

# CITY OF ALBUQUERQUE



March 9, 2011

Lance Hoffman, P.E.  
Adams Engineering  
910 S. Kimball Avenue  
Southlake, TX 76092

**Re: McDonald's at Candelaria / Eubank, 9515 Candelaria,  
Traffic Circulation Layout  
No Engineer's Stamp provided (G20-D031)**

Dear Mr. Hoffman,

Based upon the information provided in your submittal received 03-07-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

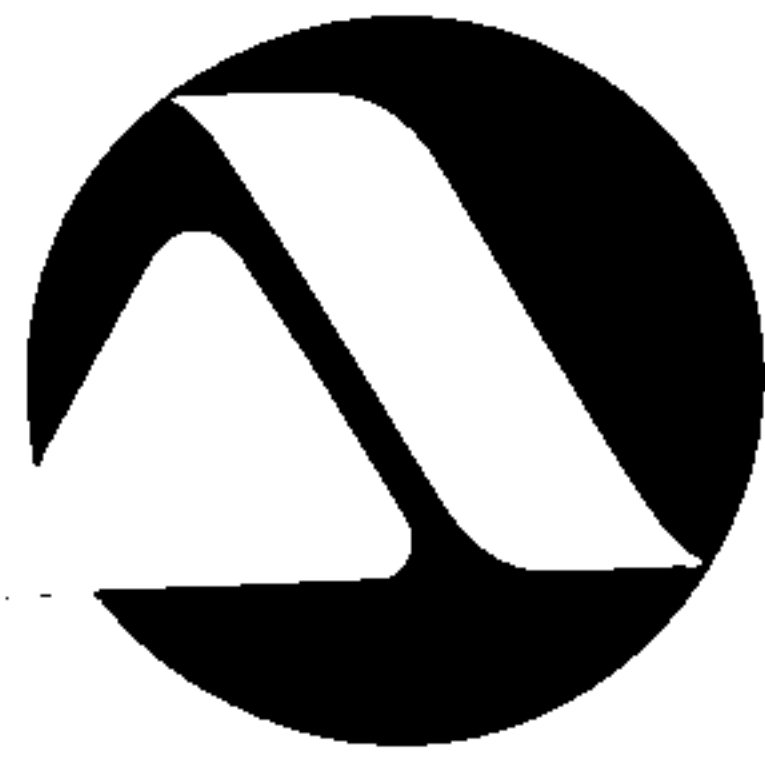
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. The drive through exit introduces a conflict between drivers entering the site and those exiting the drive through who wish to turn left on Candelaria. Shift the building to the east side of the lot or consider a different layout.
2. Drive through facilities have a minimum lane width of 12 feet with a 25 foot minimum inside edge radius, or a minimum lane width of 14 feet with a 15 foot minimum inside edge radius.
3. Candelaria Road is classified as a minor arterial roadway. As such, the minimum radius allowable at the flow line is 20 feet (see the *Development Process Manual*, Chapter 23, Section 6, Part B.9.a).
4. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
5. Provide a copy of all access easements.
6. Clarify existing versus proposed conditions. - complete redo of site
7. The plan shows proposed work on the adjacent lots; written permission from the adjacent lot owners must be provided.
8. Provide details for all ramps.
9. A ramp must be provided at the Eubank Boulevard entrance.
10. Keyed note 33 refers to a relocated traffic sign. Provide additional detail. Has this been coordinated with Traffic Operations (contact: Bill Coleman, 505-857-8683)?
11. "Do Not Enter" signs must be provided at the exit only drive.



# Adams ENGINEERING

**Dennis Lang, PE**  
QA/QC PROGRAM MANAGER  
LEED AP BD+C, CPESC,  
CPSWQ, RPLS (Tx)

910 S. Kimball Avenue  
Southlake, TX 76092

817.328.3200 OFFICE  
817.328.3205 DIRECT  
817.602.9409 CELL

[dennis.lang@adams-engineering.com](mailto:dennis.lang@adams-engineering.com)

**Benjamin Sims**  
Area Construction Manager

McDonald's Corporation  
511 John Carpenter Frwy., Suite 375  
Irving, TX 75062

p 972.869.5355

f 972.869.5380

c 469.285.3583

[benjamin.sims@us.mcd.com](mailto:benjamin.sims@us.mcd.com)

ENGINEERS • SITE SELECTORS • PLANNERS • LANDSCAPE ARCHITECTS • SCIENTISTS

# CITY OF ALBUQUERQUE



12. The plan shows a new ramp tying in to the existing drive on the adjacent site. Please provide additional information. Why is this ramp proposed at this time?
13. Provide a copy of solid waste approval.
14. Ramps should be the same width as the surrounding sidewalk.
15. Adequate throat depths must be maintained for vehicles entering the site off of Candelaria and Eubank. See the *Development Process Manual*, Table 23.7.1

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services  
C: File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



November 4, 2011

G. Robert Adams, P.E.  
**Adams Engineering**  
910 S. Kimball Ave.  
Southlake, TX 76092

**Re: McDonald's, 9515 Candelaria NE,  
Request for 90-Day Temporary C.O.—Approved  
Engineer's Stamp dated: 11/04/11 (G-20/D031)  
Certification dated: 11-04-11**

Dear Mr. Adams,

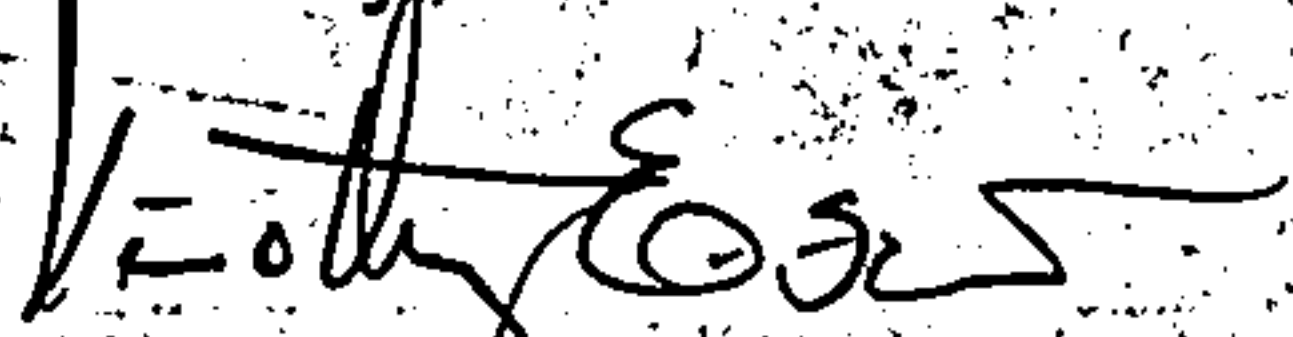
Based upon the information provided in your submittal received 11-04-11, the above referenced certification is approved for release of a 90 Day Temporary Certificate of Occupancy by Hydrology.

