED IMPROVEMENTS ARE LIMITED TO A BUILDING ADDITION AND MINOR SITE IMPROVEMENTS THAT ARE PROPOSED TO 1) MODIFY EXISTING ACCESSIBLE PARKING SPACES TO MEET CURRENT ADA GRADING REQUIREMENTS BECAUSE THE EXISTING SPACES EXCEED 2% SLOPES AND/OR HAVE EXISTING CURB RAMP EXTENDING INTO THE AISLES, 2) PROVIDE MOTORCYCLE PARKING, AND 3) PROVIDE BICYCLE PARKING.

AS SHOWN HEREON, THE EXISTING PARKING SPACES AND DRIVE AISLES MEET OR EXCEED CURRENT GEOMETRIC REQUIREMENTS. AS SHOWN BY THE PARKING CALCULATIONS HEREON, THIS SITE WILL MEET OR EXCEED THE NUMBER OF TOTAL VEHICULAR PARKING SPACES, ACCESSIBLE SPACES, MOTORCYCLE SPACES, AND BICYCLE SPACES.

THIS SUBMITTAL IS MADE FOR BUILDING PERMIT APPROVAL.

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Durmajo 3/19/2025
Signed Date



- KEYED NOTES:**
- INSTALL 4" PAVEMENT STRIPE TO CREATE FOUR (4) MOTORCYCLE SPACES AT 20' L x 4.3 WIDE.
 - INSTALL 18"x12" SIGNS "MOTORCYCLE PARKING ONLY" PER DETAIL, SHEET TCL3
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS WALLS TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - ALL BROKEN OR CRACKED PUBLIC CITY SIDEWALK AND CURB & GUTTER IN THE PROJECT FRONTAGE SHALL BE REPLACED PER C.O.A. STD DWGS 2415A & 2430.
 - INSTALL DETECTABLE WARNING SURFACES ON EXISTING RAMPS PER C.O.A. STD DWG 2446

PARKING CALCULATIONS:

MEDICAL CLINIC - 5 SPACES PER 1,000 sf 24,329 sf/1,000 x 5 = 122 REQUIRED AND PROVIDED

ACCESSIBLE SPACES: 8 REQUIRED AND PROVIDED (4 VAN ACCESSIBLE)

MOTORCYCLE PARKING: 4 SPACES REQUIRED AND PROVIDED

BICYCLE PARKING: 10% OF PROVIDED = 0.1x128 = 13 REQUIRED AND 14 PROVIDED

2024.055.3

HIGH MESA a Bowman company

6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com

100% Construction Documents

PMG Montgomery
8800 Montgomery Boulevard NE
Albuquerque, New Mexico

Presbyterian Project No. 01.MP60287

Project Title

Drawn By J.Y.R. Checked By G.M.

Proj No. 2023.05 Date 12-23-2024

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Revisions

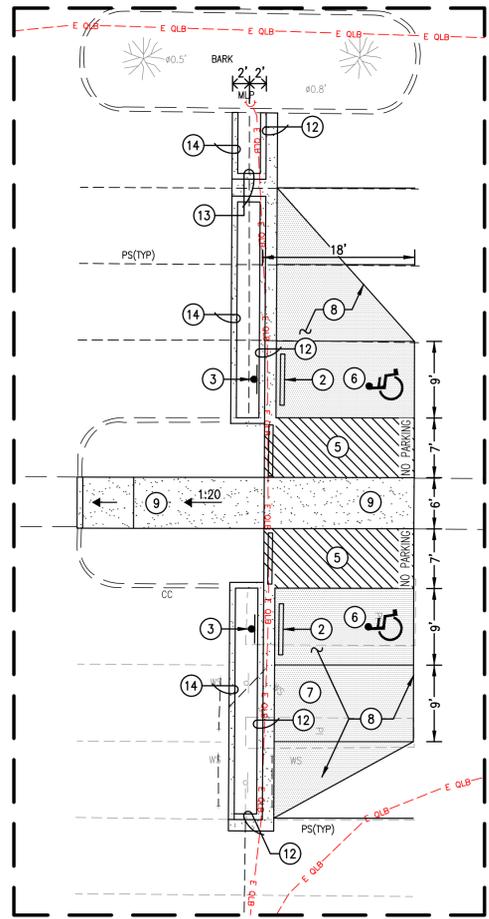
12/23/2024/01/14/2025 (R1)
Architect Engineer



