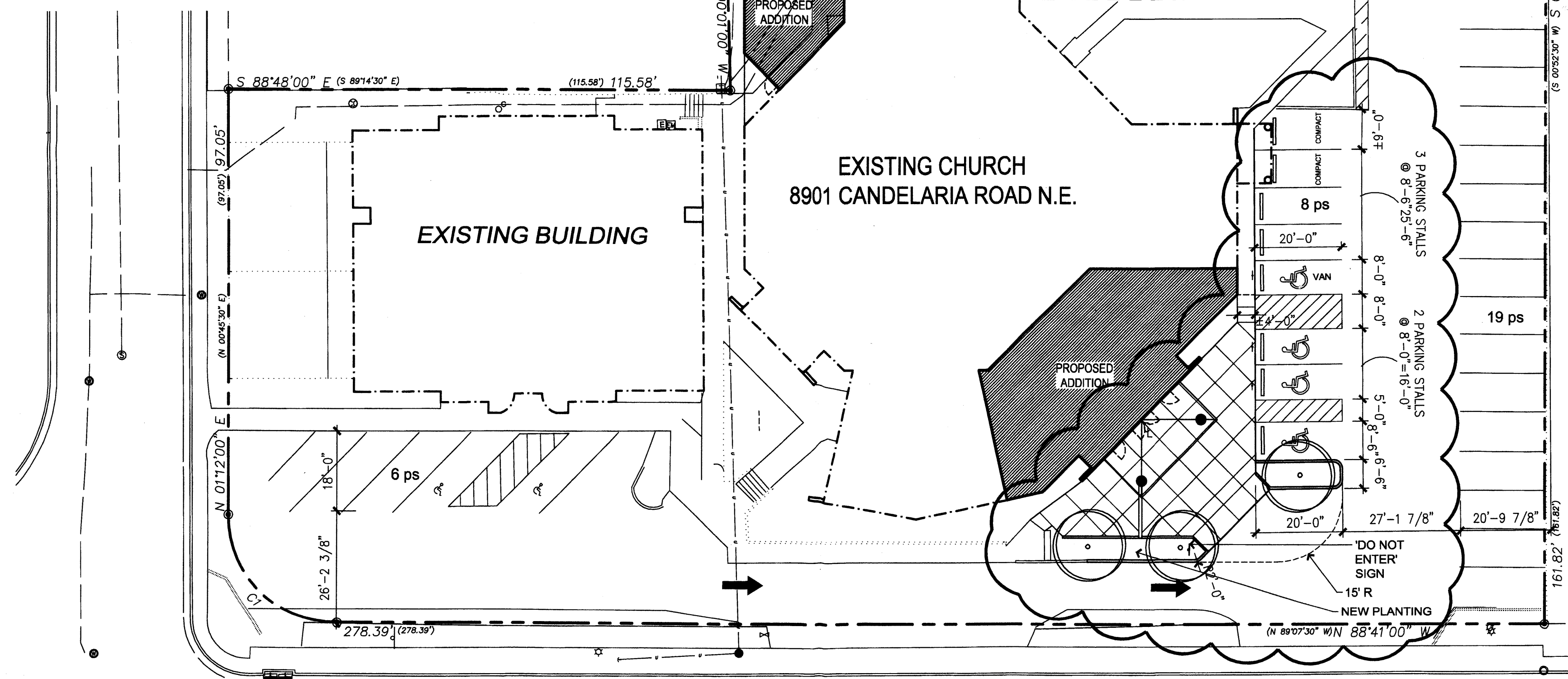


MODIFIED SITE PLAN
1" = 20'



ADMINISTRATIVE AMENDMENT
 File # 08AA-10557 Project # 1007203
 Parking adjustment.
 Approved by: [Signature] DATE: 2/11/08

MODIFIED SITE PLAN
1" = 20'

PROJECT INFORMATION

LEGAL DESCRIPTION:
 TRACT A BLOCK 1 OF NASSIF GARDENS ADDITION AND
 LOTS 18, 19, AND 20 BLOCK 2 OF NASSIF GARDENS
 ADDITION