Prior to permanent C.O.:

- The as-built information will need to be transposed onto the approved plan dated 05/03/2011. Adequate spot elevations will need to be provided to ensure the design intent was met.

If you have any questions, you can contact me at 924-3982.

Sincerely,

  
Timothy E. Sims  
Plan Checker—Hydrology,  
Development and Building Services

C: CO Clerk—Katrina Sigala  
File

PO Box 1293

Albuquerque

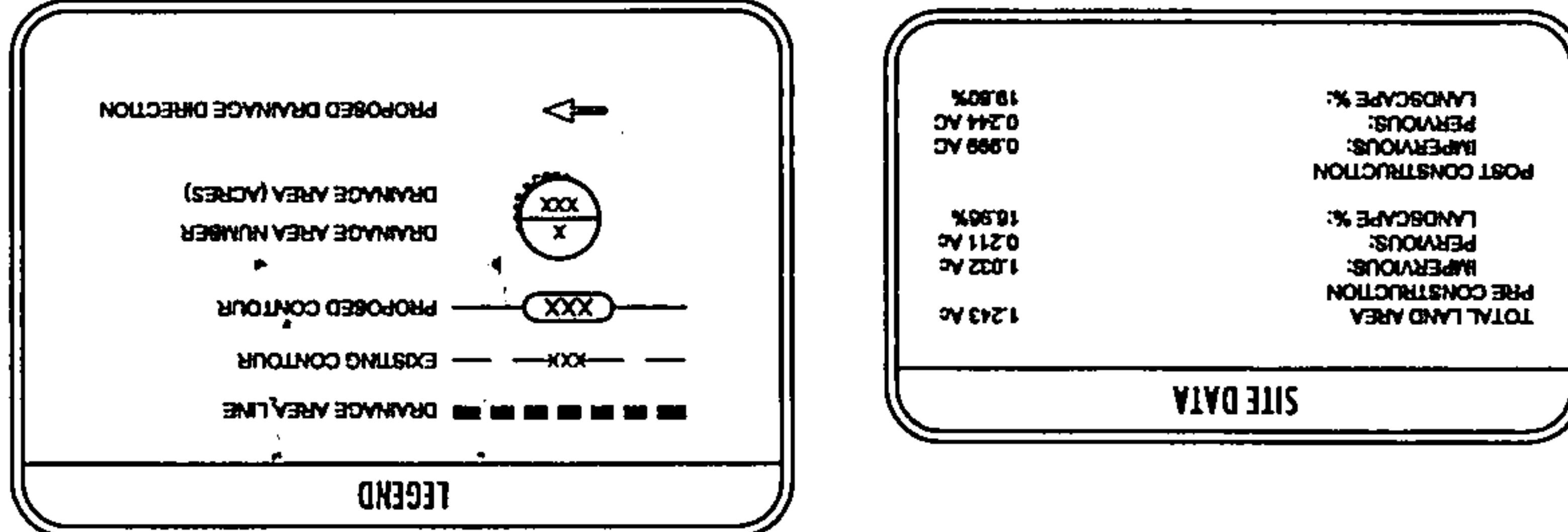
NM 87103

[www.cabq.gov](http://www.cabq.gov)

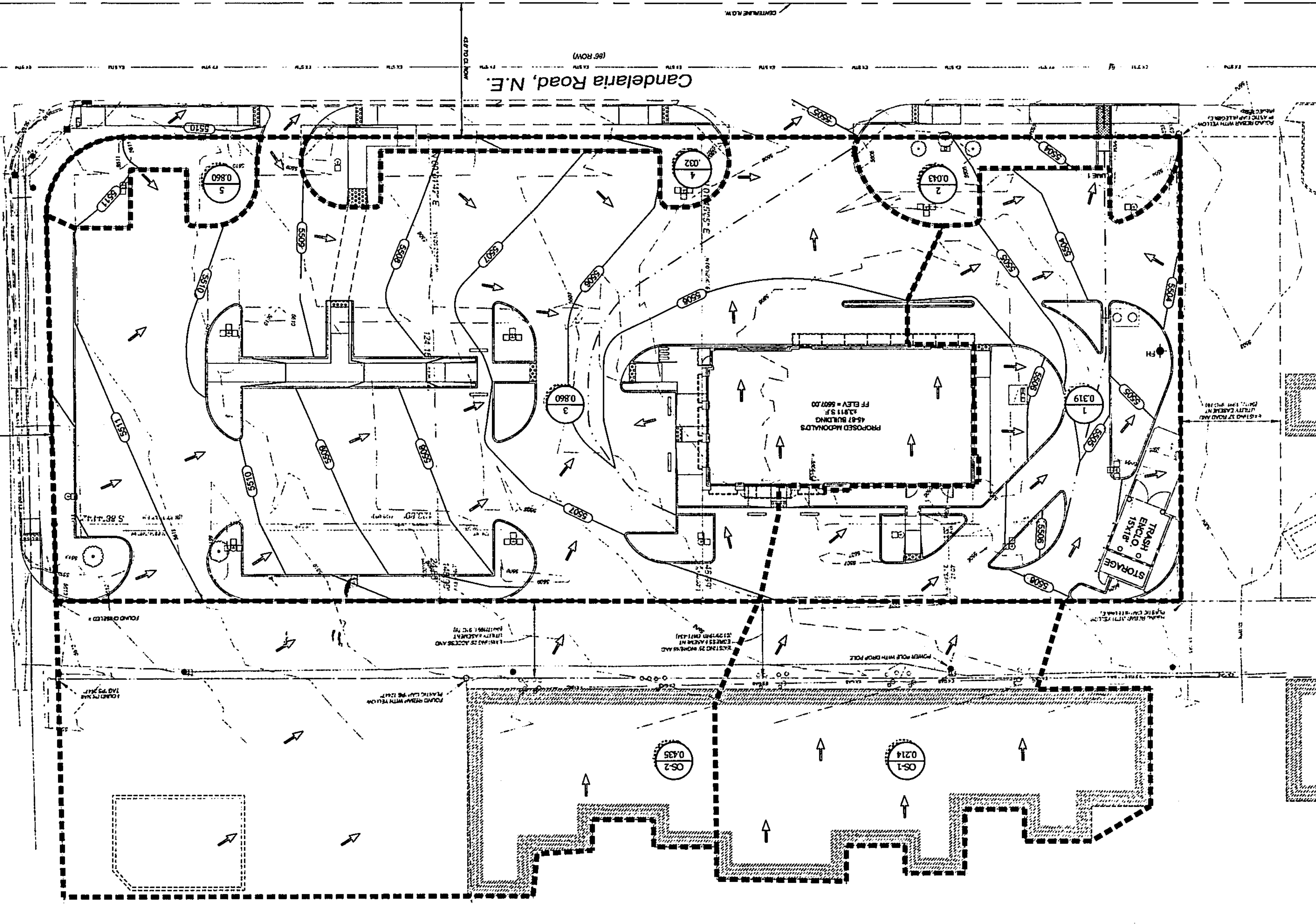
\*\*\* STOP! CALL BEFORE YOU DIG! \*\*\*  
 NEW MEXICO ONE CALL MUST BE CONTACTED (1-800-221-2827) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT NEW MEXICO ONE CALL.