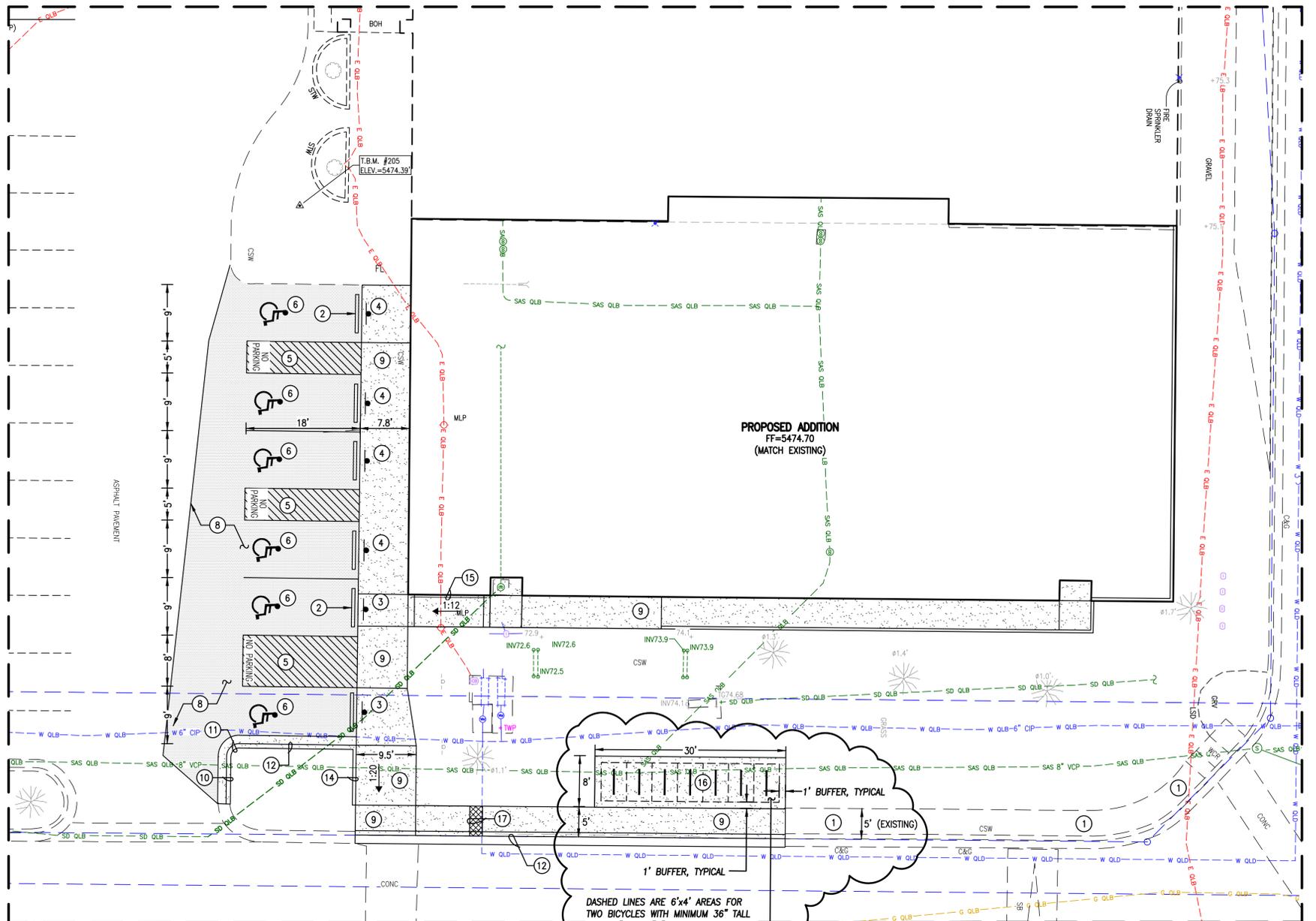
TCL1

CONSTRUCTION NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR APPROVED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS-PUBLIC WORKS CONSTRUCTION-2020 EDITION (JUNE 2020).
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE TOPOGRAPHIC AND UTILITY SURVEY CONDUCTED BY THIS FIRM DATED 06/17/2024. THAT UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THAT UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.
6. ALL UTILITIES WITHIN THE PROJECT LIMITS THAT ARE RENDERED OBSOLETE AND / OR UNUSED AS A RESULT OF THIS PROJECT SHALL NOT BE ABANDONED IN PLACE, BUT SHALL INSTEAD BE COMPLETELY REMOVED WITHIN THE PROJECT AREA AND CAPPED AT THE PROJECT LIMITS, UNLESS OTHERWISE NOTED.
7. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
8. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.
9. ALL KNOWN EXISTING UTILITIES ARE SHOWN HEREON FOR REFERENCE AND INFORMATION. ALTHOUGH REMOVALS OF CONFLICTING UTILITIES MAY BE ACCOUNTED FOR BY OTHER SHEETS AND OTHER DISCIPLINES, THEY ARE SHOWN HEREON TO HELP PREVENT INADVERTENT DAMAGE AND INFORM THE GENERAL CONTRACTOR OF UTILITIES THAT MAY NOT HAVE BEEN OTHERWISE ACCOUNTED FOR.

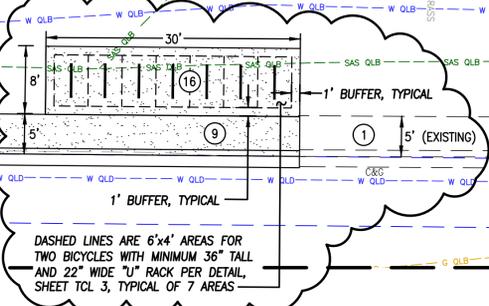


PAVING DETAIL (WEST PARKING LOT)
SCALE: 1" = 10'



PAVING DETAIL (BUILDING ADDITION AREA)
SCALE: 1" = 10'

- KEYED NOTES:**
1. EXISTING 4 FT SIDEWALK TO REMAIN.
 2. INSTALL PARKING BUMPER, TYP.
 3. INSTALL ACCESSIBLE PARKING SIGN WITH POST AND VAN ACCESSIBLE PLACARD AND LANGUAGE THAT "VIOLATORS ARE SUBJECT TO A FINE OR TOWING" PER DETAIL, SHEET TCL3