LOCATION:
 8901 CANDELARIA RD. NE
 ALBUQUERQUE, NM 87111

ZONE ATLAS MAP:
 G-20-Z

ZONE CLASSIFICATION:
 SU-1 - CHURCH

TOTAL BUILDING AREA:
 EXISTING BUILDINGS = 17,366 SF
 ADDITION = 1950 SF

TOTAL LOT AREA:
 91,168 SF

NET LOT AREA:
 71,852 SF

LANDSCAPING AREA:
 PREVIOUSLY PROVIDED = 6500 SF
 ADDITIONAL = 370 SF

PARKING TABULATION:
 CHURCH: 750' PEW SPACE / 30" = 300 SEATS / 4 = 75 SPACES
 OFFICE: 2200 SF / 200 = 11 SPACES

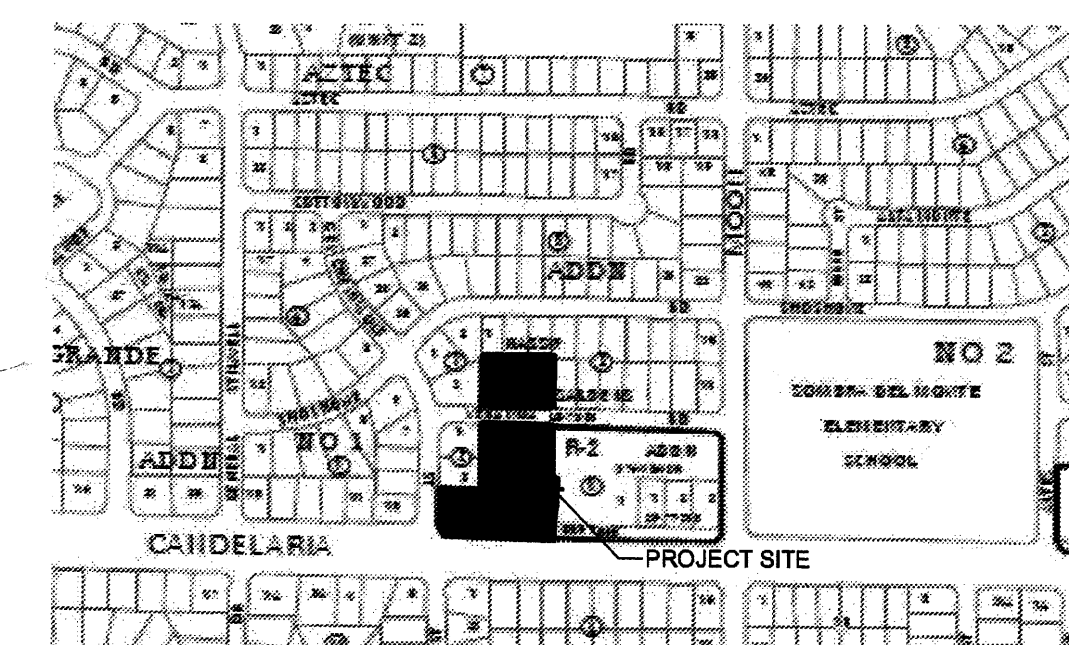
REQUIRED = 86 SPACES
 PROVIDED = 139 SPACES

ACCESSIBLE SPACES REQUIRED = 8
 ACCESSIBLE SPACES PROVIDED = 8

TYPICAL PARKING SPACE WIDTH = 8'-6"

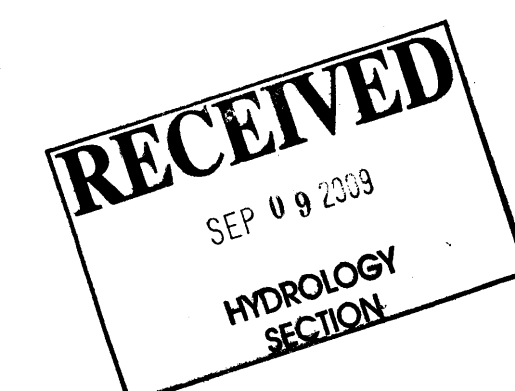
SITE LIGHTING:
 ALL SITE LIGHTING IS EXISTING

CITY REFERENCE NUMBERS:
 Z-71-24
 Z-87-60
 DRB-87-0446
 D8AA-10055



VICINITY MAP (NTS)

These documents as prepared by Peter Butterfield, Architect
 are compiled for Administrative Amendment/Entitlement
 purposes only and represent designs and engineering work
 by others and permitted and performed by others under
 the direction of Sangre De Cristo Catholic Community



Sangre De Cristo Catholic Community
 8901 Candelaria Rd. NE
 Albuquerque, NM 87111