FLUME SIZE CALCULATIONS BASED ON 100-YR STORM									
BASED UPON THE WEIR EQUATION									
Q = 3.087 L x H <sup>1.5</sup>									
FLUME 1	OS-1, 1	Qa	CARROVER TOTAL Qa	HEAD	% FULL	90 % H <sup>1.5</sup>	% FULL	90 % H <sup>1.5</sup>	CAPACITY
#	(cfs)	(cfs)	(cfs)	(ft)	L	(ft)	L	(cfs)	(cfs)
0	0	0	0	0.5	2.72	3.00	91%	2.95	2.95

POST-DEVELOPMENT DRAINAGE AREA CALCULATIONS									
AREA	(AC)	(H2)	(H3)	(H4)	(H5)	(H6)	(H7)	(H8)	(H9)
DA #	142	119	120	120	120	120	120	120	120
OS-1	0.800	0.820	0.820	0.820	0.820	0.820	0.820	0.820	0.820
OS-2	0.820	0.820	0.820	0.820	0.820	0.820	0.820	0.820	0.820
TOTAL	2.784	2.784	2.784	2.784	2.784	2.784	2.784	2.784	2.784



DATE: 11-11-11  
 APPROVAL BY JURISDICTIONAL ENTITIES:  
 THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.



**OWNER INFORMATION**

MCDONALD'S  
 611 E. CARPENTER FRWY, STE. 375  
 IRVING, TEXAS 75038  
 CONTACT: BEN SHAS  
 (972) 998-6555

SCALE: 1" = 20'

VICINITY MAP N.T.S.

**POST DEVELOPED DRAINAGE PLAN**  
 L/C NUMBER: 030-0004

COUNTY: ALBUQUERQUE  
 STATE: NEW MEXICO

CITY: ALBUQUERQUE  
 STREET ADDRESS: 9515 CANDELARIA

**REBUILD ADDITION**

PLAN SCALE: ---  
 PREPARED BY: SURVEY INFORMATION  
 CHECKED BY: [Signature]

**PLANNING SPECIFICATION**

CONTRACTOR TO PROVIDE: ASPHALT  CONCRETE   
 CONTRACTOR TO PROVIDE: ASPHALT  CONCRETE

**GENERAL NOTES**

- Issues, and when they are signed by the Planning Commission.
- Any conditions or restrictions shown on the plan shall be the responsibility of the Contractor.
- Contractor shall be responsible for obtaining all necessary permits from the appropriate agencies.
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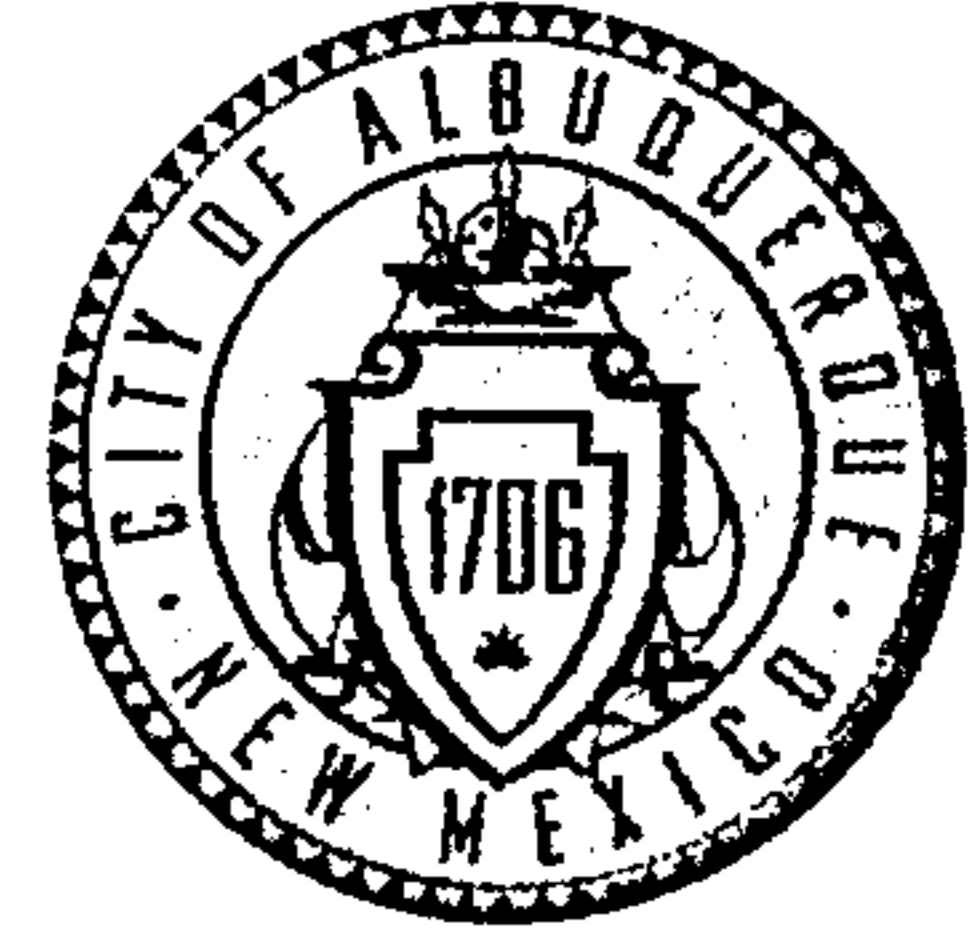
**ADAMS ENGINEERING**  
 9515 CANDELARIA, ALBUQUERQUE, NEW MEXICO  
 ADDRESS: GREATER SOUTHWEST REGION  
 ADDRESS: KNOX DRIVE, OAK BROOK, ILLINOIS 60521

