



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 9, 1991

Charles M. Easterling, P.E.
Easterling & Associates, Inc.
5643 Paradise Boulevard, NW
Albuquerque, New Mexico 87114

RE: DRAINAGE PLAN FOR MCDONALD'S CORPORATION
(G-20/d31) ENGINEER'S STAMP DATED MARCH 22, 1991

Dear Mr. Easterling:

Based on the information provided on your submittal of April 2, 1991, the above referenced plan is approved for Building Permit.

Please be advised that a separate permit is required for construction within City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

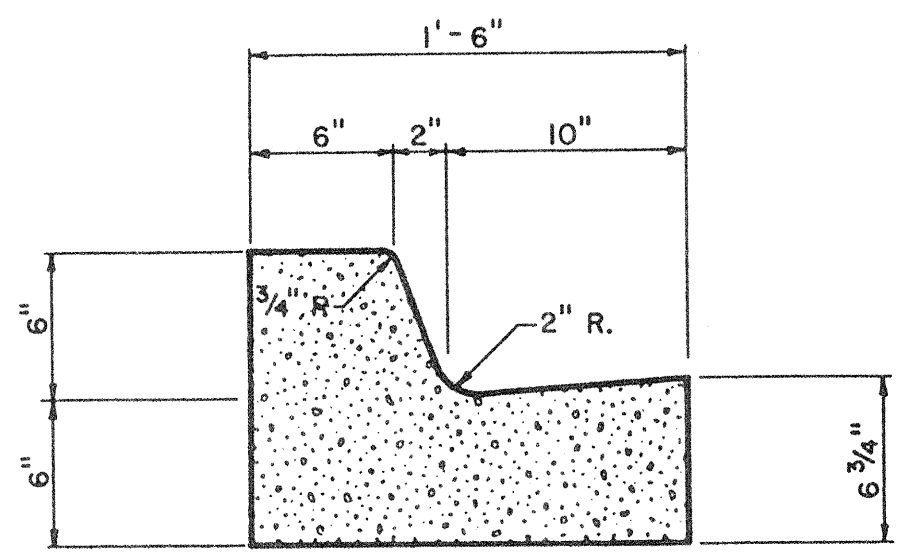
Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

xc: Alan Martinez
Darlene Saavedra

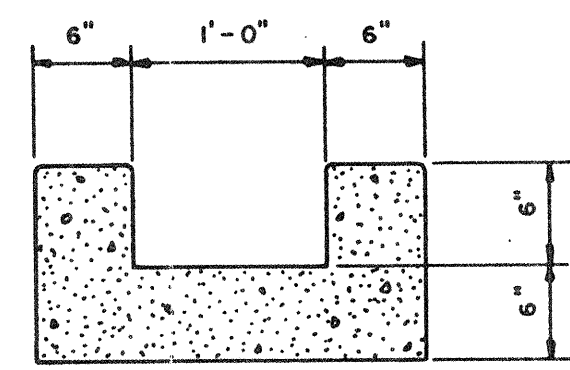
BJM/bsj

PUBLIC WORKS DEPARTMENT



MEDIAN CURB AND GUTTER

NOT TO SCALE



CONCRETE RUNDOWN

SCALE: 1"=1'

PERMISSION HAS BEEN GIVEN TO MAKE IMPROVEMENTS TO 25' ACCESS AND UTILITY EASEMENT.

GENERAL NOTES FOR GRADING AND DRAINAGE

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986 EDITION, EXCEPT FOR GENERAL CONDITIONS.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 280-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- DISPOSAL OF ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AS SPECIFIED IN SECTION 6.14 OF THE GENERAL CONDITIONS IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986 EDITION.
- ALL CONCRETE DUMPSTER PADS SHALL BE SIX-INCH REINFORCED CONCRETE (8"x6", 10 GA. W.W.M.).
- OWNERSHIP OF DOCUMENTS: THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF EASTERLING & ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF EASTERLING & ASSOCIATES, INC.
- CONSTRUCTION SAFETY: THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE CONTRACTOR'S RESPONSIBILITY.
- EROSION CONTROL: THE SITE WILL BE FULLY DEVELOPED IMMEDIATELY. EROSION PROBLEMS GENERATED BY PHASED DEVELOPMENT WILL NOT, THEREFORE, BE A PROBLEM.
- CONSTRUCTION PHASE: THE CONTRACTOR SHALL EXERCISE REASONABLE CARE DURING CONSTRUCTION TO PREVENT THE MOVEMENT OF SEDIMENT FROM THE SITE INTO THE STREET. LOOSE SOIL STOCKPILES IN THE STREET DURING UTILITY CONNECTION ACTIVITIES SHALL BE PROTECTED FROM BEING CARRIED DOWNSTREAM BY FLOWING WATER IN THE STREET.

