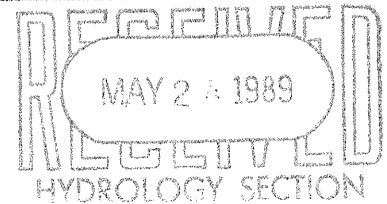




KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103



May 24, 1989

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Mr. David Sevieri
DLS Enterprises
9935 Academy Knolls N.E.
Albuquerque, NM 87111

RE: PROJECT NO. 3557, COMANCHE/MOON N.E., (MAP NO. (G-20)D25)

Dear Mr. Sevieri:

This is to certify that the City of Albuquerque accepts Project No. 3557 as being completed according to approved plans and construction specifications. If all required right-of-ways and/or easements have been dedicated, the City of Albuquerque will accept for continuous maintenance all public infrastructure improvements constructed as part of Project No. 3557. If the required right-of-ways and/or easements have not been dedicated, the City of Albuquerque cannot accept the project for continuous maintenance and said maintenance will be the responsibility of the developer.

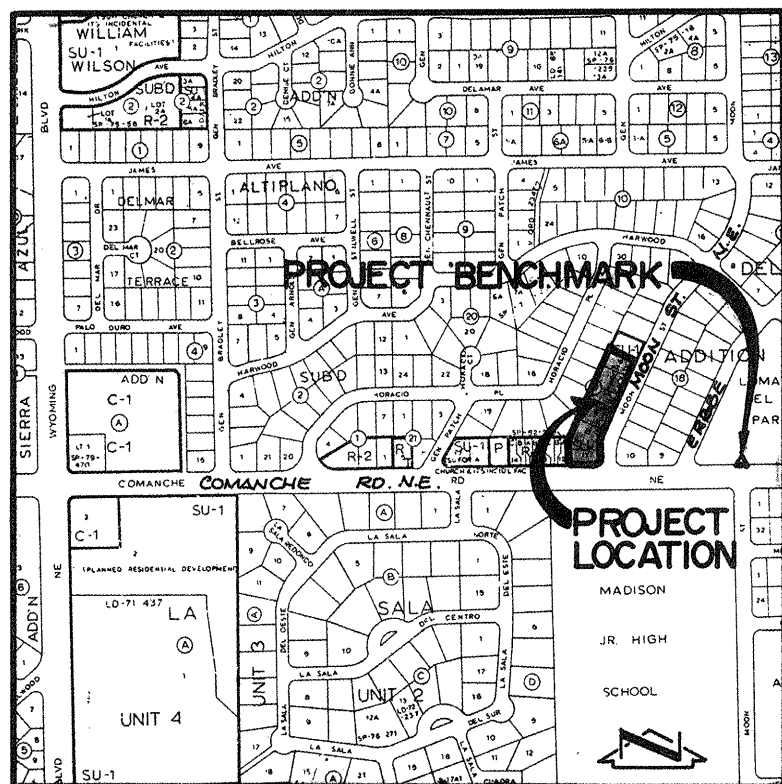
The project is described as follows:

- Installed fourteen (14) water services and one (1) fire hydrant on Moon, north of Comanche.
- The contractor's warranty begins the date of this letter and will be effective for a period of one (1) year.

Sincerely,

Russell B. Givler, P.E.
Chief Construction Engineer
Construction Mgmt. Division
Engineering Group
Public Works Department

RBG:kt



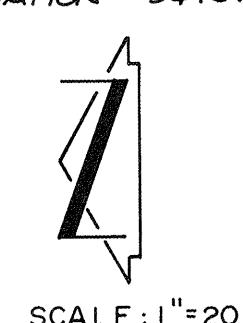
VICINITY MAP
SCALE: 1" = 800'

LEGAL DESCRIPTION

LOTS 6 THROUGH 11, BLOCK 19,
LOMA DEL REY SUBDIVISION

PROJECT BENCHMARK

STATION 19 IS A STANDARD ACS BRASS TABLET
STAMPED "1-20 1978, SET IN TOP OF A
CONCRETE POST FLUSH WITH THE CURB.
STATION 19 IS LOCATED AT THE INTERSECTION
OF COMANCHE RD. N.E. & MOON ST. N.E.
AS SHOWN ON THE VICINITY MAP.
ELEVATION = 5470.49 FEET (M.S.L.D.)



SCALE: 1" = 20'

TBM

A SQUARE "D", CUT ON TOP OF
CURB LOCATED NEAR THE SOUTH-
EAST PROPERTY CORNER AS
SHOWN ON THE DRAWING BELOW.
ELEVATION = 5455.08 FEET (M.S.L.D.)