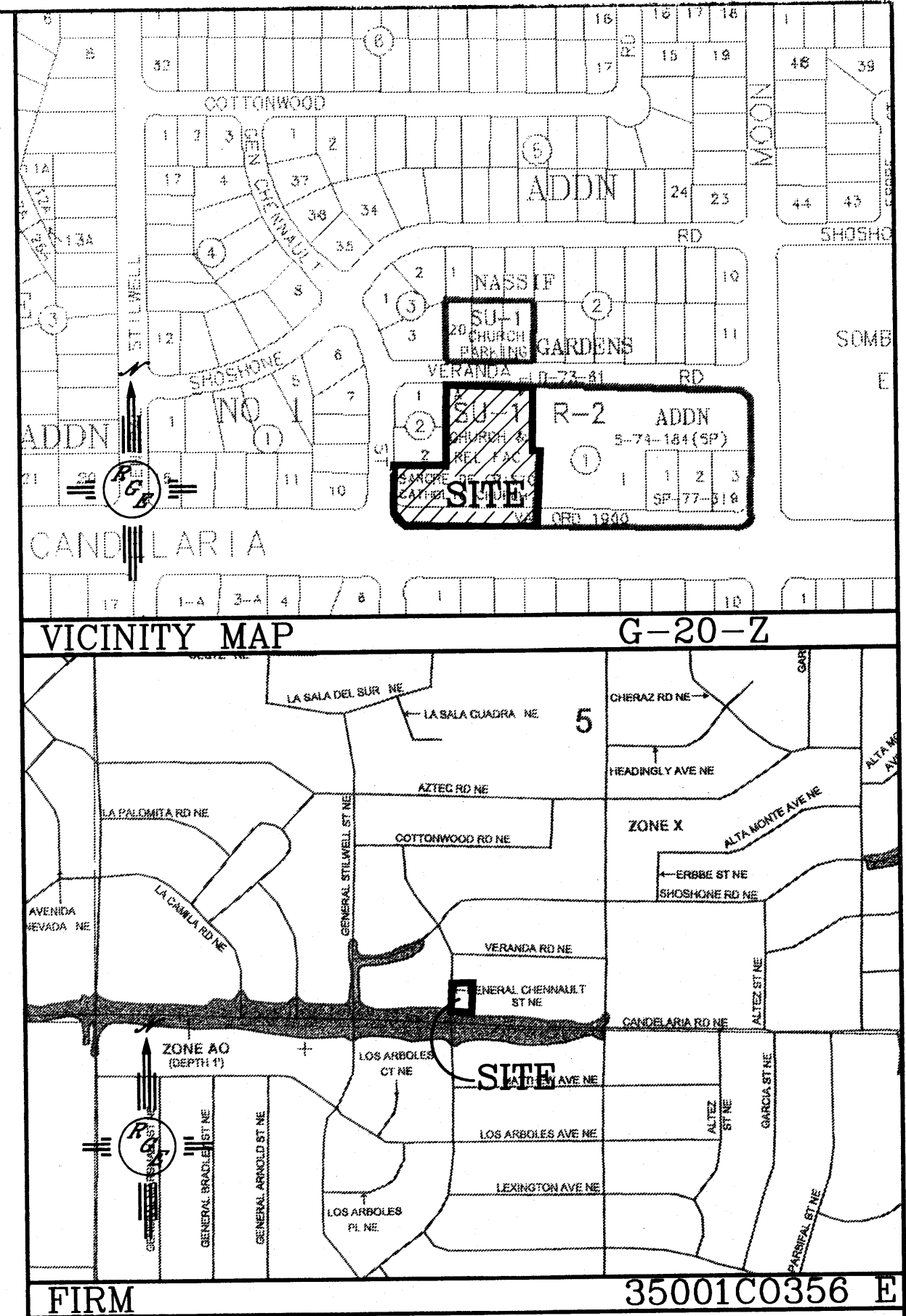
peter butterfield architect
 13013 glenwood hills ct ne
 albuquerque nm 87111 (ph) 505 298 3099 (fax) 298 6320