**MCDONALD'S**

**REV. DATE**

REV.	DATE	DESCRIPTION	BY	ISSUE REF.
1	10/23/10	FIRST SUBMITTAL TO CITY	CLC	FS1C
2	05/03/11	REVISED PER CITY ZONING COMMENTS	LAH	
2	05/03/11	REVISED PER MCDONALD'S REQUEST	CHH	

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

November 4, 2011

G. Robert Adams, P.E.  
Adams Engineering  
910 S. Kimball Avenue  
South Lake, TX 76092

Re: Certification for Permanent Certificate of Occupancy (C.O.)  
McDonald's [G-20/D031]  
9515 Candelaria NE  
Engineer's Stamp Dated 11/04/11

Dear Mr. Adams:

Based upon the information provided in your submittal received 11-04-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division

If you have any questions, please contact me at (505)924-3630.


PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk






**TRAFFIC CERTIFICATION**

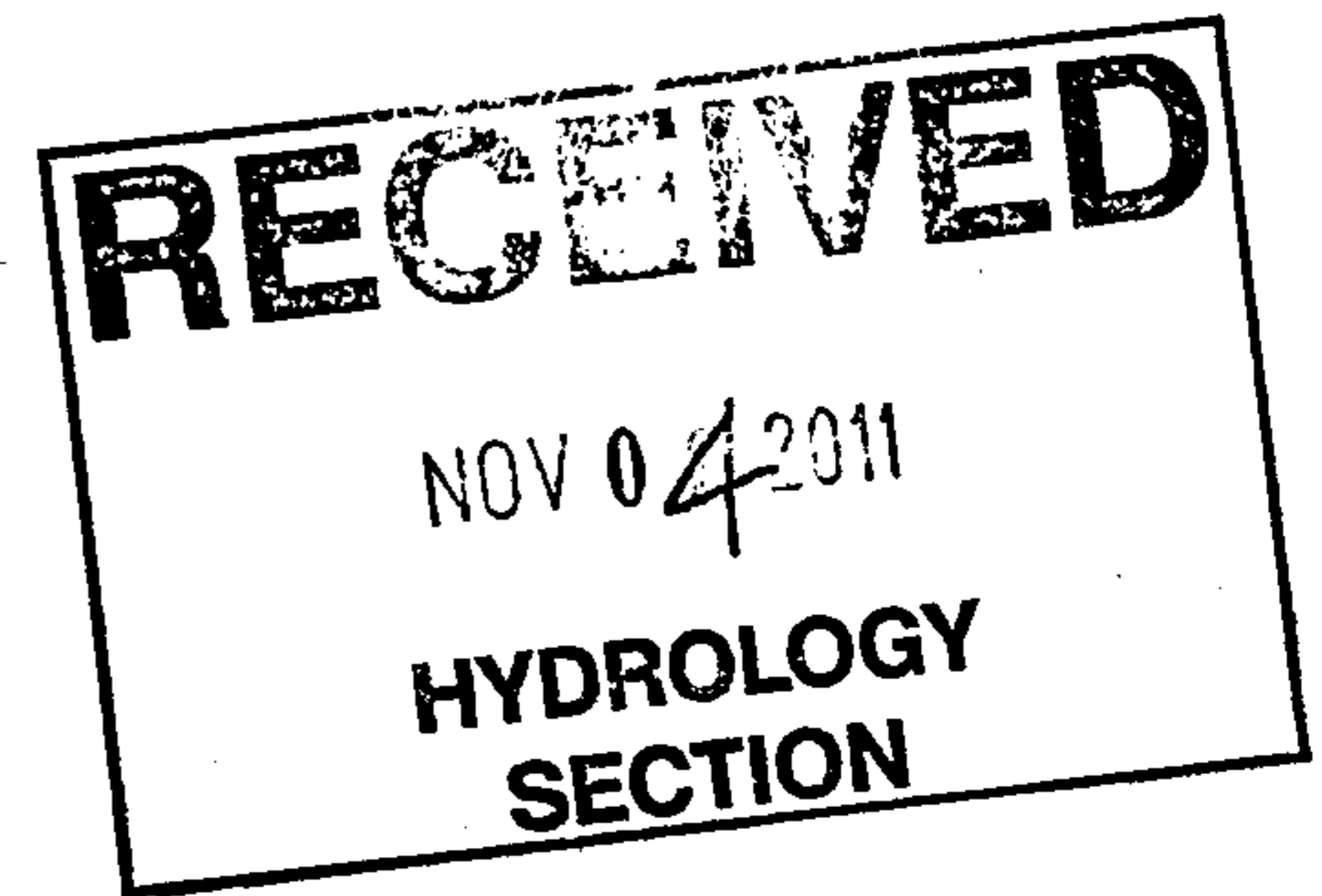
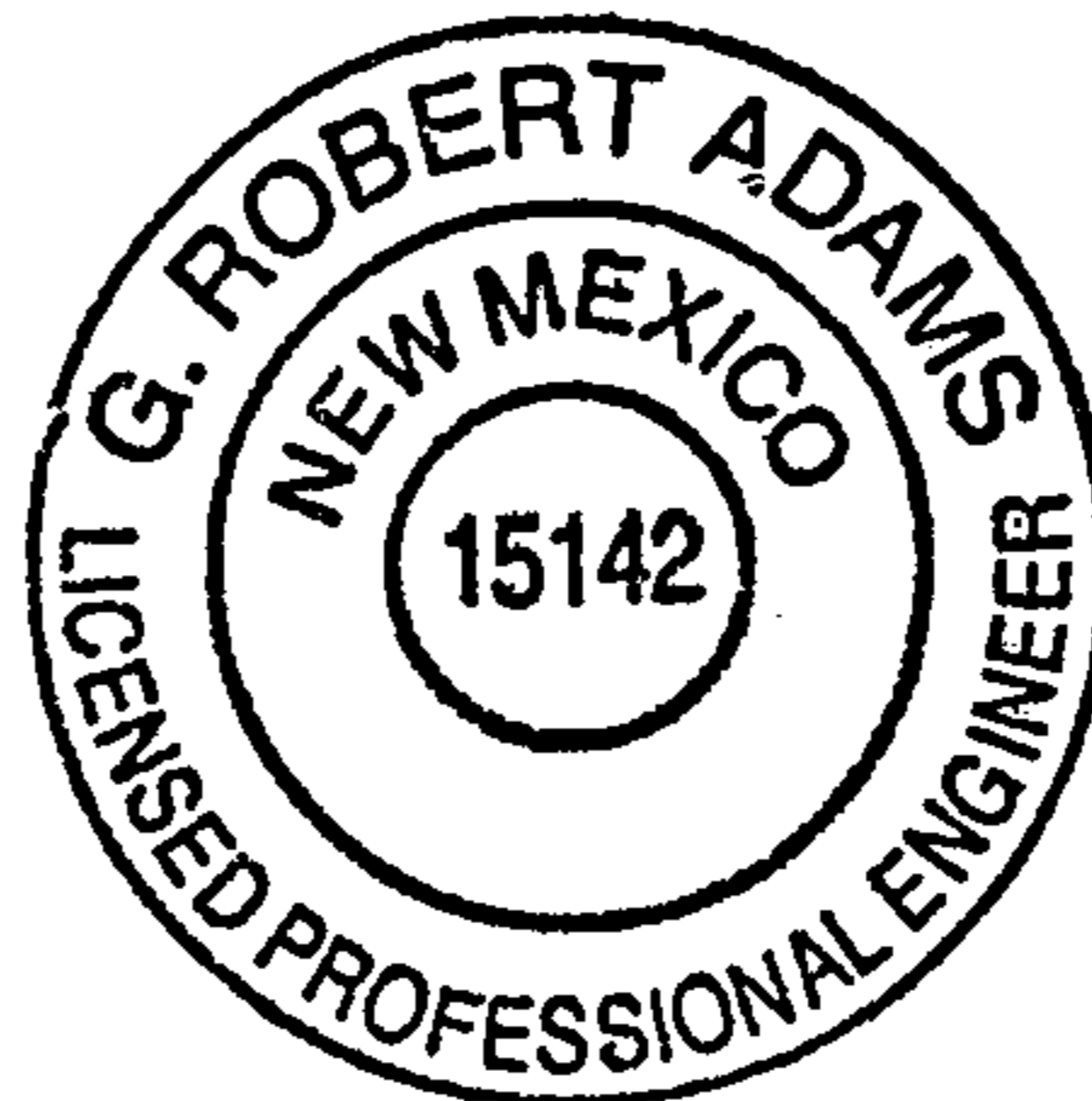
I, G. ROBERT ADAMS, NMPE 15142, OF THE FIRM ADAMS ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 06/07/2011. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME, OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT A REPRESENTATIVE FROM ADAMS ENGINEERING HAS VISITED THE PROJECT SITE ON NOVEMBER 4, 2011 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