LEGEND	
DESCRIPTION	NEW EXISTING
CONTOURS	5094 5088 5080
SPOT ELEVATIONS	
DRAINAGE AREA BOUNDARY	
DRAINAGE DIVIDE	
WATER BLOCK	
DIRECTION OF FLOW	
ASPHALT PAVING	ASPHALT L.S.
LANDSCAPING	
RETAINING WALL	
GARDEN WALL	
SWALE	
PROPERTY LINE	
FENCE	
CATCH BASIN	
STORM DRAIN M.H. & LINE	
SANITARY SEWER M.H. & LINE	
FIRE HYDRANT & WATER LINE	
REDUCERS	
WATER VALVES	
WATER CONNECTIONS	
WATER JOINTS	
CONCRETE	
GAS LINE	
UNDERGROUND TELEPHONE	
CABLE TELEVISION	
POWER/TELEPHONE POLE	
UNDERGROUND ELECTRICAL	
CURB ELEVATION	
HYDROLOGICAL ANALYSIS PT.	
DETAIL REFERENCE	
KEYED NOTES	
C.O.A. DETAIL REFERENCE	
CURVE OR COORDINATE	
REFERENCE INFO.	
PHASE BOUNDARY	

TEXT

EXISTING

THE PROPERTY IS CURRENTLY FULLY DEVELOPED WITH ALL DRAINAGE FLOWING TO CANDELARIA ROAD.