LEGEND

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- TOP OF CURB
- FLONLINE
- PROPOSED BLOCK WALL (GARDEN WALL)
- AS-BUILT ELEVATION

DRAINAGE PLAN

The following items concerning the Moon Subdivision Drainage Plan are contained hereon:

- Vicinity Map
- Grading Plan
- Calculations

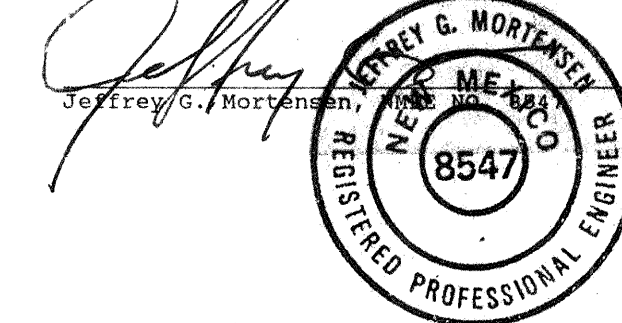
The proposed improvements, as shown by the Vicinity Map, are located on the west side of Moon Street N.E., north of Comanche Road N.E. At present, the site is undeveloped, much of the surrounding area is currently developed residentially, thereby making this an infill site. As shown by Plate G-20 of the Albuquerque Master Drainage Study, this site does not lie within a designated flood hazard zone. However, this site does lie adjacent to a designated flooding hazard zone. Because of this, the finished floor elevation of the building adjacent to Comanche Road N.E. has been established at least 2 feet above the corresponding flow line elevations of Comanche Road N.E. No offsite flows enter the site along the east and south property lines since existing streets route runoff away from the project site. No offsite flows enter the site along the west property line since existing block wall routes runoff away from the project site. No offsite flows enter the site along the north property line since the existing lot is graded in a manner which will route runoff away from the project site.

The Grading Plan shows 1) existing and proposed grades indicated by spot elevations and contours at 1'0" intervals, 2) continuity between existing and proposed grades, and 3) the limit and character of the proposed improvements. As shown by this plan, the proposed improvements consist of the construction of new townhomes. Flows generated by Basin 1 will be routed from west to east onto Moon Street N.E. From that point, runoff will flow south along the west edge of Moon Street N.E. to an existing storm inlet located in Moon Street N.E. just north of Comanche Road N.E. with a small portion of runoff discharging onto Comanche Road N.E. Comanche Road N.E. drains in a westerly direction to existing storm inlets located at the intersection of Comanche Road N.E. and General Hatch Street N.E. Flows generated by Basin 2 will be routed from north to south via an inverted concrete channel onto Comanche Road N.E. From that point, runoff will flow west along the north edge of Comanche Road N.E. to the aforementioned storm drain inlets located in Comanche Road N.E. Unfortunately, this storm drain system does not have ample capacity, hence, street flooding occurs. Based upon the fact that this is an infill site, the proximity of downstream facilities, the free discharge of runoff from this site is appropriate.

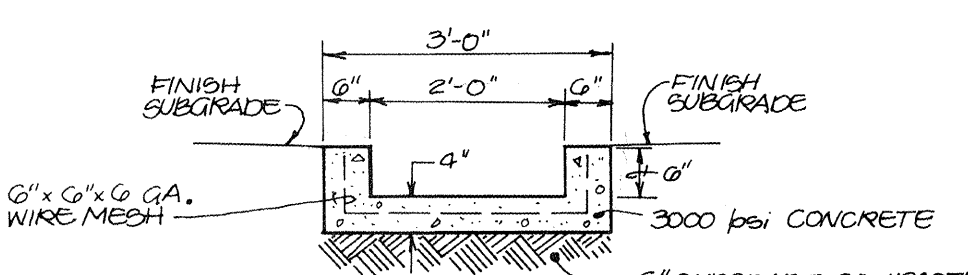
The Calculations which appear hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The Rational Method has been used to quantify the peak rate of discharge and the SCS Method has been used to quantify the volume of runoff. Both Methods have been used in accordance with the City of Albuquerque Development Process Manual, Volume II, and the Mayor's Emergency Rule adopted January 14, 1986. As shown by these calculations, the proposed improvements will increase the total discharge from this site by approximately 1.3 cfs.