<LIST EXCEPTIONS, IF ANY>

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
G. Robert Adams, PE

11.4.11  
Date



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**

(REV 12/2005)

G-20/0031

PROJECT TITLE: McDONALDS ZONE MAP: G-20-2  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract D, Block 8, Rackheath Park  
CITY ADDRESS: 9515 Candelaria Road

ENGINEERING FIRM: Adams Engineering CONTACT: G. Robert Adams  
ADDRESS: 910 S. Kimball PHONE: 817-328-3200  
CITY, STATE: Southlake TX 76092 ZIP CODE: 76092

OWNER: McDonald's CONTACT: Kevin McKibben  
ADDRESS: 511 E. Carpenter Fwy, Ste 375 PHONE: 630-280-9120  
CITY, STATE: Irving TX ZIP CODE: 75062

ARCHITECT: Arcvision CONTACT: John Wohlberg  
ADDRESS: 1950 Craig St., Ste. 300 PHONE: 314-415-2400  
CITY, STATE: St. Louis, MO ZIP CODE: 63146

SURVEYOR: Precision Surveyors, Inc. CONTACT: Larry Medrano  
ADDRESS: 8500-A Jefferson, St. NE PHONE: 505-856-5700  
CITY, STATE: Albuquerque, NM ZIP CODE: 87199