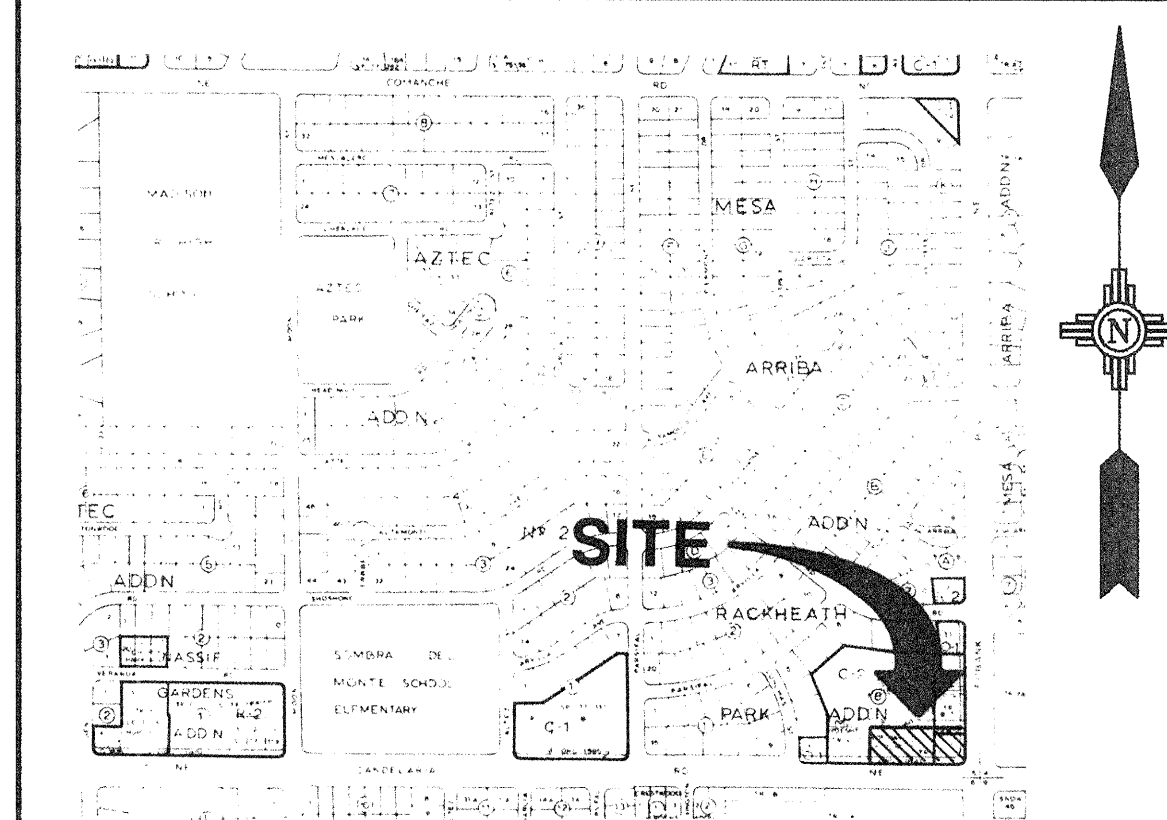
DEVELOPED

THE WHOLE TRACT OF LAND IS BEING RECONSTRUCTED, ADDING MORE LANDSCAPING AND LESS ASPHALT. ALL DRAINAGE WILL STILL FLOW TO CANDELARIA ROAD VIA THE LANDSCAPED AREAS ADJOINING CANDELARIA ROAD WHENEVER POSSIBLE. THE SITE HAS FREE DISCHARGE TO THE STREET.

EUBANK BLVD. NE

SCALE: 1"=20'