DRAWING NAME
 Site Plan
 REVISIONS

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

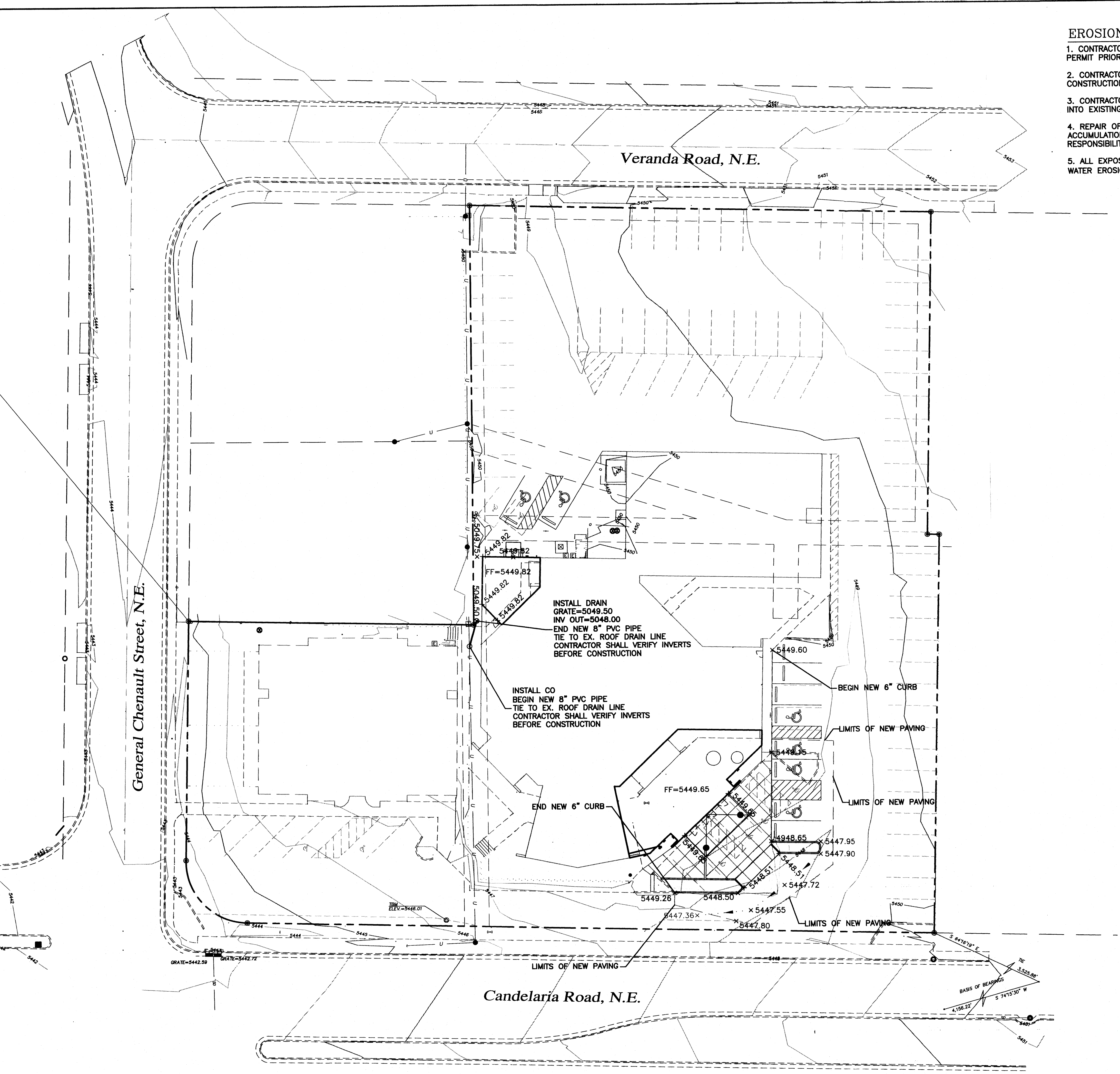
TRACT A, BLOCK 1, NASSIF GARDENS SUBDIVISION

NOTES:

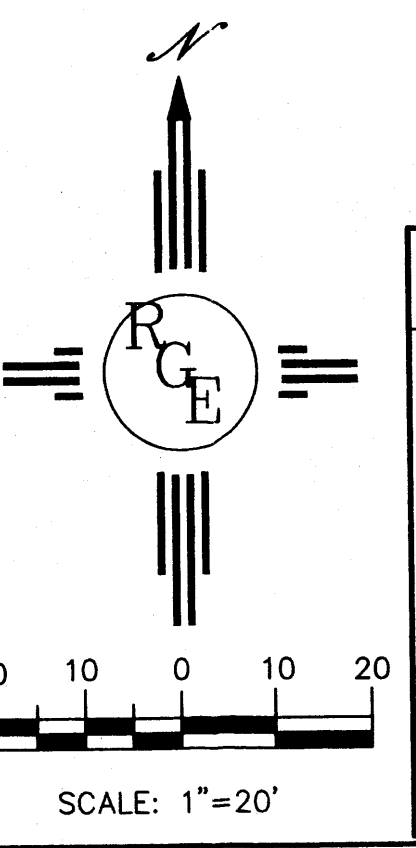
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