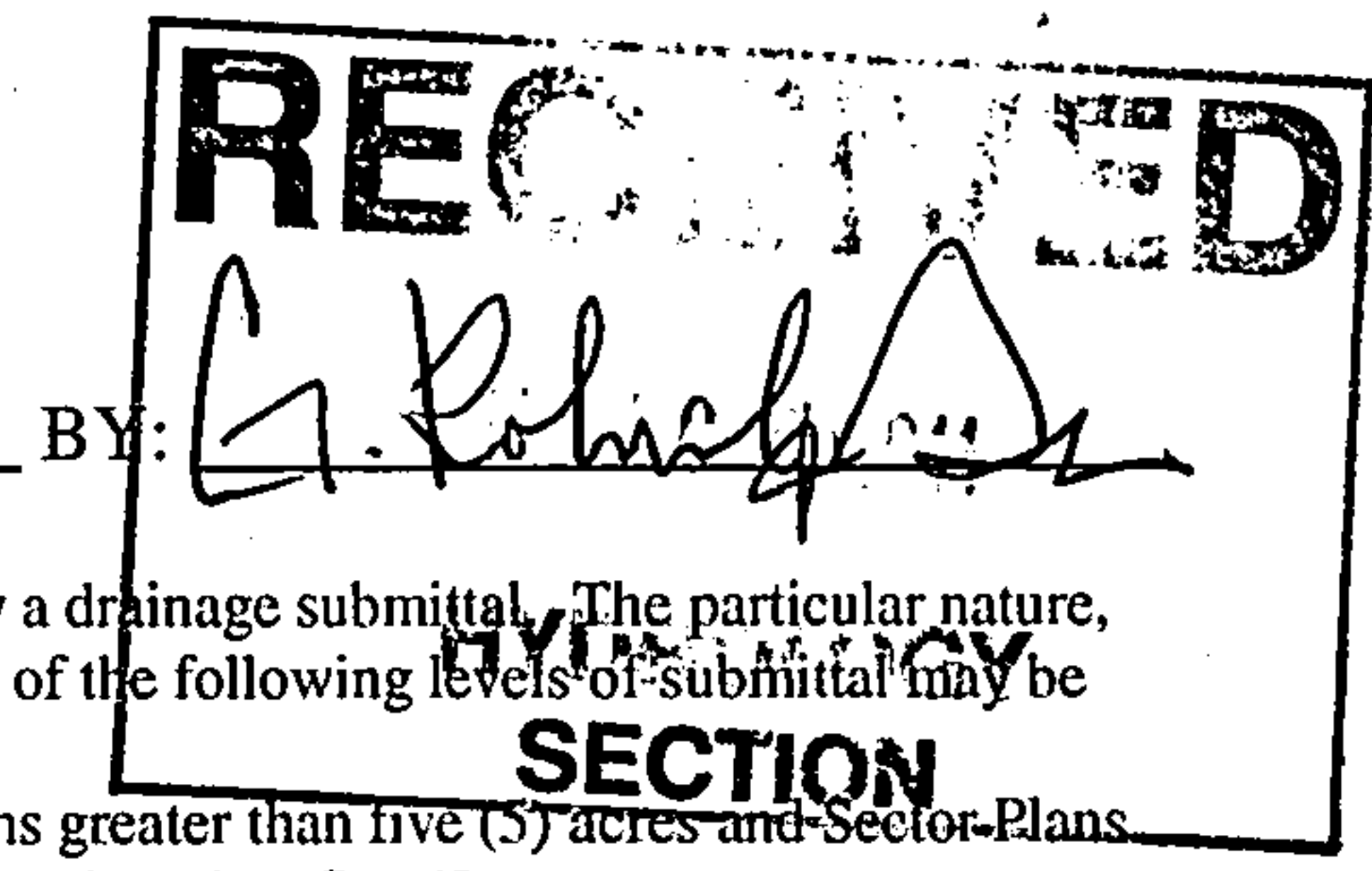
CONTRACTOR: Cordova CONTACT: Mark Cordova  
ADDRESS: 316 Osuna NE St. 202 PHONE: 505-243-9675  
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

- TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
  - DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL
  - DRAINAGE PLAN RESUBMITTAL
  - CONCEPTUAL G & D PLAN
  - GRADING PLAN
  - EROSION CONTROL PLAN
  - ENGINEER'S CERT (HYDROLOGY)
  - CLOMR/LOMR
  - TRAFFIC CIRCULATION LAYOUT
  - ENGINEER'S CERT (TCL)
  - ENGINEER'S CERT (DRB SITE PLAN)
  - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA/FINANCIAL GUARANTEE RELEASE
  - PRELIMINARY PLAT APPROVAL
  - S. DEV. PLAN FOR SUB'D APPROVAL
  - S. DEV. FOR BLDG. PERMIT APPROVAL
  - SECTOR PLAN APPROVAL
  - FINAL PLAT APPROVAL
  - FOUNDATION PERMIT APPROVAL
  - BUILDING PERMIT APPROVAL
  - CERTIFICATE OF OCCUPANCY (PERM)
  - CERTIFICATE OF OCCUPANCY (TEMP)
  - GRADING PERMIT APPROVAL
  - PAVING PERMIT APPROVAL
  - WORK ORDER APPROVAL
  - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 YES  
 NO  
 COPY PROVIDED