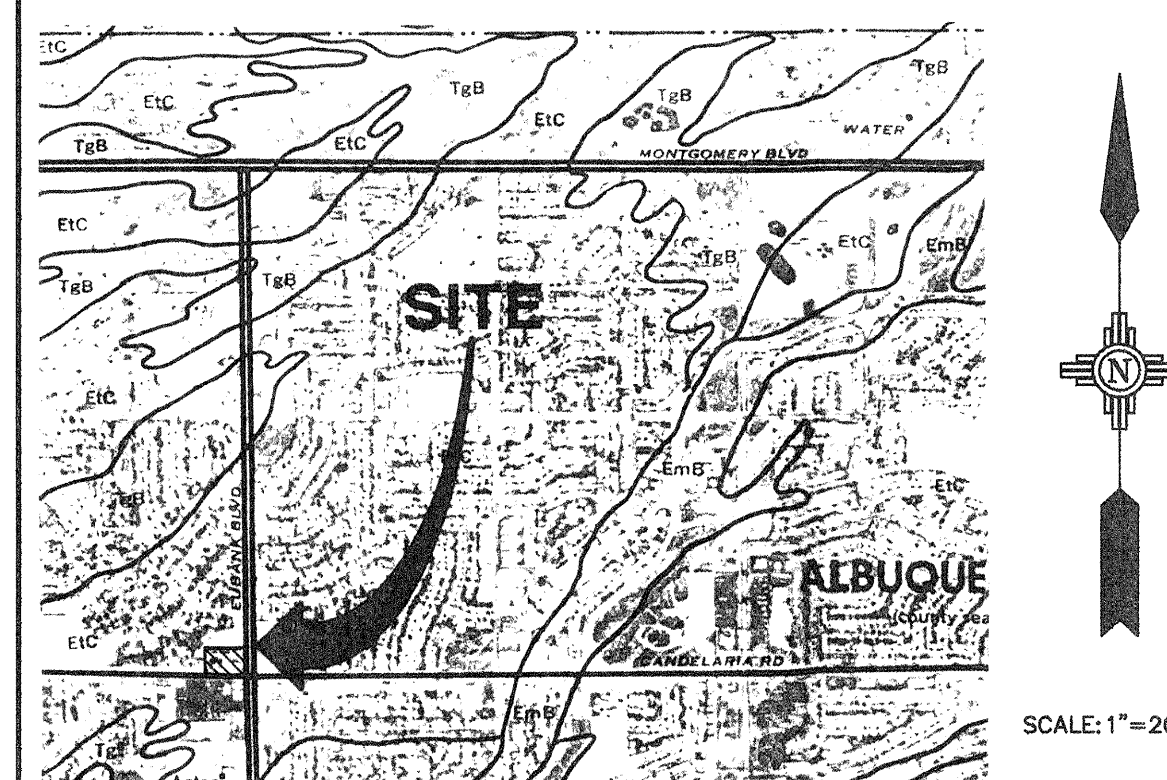
VICINITY MAP
ZONE ATLAS MAP NO. G-20



FLOOD HAZARD MAP
8 OFFSITE FLOWS
FEMA MAP NO. 24

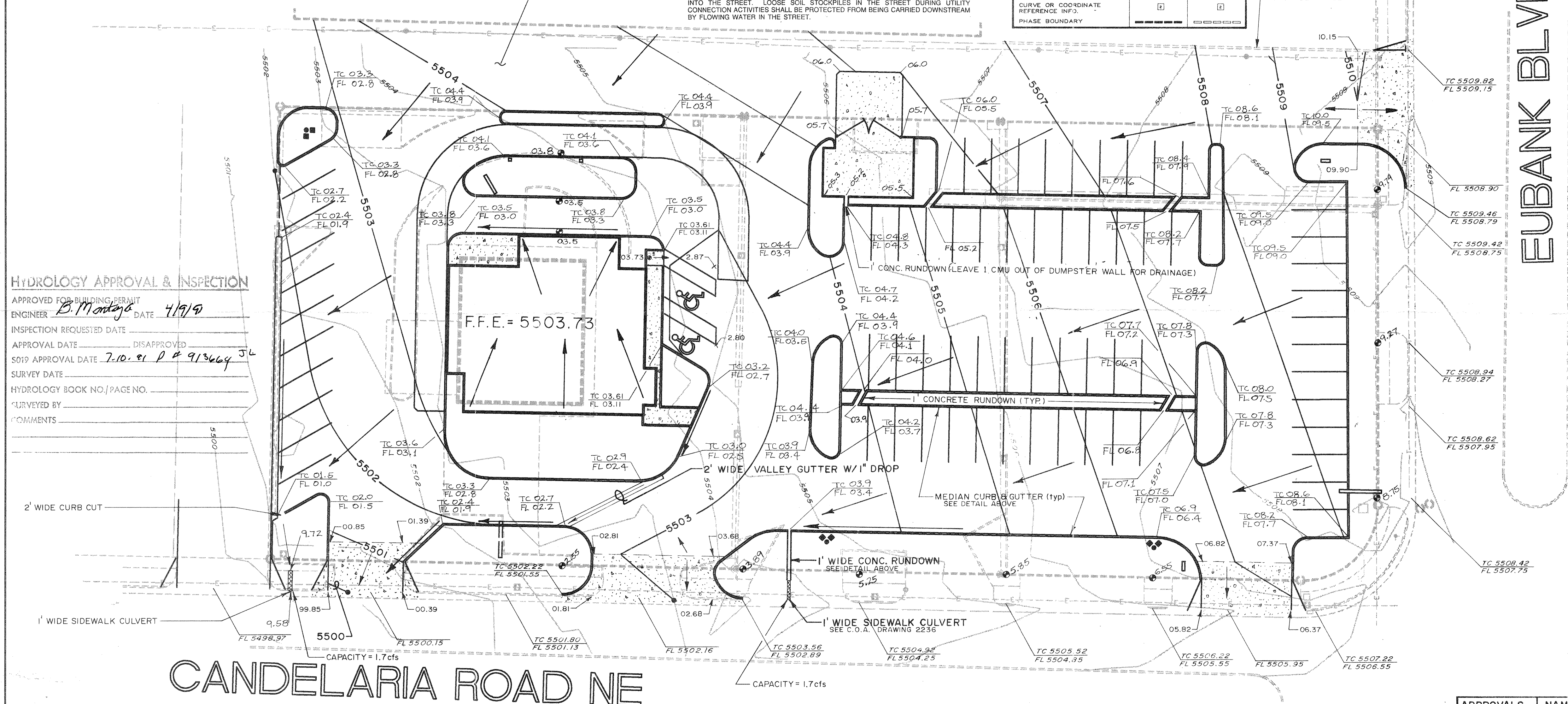


SOILS MAP
SOIL SURVEY U.S.D.A., S.C.S. MAP NO. 22



HYDROLOGY APPROVAL & INSPECTION

APPROVED FOR BUILDING PERMIT
ENGINEER *B. Montoya* DATE *4/19/91*
INSPECTION REQUESTED DATE
APPROVAL DATE
DISAPPROVED
SOP APPROVAL DATE *7-10-91 P & 9/3/91*
SURVEY DATE
HYDROLOGY BOOK NO./PAGE NO.
SURVEYED BY
COMMENTS