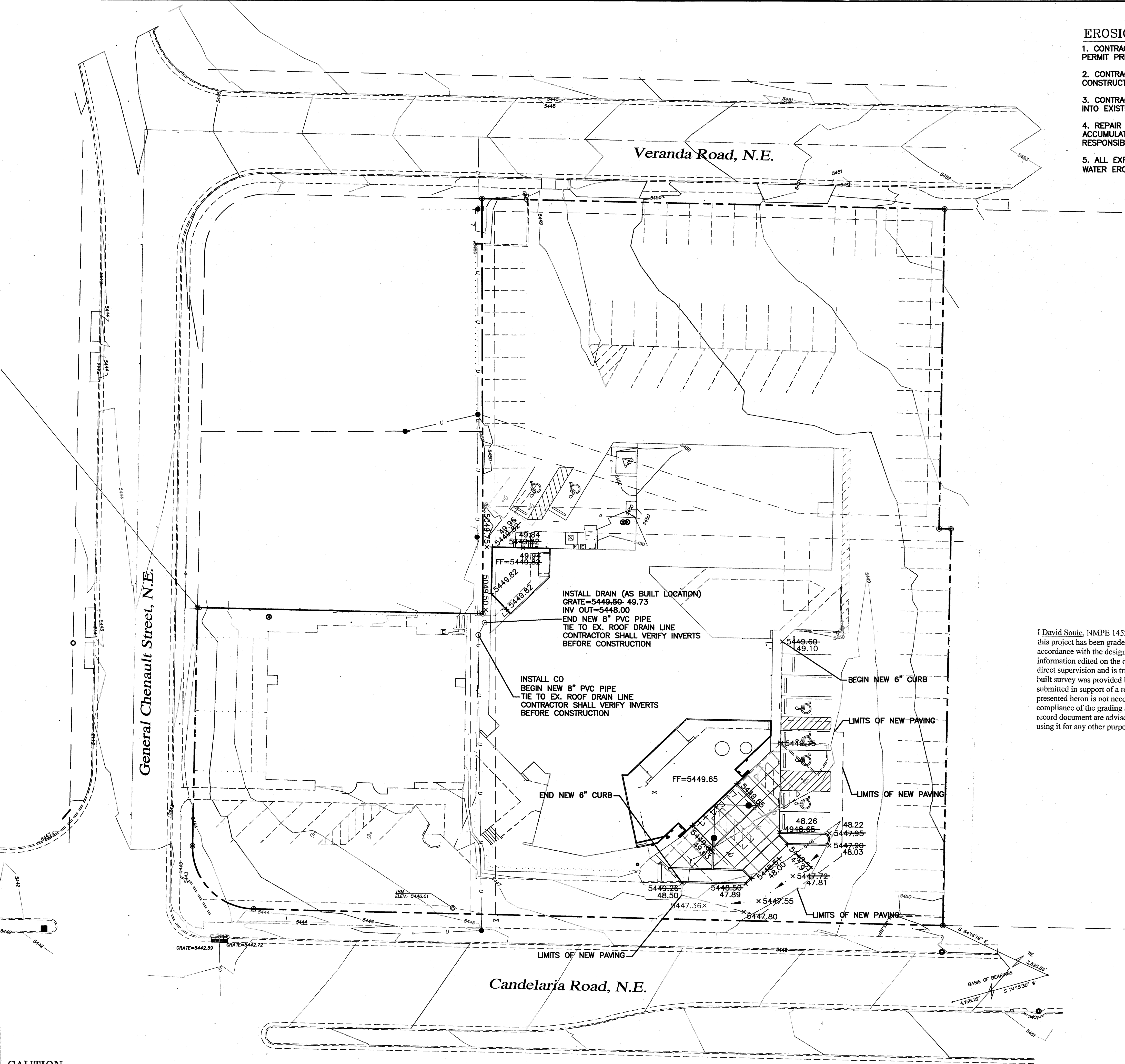
- EXISTING EDGE OF PAVING
- BOUNDARY LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- FLOW LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- RIGHT-OF-WAY
- EXISTING BUILDING
- PROPOSED BUILDING ADDITION
- EXISTING WALL
- PROPOSED SCREEN WALL
- PROPOSED RETAINING WALL