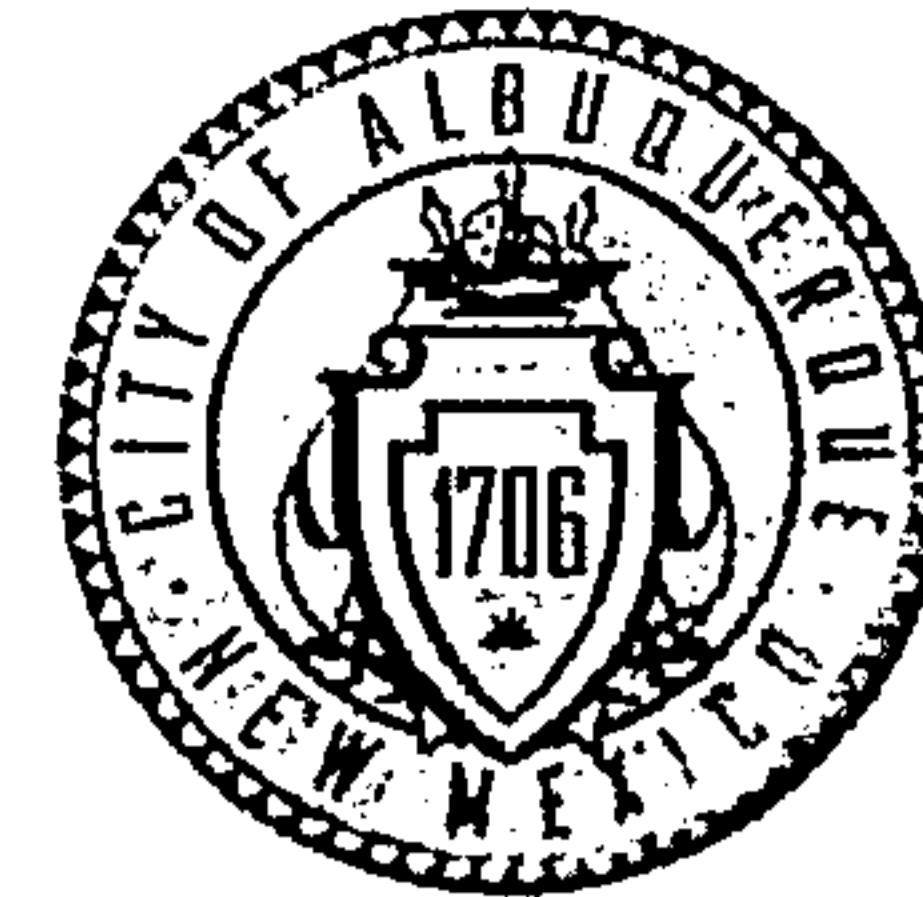
DATE SUBMITTED: 11-4-11



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



December 2, 2011

G. Robert Adams, P.E.  
**Adams Engineering**  
910 S. Kimball Ave.  
Southlake, TX 76092

**Re: McDonald's, 9515 Candelaria NE,  
Request for Permanent C.O. - Approved  
Engineer's Stamp dated: 05-03-11 (G-20/D031)  
Certification dated: 11-22-11**

Dear Mr. Adams,

Based upon the information provided in the Certification received 11-30-11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: [tsims@cabq.gov](mailto:tsims@cabq.gov).

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,  
Plan Checker—Hydrology Section  
Development and Building Services

C: CO Clerk—Katrina Sigala  
File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



May 20, 2011

G. Robert Adams, P.E.  
Adams Engineering  
2445 E. Southlake Blvd, Suite 100  
South Lake, Texas 76092

**Re: McDonalds, 9515 Candelaria NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated 5/3/11 (G20/D031)**

Dear Mr. Adams,

Based upon the information provided in your submittal received 5/19/11, the above referenced plan is approved for Building Permit and SO-19 permit. The sidewalk culvert metal cover must extend to the property line. The certified Grading Plan must reflect this requirement. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. To obtain a temporary or permanent CO the sidewalk culvert must be inspected and accepted. Please contact Martin Pacheco, 235-8016, to schedule an inspection. The sidewalk culvert should be shown to extend to the property line.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit. If there is a Work Order associated with this project, this work is to be included in the Work Order.

There has been a recent modification to the approved standard sidewalk culvert detail (COA STD DWG #2236), please see attached detail.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing  $\frac{3}{4}$  of an acre or more.

If you have any questions, you can contact me at 924-3986.

Sincerely,

A handwritten signature in cursive script that reads "Curtis A. Cherne".

Curtis A. Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Building Services

Copy: Antoinette Baldonado, Excavation and Barricading  
Martin Pacheco, Street/Storm Drain Maintenance  
Kathy Verhage, DMD  
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

## Narrative of City Comments

G-20/2031  
~~XXXXXXXXXX~~

Comments received from Curtis A. Cherne, P.E. on February 25, 2011.

- Provide a narrative of the project that includes offsite flows, existing conditions and proposed condition.

PROJECT NARRATIVE NOTES INCLUDED ON GRADING PLAN SHEET C7.0

- Include a small FIRM or text including FEMA panel number and Flood Zone designation.

FEMA NOTE INCLUDED ON GRADING PLAN SHEET C7.0

- Runoff from the flume needs to be discharged to the ROW via a sidewalk culvert (COA STD DWG 2236, plate extends to property line). ?

SIDEWALK CULVERT ADDED TO SITE PLAN SHEET C4.0 AND POST-DEVELOPED DRAINAGE PLAN SHEET C8.1

- Since the sidewalk culvert is in the ROW, an SO 19 Permit is required. To obtain one, just include the notes entitled "Drainage Facilities within City ROW Notice to Contractor" included with this letter and 2 copies of the grading plan.

PROJECT NARRATIVE NOTES INCLUDED ON GRADING PLAN SHEET C7.0. COPIES WILL BE PROVIDED AS NOTED

- Trash enclosure pads at restaurants are required to drain to the sanitary sewer after passing through the grease trap. Provide elevations in the pad and for the grate of the drain.

SANITRAY SEWER DRAIN ADDED TO TRASH ENCLOSURE ON UTILITY PLAN SHEET C9.0

- Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them.