 4. INSTALL ACCESSIBLE PARKING SIGN WITH POST AND LANGUAGE THAT "VIOLATORS ARE SUBJECT TO A FINE OR TOWING" PER DETAIL, SHEET TCL3
 5. INSTALL DIAGONAL BLUE PAEMENT MARKING WITH "NO PARKING" LETTERING AT REAR OF AISLE WITH 1FT MINIMUM HEIGHT AND 2 IN MINIMUM WIDTH LETTERING.
 6. INSTALL BLUE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 7. RESTRIPE EXISTING PARKING SPACE AS SHOWN.
 8. NEATLY SAWCUT, REMOVE, DISPOSE, AND REPLACE EXISTING ASPHALT PAVEMENT AS SHOWN TO ACHIEVE 2% MAXIMUM ACCESSIBLE SLOPES IN ALL DIRECTIONS. REFER TO GRADING PLAN FOR NEW GRADES.
 9. CONSTRUCT NEW CONCRETE PAVEMENT/SIDEWALK. REFER TO GRADING PLAN FOR NEW GRADES.
 10. CONSTRUCT DEPRESSED CURB AND GUTTER.
 11. CONSTRUCT TRANSITION FROM DEPRESSED TO STANDARD CURB AND GUTTER.
 12. CONSTRUCT STANDARD 6" CURB AND GUTTER.
 13. CONSTRUCT 2FT CONCRETE RUNDOWN.
 14. CONSTRUCT HEADER CURB.
 15. INSTALL WALL-MOUNTED ACCESSIBLE RAMP HAND RAIL.
 16. CONSTRUCT 30 FT X 8 FT PAVED CONCRETE BICYCLE PARKING AREA WITH SPACE FOR 14 BICYCLE PARKING SPACES (6FT X 2FT EACH WITH 1 FT PERIMETER BUFFER). BIKE RACKS SHALL BE 36" TALL BY 22" WIDE "U" RACK, BELSON MODEL # CBBR-2UR-SS OR APPROVED SUBSTITUTE. PER DETAIL, SHEET TCL3
 17. CONSTRUCT 24" SIDEWALK CULVERT PER COA. STD. DWG. 2236



TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Armijo 3/19/2025
Signed Date

2024.055.3

HIGH MESA a Bowman company
6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com