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

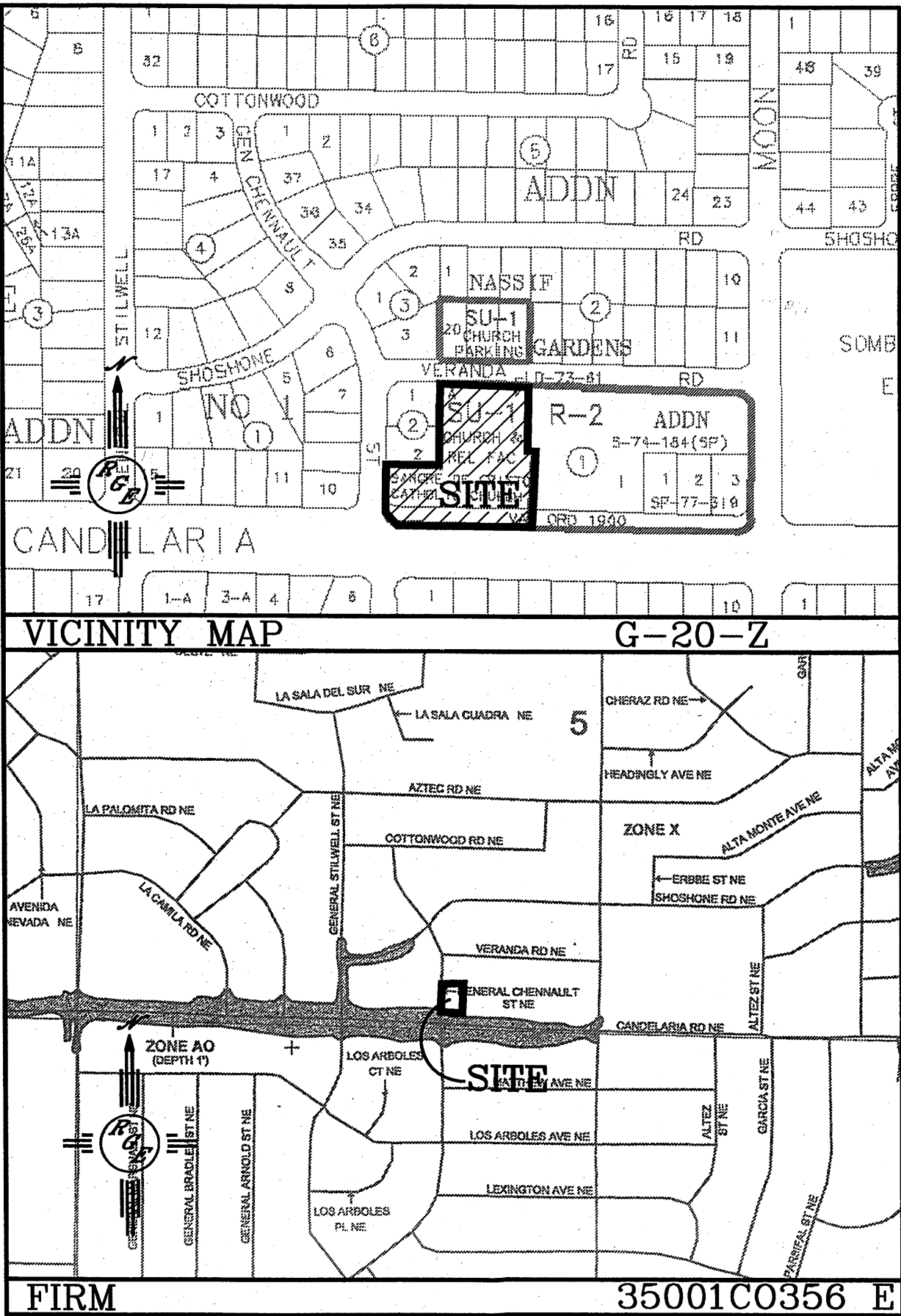


ROUGH GRADING APPROVAL		DATE
ENGINEER'S SEAL	SANGRE DE CRISTO CHURCH	DRAWN BY WCUJ
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522	GRADING AND DRAINAGE PLAN	DATE 10-22-08
	Rio Grande Engineering 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	2830-LAYOUT-10-07-08
		SHEET #
		JOB # 2830



EROSION CONTROL NOTES:

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LEGAL DESCRIPTION:

TRACT A, BLOCK 1, NASSIF GARDENS SUBDIVISION

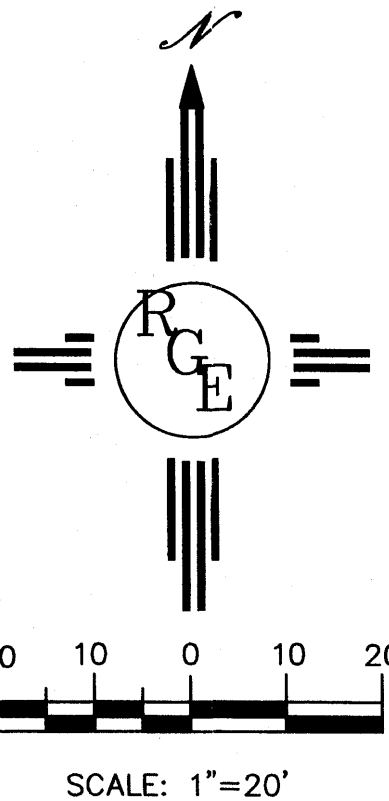
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

- EXISTING EDGE OF PAVING
- BOUNDARY LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- FLOW LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
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- PROPOSED RETAINING WALL

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 11-03-08. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by Larry Medrano with Precision surveys. The certification is submitted in support of a request for Certificate of Occupancy. The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



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NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

ROUGH GRADING APPROVAL		DATE
ENGINEER'S SEAL	SANGRE DE CRISTO CHURCH	DRAWN BY WCWJ
DAVID SOULE NMPE 14522 REGISTERED PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 10-22-08
	Rio Grande Engineering 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0899	2830-LAYOUT-10-07-08
		SHEET #
		JOB # 2830