BENCHMARK INFORMATION: ACS MONUMENT 6-G21 LOCATED IN THE WESTERN QUADRANT OF THE INTERSECTION OF EUBANK BLVD. AND CANDELARIA RD. N.E. ELEVATION=5508.420
LEGAL DESCRIPTION: SITUATED WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. RACKHEATH PARK ADDITION NO.1 TRACT D OF BLOCK 8

HYDROLOGY SUMMARY

PROJECT NAME: McDONALDS CORPORATION		2491		AREA		LAND TREATMENTS				2 YEAR		10 YEAR		100 YEAR	
BASIN	CONDITION	DESCRIPTION	AREA (acres)	A	B	C	D	Q	VOLUME (ac.ft.)	Q	VOLUME (ac.ft.)	Q	VOLUME (ac.ft.)	Q	VOLUME (ac.ft.)
1	EXISTING	LOT IS TOTALLY DEVELOPED	1.24	0.0%	3.6%	0.0%	96.4%	2.4	0.0880	0.1077	4.1	0.1471	0.1804	6.1	0.2359
1	DEVELOPED	REMODELED STORE, NEW PARKING LOT	1.24	0.0%	16.2%	0.0%	83.8%	2.1	0.0749	0.0937	3.7	0.1322	0.1612	5.7	0.2164

INPUT DATA:

PRECIP. ZONE	1 HOUR	6 HOUR	24 HOUR	4 DAY	10 DAY
3	2.14	2.60	3.10	3.95	4.90

SOILS INFORMATION

FROM SOIL SURVEY U.S.D.A., S.C.S.

SOIL SERIES AND MAP SYMBOLS	DEGREE AND KIND OF LIMITATIONS FOR					SUITABILITY AS SOURCE OF—				SOIL FEATURES AFFECTING—		HYDROLOGIC SOIL GROUP	
	SEPTIC TANK ABSORPTION FIELDS	SEWAGE LAGOONS	SHALLOW EXCAVATIONS	DWELLINGS WITHOUT BASEMENTS	SANITARY LANDS (TRENCH TYPE)	LOCAL ROAD AND STREETS	ROAD FILL	SAND	GRAVEL	TOPSOIL	POND RESERVOIR AREAS		DIKES, LEVEES, AND EMBANKMENTS
*Embudo: Emb, ETC.....	Slight	Severe: seepage.	Moderate: small stones.	Slight	Severe: seepage.	Slight	Good	Poor: excess fines.	Poor: excess fines.	Poor: small stones.	Seepage	Piping; compressible	B

Embudo-Tijeras complex, 0 to 9 percent slopes. This mapping unit is about 50 percent an Embudo gravelly fine sandy loam, 0 to 5 percent slopes, and about 45 percent a Tijeras gravelly fine sandy loam that has 1 to 9 percent slopes.

The Embudo soil is in drainageways and depressions, and the Tijeras soil is on low ridges in narrow undulations. The Tijeras soil has the profile described as representative of the Tijeras series. On both soils, runoff is medium and the hazard of water erosion is moderate. Included in this unit in mapping are areas of Tesajo, Millett, and Wink soils, which make up about 15 percent of the unit.

This mapping unit is used for community development, watershed, wildlife habitat, and range. The Embudo part of this unit is subject to flooding. Control of moisture is required for proper compaction. Dryland capability subclass VIIe; native plant community 4.

APPROVALS	NAME	DATE
HYDROLOGY	<i>B. Montoya</i>	<i>4/19/91</i>
INSPECTOR		
A.C.E./FIELD		

NO. REVISIONS BY DATE

McDONALDS CORPORATION
9515 CANDELARIA RD. N.E.

McGRADING AND McDRAINAGE PLAN

EASTERLING & ASSOCIATES, INC. CONSULTING ENGINEERS	
5643 PARADISE BLVD. N.W. ALBUQUERQUE, N.M. 87114 OFFICE (505) 898-8021 FAX (505) 898-8501	
DESIGNED BY: DLS JOB NO.: 2491	CHECKED BY: DWK DATE: MARCH, 1991
SHEET 1 OF 1	