100% Construction Documents

PMG Montgomery
8800 Montgomery Boulevard NE
Albuquerque, New Mexico
Presbyterian Project No. 01.MP60287

Project Title
Drawn By J.Y.R. Checked By G.M.
Proj No. 2023.05 Date 12-23-2024
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Revisions
12/23/2024 / 01/14/2025
Architect Engineer



TRAFFIC CIRCULATION LAYOUT SECTIONS AND DETAILS
Sheet Title Sheet 11 of 65

TCL2

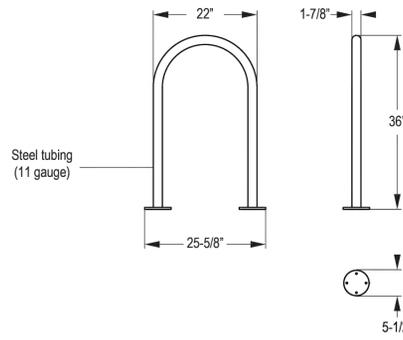


627 Amersale Dr
Naperville, IL 60563
Phone: (800) 323-5664
Fax: (630) 897-0573
sales@belsion.com

Model # CBBR-2UR-SS

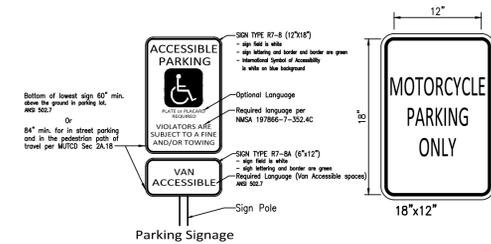
Dimension Sheet

2 BIKE 'U' BIKE RACK, STAINLESS STEEL, SURFACE MOUNT



TYPICAL BIKE RACK DETAIL

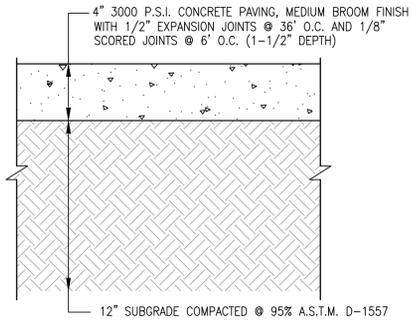
N.T.S.



SIGN FACE DETAILS

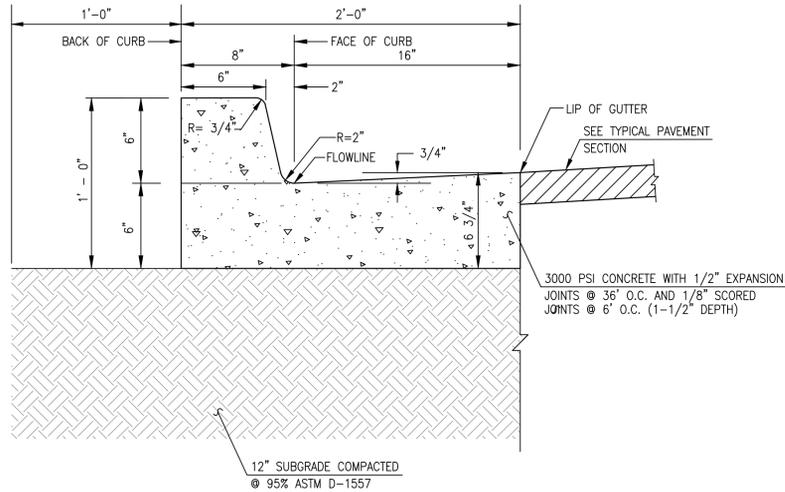
N.T.S.

TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Drumgo 3/19/2025
Signed Date