DRAINAGE PLAN FOR SANGRE DE CRISTO CHURCH PARKING LOT PAVING IMPROVEMENTS 8901 CANDELARIA ROAD BERNALILLO COUNTY, NEW MEXICO SEPTEMBER 2002

DRAINAGE PLAN
THE FOLLOWING ITEMS CONCERNING LOTS 18, 19 AND 20, NASSIF GARDENS ADDITION
AND SANGRE DE CRISTO CHURCH, NASSIF GARDENS ADDITION, ALBUQUERQUE, NEW
MEXICO, GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. DRAINAGE CALCULATIONS
2. VICINITY MAP (G-20)

EXISTING CONDITIONS
AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS APPROXIMATELY 1.69 ACRES AT
THE MAIN CATHEDRAL THAT IS LOCATED AT THE SOUTHEAST CORNER OF CANDELARIA
ROAD NE AND GENERAL CHENAULT STREET NE TO INCLUDE 0.52 ACRES OF PARKING
LOT ON THE NORTH SIDE OF VERANDA ROAD NE. (SEE ATTACHED VICINITY MAP G-20).
THIS DEVELOPMENT IS CURRENTLY FULLY DEVELOPED WITH A CHURCH CATHEDRAL AND
CLASSROOM BUILDINGS, ASPHALT PARKING, CONCRETE SIDEWALKS AND LANDSCAPING
IMPROVEMENTS.

PROPOSED CONDITIONS
AS SHOWN BY THE DRAINAGE PLAN, THE IMPROVEMENTS PROPOSED IS TO PERFORM
ASPHALT PAVING PARKING LOT IMPROVEMENTS AND NOT CHANGE THE CURRENT GRADING
CONCEPT AS IT CURRENTLY EXIST IN ORDER TO MAINTAIN EXISTING DRAINAGE PATTERNS.

THE CALCULATIONS THAT APPEAR HEREON, ANALYZE BOTH THE EXISTING AND
DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL RUNOFF FOR PEAK
FLOWS AND STORM DURATION FOR VOLUME REQUIREMENTS. THE PROCEDURE FOR 40
ACRE AND SMALLER BASINS AS SET FORTH IN THE REVISION OF SECTION 22.7
HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA,
DATED JANUARY 1993. THIS D.P.M. PROCEDURE IS USED FOR ANALYZING ONSITE FLOWS.

DOWNSTREAM CAPACITY
SINCE THIS SITE IS ALREADY FULLY DEVELOPED AND THE SURROUNDING AREA IS FULLY
DEVELOPED IT WOULD BE CONSERVATIVE TO SAY THAT THE DEVELOPED DISCHARGE FROM
THE ASPHALT PAVING IMPROVEMENTS TO THE EXISTING PARKING LOTS THAT THIS SITE
WOULD HAVE MINIMAL IMPACT TO THE SURROUNDING AREA; THEREFORE, IT APPEARS
THAT FREE DISCHARGE IS APPROPRIATE.

EROSION CONTROL
TEMPORARY EROSION CONTROL WILL BE REQUIRED DURING THE CONSTRUCTION PHASE TO
PROTECT DOWNSTREAM PROPERTY AND IMPROVEMENTS FROM SEDIMENT AND
UNCONTROLLED RUNOFF. THE CONTRACTOR SHALL INCLUDE TEMPORARY EARTH
BERMING ALONG THE SOUTH, NORTH, EAST AND WEST SIDE OF THE PROJECT
BOUNDARIES TO HOLD RUNOFF DURING CONSTRUCTION. IT IS THE CONTRACTOR'S
RESPONSIBILITY TO PROPERLY MAINTAIN THESE FACILITIES DURING THE CONSTRUCTION
PHASE OF THE PROJECT.

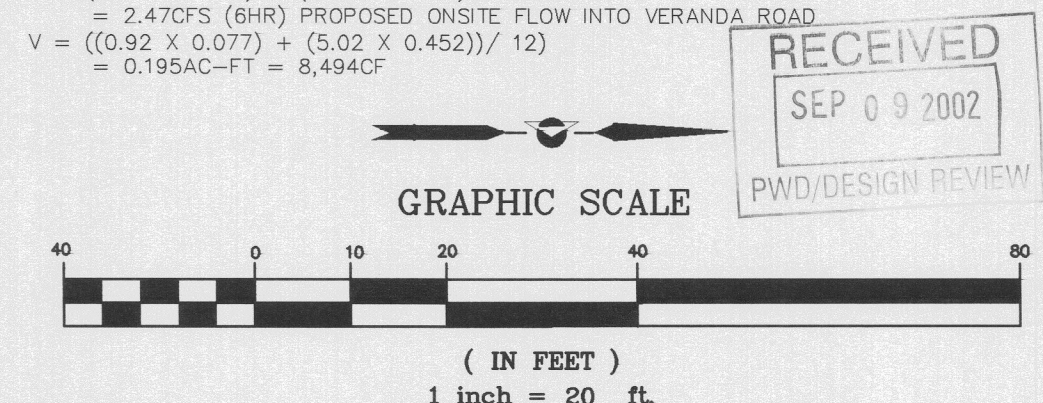
OFFSITE FLOWS
BASED ON A FIELD VISIT OF THE SITE IT APPEARS THAT NO OFFSITE FLOWS ENTER THIS
PROPERTY.