PRIVATE DRAINAGE CHANNEL CERTIFICATION

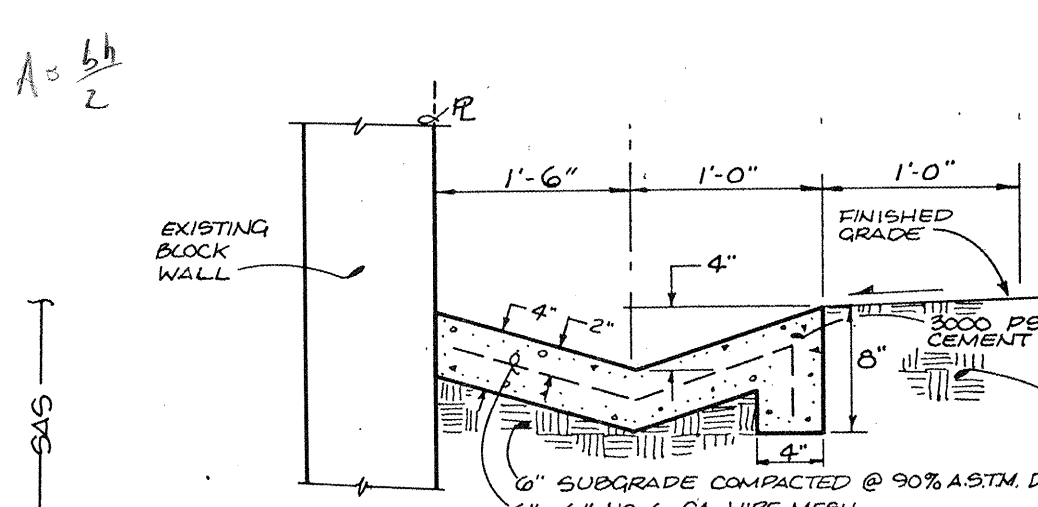
As shown by the as-built spot elevations indicated hereon, the private drainage channel has been constructed in substantial compliance with the approved grading and drainage plan. Most invert elevations are within 0.10 feet with the exception of Lots M and N where the grades were raised slightly in response to a potential conflict with the adjacent grades for the existing residential lot designated as Lot 12. The finished floor elevation of the houses for Lots M and N were also raised. It is based upon this certification that final plat approval is hereby requested for the subject project. The respective DRB Case No. is 88-2661. The Hydrology File No. is G20/B25.



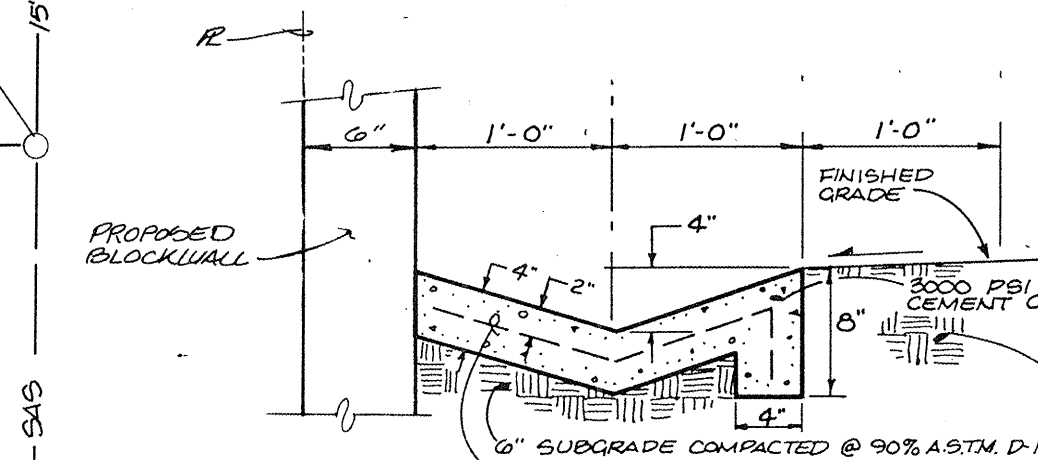
10-24-88



SECTION C-C
SCALE: 1" = 2'-0"



SECTION A-A
SCALE: 1" = 1'-0"



SECTION B-B
SCALE: 1" = 1'-0"

NOTE:
1. PROVIDE CONTRACTION JOINTS @ 10' O.C.
2. PROVIDE EXPANSION JOINTS @ 50' O.C.
3. HEAVY BROOK FINISH

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1. PROVIDE CONTRACTION JOINTS @ 10' O.C.
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CONSTRUCTION NOTES:
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 763-1234, FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM 60 DAYS OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

EROSION CONTROL MEASURES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE "TOPSOIL" DISTURBANCE PERMIT PRIOR TO BEGINNING CONSTRUCTION.

APPROVALS	NAME	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

GRADING AND DRAINAGE PLAN COMANCHE / MOON SUBDIVISION

DESIGN BY	L.P.U.	No.	Date	By	Revision	JOB NO.	871123
DRAWN BY	S.G.H.	1	6/88	L.P.U.	REVISE FF ELEVATIONS AND REAR YARD GRADES.	DATE	4-88
APPROVED BY	J.G.M.					SHEET	1 OF 1



JEFF MORTENSEN & ASSOCIATES, INC.
811 DALLAS N.E. ALBUQUERQUE, NM 87110
ENGINEERS TELEPHONE (505) 265-5611