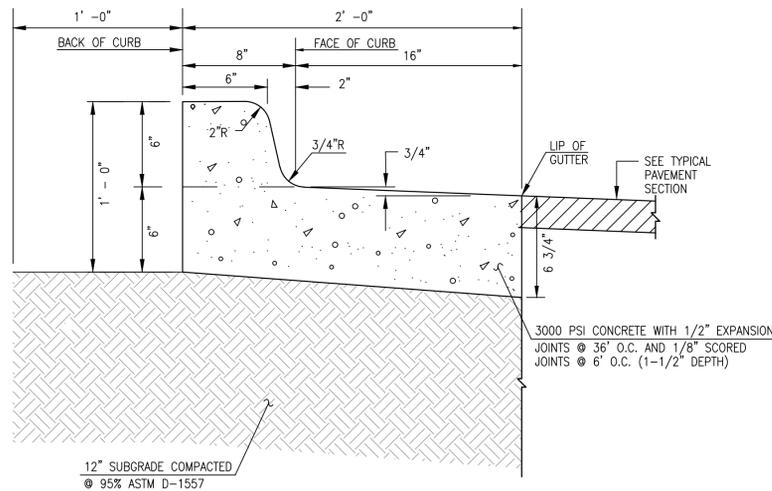
TYPICAL CONCRETE SIDEWALK AND BICYCLE PAVEMENT SECTION

SCALE: 1" = 0'-6"



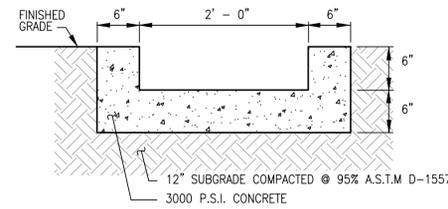
TYPICAL SIX-INCH CURB & GUTTER

SCALE: 1" = 0'-6"



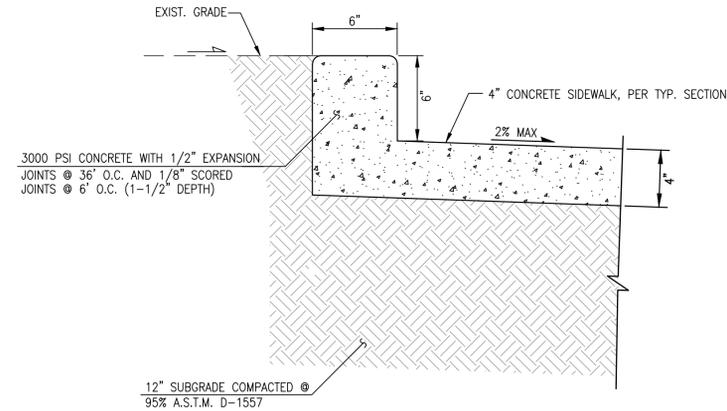
TYPICAL SIX-INCH DEPRESSED CURB AND GUTTER

SCALE: 1" = 0'-6" NOTE: USE THIS SECTION FOR CASES WHERE PAVING SLOPES AWAY FROM FACE OF CURB



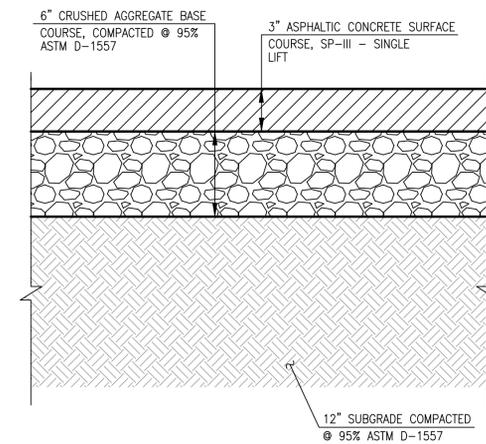
TYPICAL RUNDOWN SECTION

SCALE: 1" = 1'-0"



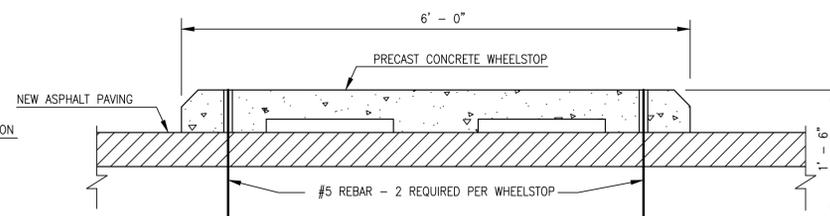
TYPICAL INTEGRAL HEADER CURB SECTION

SCALE: 1" = 0'-6"



TYPICAL 3" ASPHALT PAVING SECTION (VEHICULAR TRAFFIC AREAS)

SCALE: 1" = 0'-6"



WHEELSTOP SECTION

SCALE: 1" = 0'-6"

2024.055.3

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Revisions 12/23/2024 / 01/14/2025 (R1)

Address COA COMMENTS

Revisions Architect Engineer



TCL3

TRAFFIC CIRCULATION LAYOUT SECTIONS AND DETAILS

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