- DRAINAGE CALCULATIONS
1. PRECIPITATION ZONE = 3
 2. DESIGN STORM = DEPTH (INCHES) AT 100-YEAR STORM
6-HOUR = 2.60 INCHES
24-HOUR = 3.10 INCHES
10 DAY = 4.90 INCHES
 3. PEAK DISCHARGE (CFS/ACRE) FOR 100-YEAR, ZONE 2, TABLE A-9:
Q = 1.87 CFS/ACRE SOIL UNCOMPACTED "A"
Q = 2.60 CFS/ACRE LANDSCAPED "B"
Q = 3.45 CFS/ACRE COMPACTED SOIL "C"
Q = 5.02 CFS/ACRE IMPERVIOUS AREA "D"
FOR WATERSHEDS LESS THAN OR EQUAL TO 40 ACRES
 4. EXCESS PRECIPITATION, F (INCHES), 6-HOUR STORM, ZONE 2, TABLE A-8:
E = 0.66 INCHES SOIL UNCOMPACTED "A"
E = 1.29 INCHES LANDSCAPED "B"
E = 1.29 INCHES COMPACTED SOIL "C"
E = 2.36 INCHES IMPERVIOUS AREA "D"
 5. EXISTING EQUALS PROPOSED CONDITIONS (SINCE NO INCREASE IN LAND
TREATMENT "D" PROPOSED WITH THESE PAVING IMPROVEMENTS)

DRAINAGE BASIN CURRENTLY DRAINING INTO CANDELARIA ROAD FROM THE
MAIN CATHEDRAL SITE:
TREATMENT AREA (ACRES)
A 0
B 0.098 (LANDSCAPED ISLANDS)
C 0
D 0.333 (ROOF AREA) + 0.757 (ASPHALT & CONCRETE AREA)
= 1.090 (TOTAL IMPERVIOUS AREA)
Q = (2.60 X 0.098) + (5.02 X 1.090)
= 5.73 CFS (6HR) PROPOSED ONSITE FLOW INTO CANDELARIA ROAD
V = ((0.92 X 0.098) + (5.02 X 1.090)) / 12
= 0.463 AC-FT = 20,189 CF

DRAINAGE BASIN CURRENTLY DRAINING INTO VERANDA ROAD FROM THE
MAIN CATHEDRAL SITE:
TREATMENT AREA (ACRES)
A 0
B 0.032 (LANDSCAPED ISLANDS)
C 0
D 0.067 (ROOF AREA) + 0.390 (ASPHALT & CONCRETE AREA)
= 0.457 (TOTAL IMPERVIOUS AREA)
Q = (2.60 X 0.032) + (5.02 X 0.457)
= 2.37 CFS (6HR) PROPOSED ONSITE FLOW INTO VERANDA ROAD
V = ((0.92 X 0.032) + (5.02 X 0.457)) / 12
= 0.194 AC-FT = 8,434 CF

DRAINAGE BASIN CURRENTLY DRAINING INTO VERANDA ROAD FROM THE
NORTH PARKING LOT SITE:
TREATMENT AREA (ACRES)
A 0
B 0.077 (LANDSCAPED ISLANDS)
C 0
D 0.452 (ASPHALT & CONCRETE AREA)
Q = (2.60 X 0.077) + (5.02 X 0.452)
= 2.47 CFS (6HR) PROPOSED ONSITE FLOW INTO VERANDA ROAD
V = ((0.92 X 0.077) + (5.02 X 0.452)) / 12
= 0.195 AC-FT = 8,494 CF



FILE: 020701-SANGRE CHURCH 	DRAINAGE PLAN FOR SANGRE DE CRISTO CHURCH PARKING LOT PAVING IMPROVEMENTS	DATE/REVISIONS:
	Applied Engineering & Surveying, Inc. 1605 BLAIR DRIVE NE ALBUQUERQUE, NEW MEXICO 87112 PH: (505)237-1456	SHEET NUMBER: <div align="center" style="font-size: 2em;">1</div>