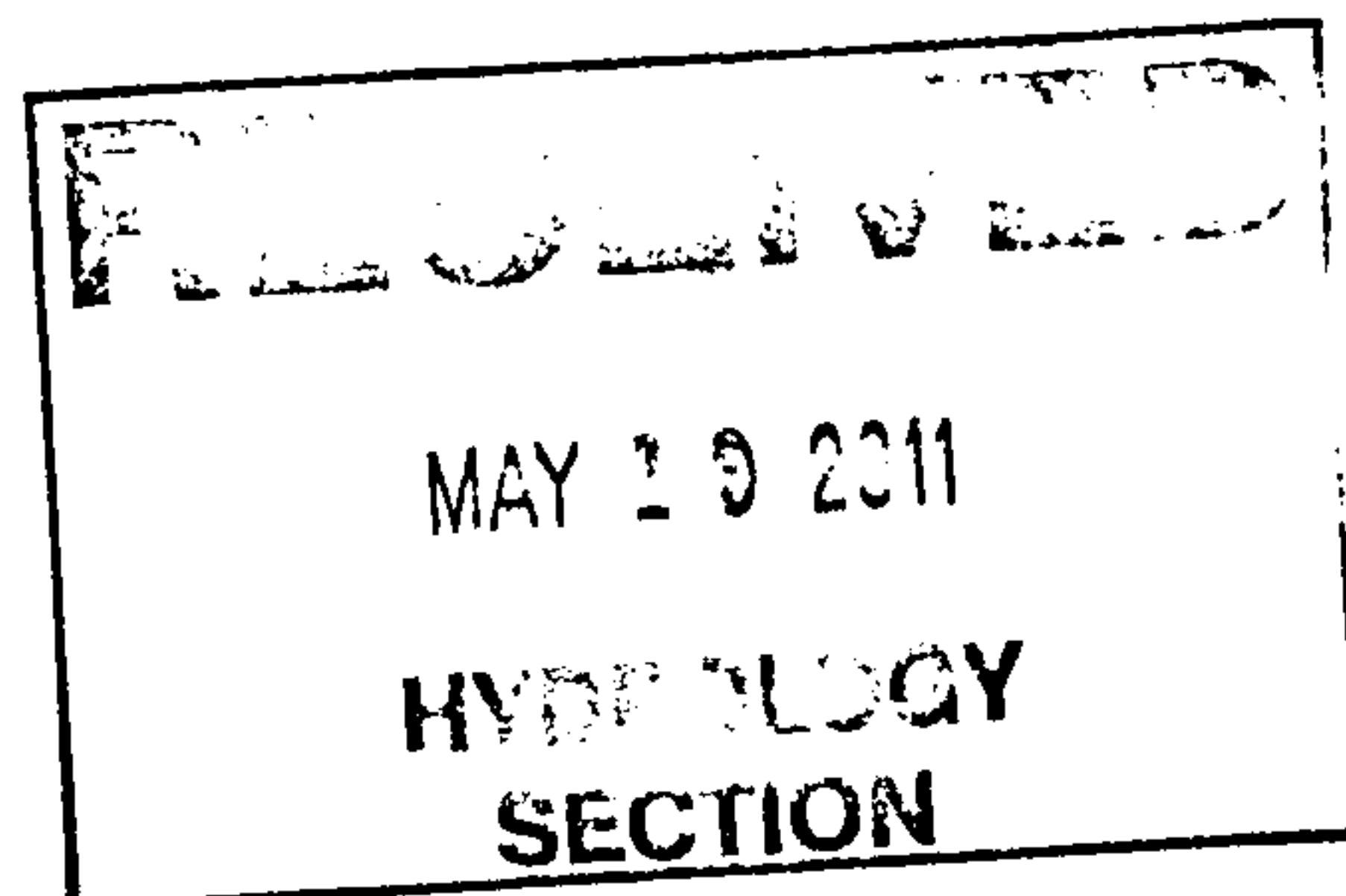
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LANDSCAPE NOTE ADDED TO GRADING PLAN SHEET C7.0

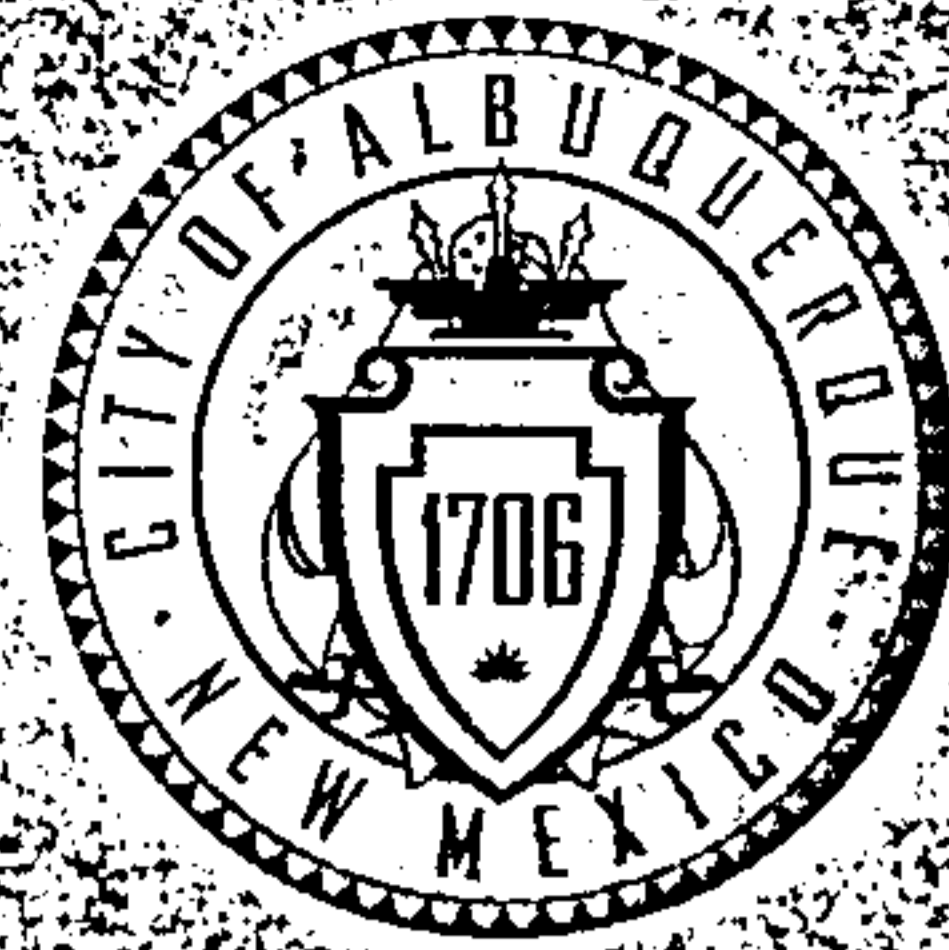
Sincerely,



**Chad Ignagni**  
Adams engineering  
910 S. Kimball Avenue  
Southlake, Texas 76092  
Main: 817-328-3200  
Direct: 817-328-3200 x. 3239  
Fax: 817-328-3299  
Email: chad.ignagni@adams-engineering.com



# CITY OF ALBUQUERQUE



June 10, 2011

G. Robert Adams, P.E.  
Adams Engineering  
910 S. Kimball Avenue  
Southlake, TX 76092

Re: McDonald's at Candelaria / Eubank, 9515 Candelaria, Traffic Circulation Layout  
Engineer's Stamp dated 06-07-11 (G20-D031)

Dear Mr. Adams,

The TCL submittal received 06-10-11 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C. File

PO Box 1293

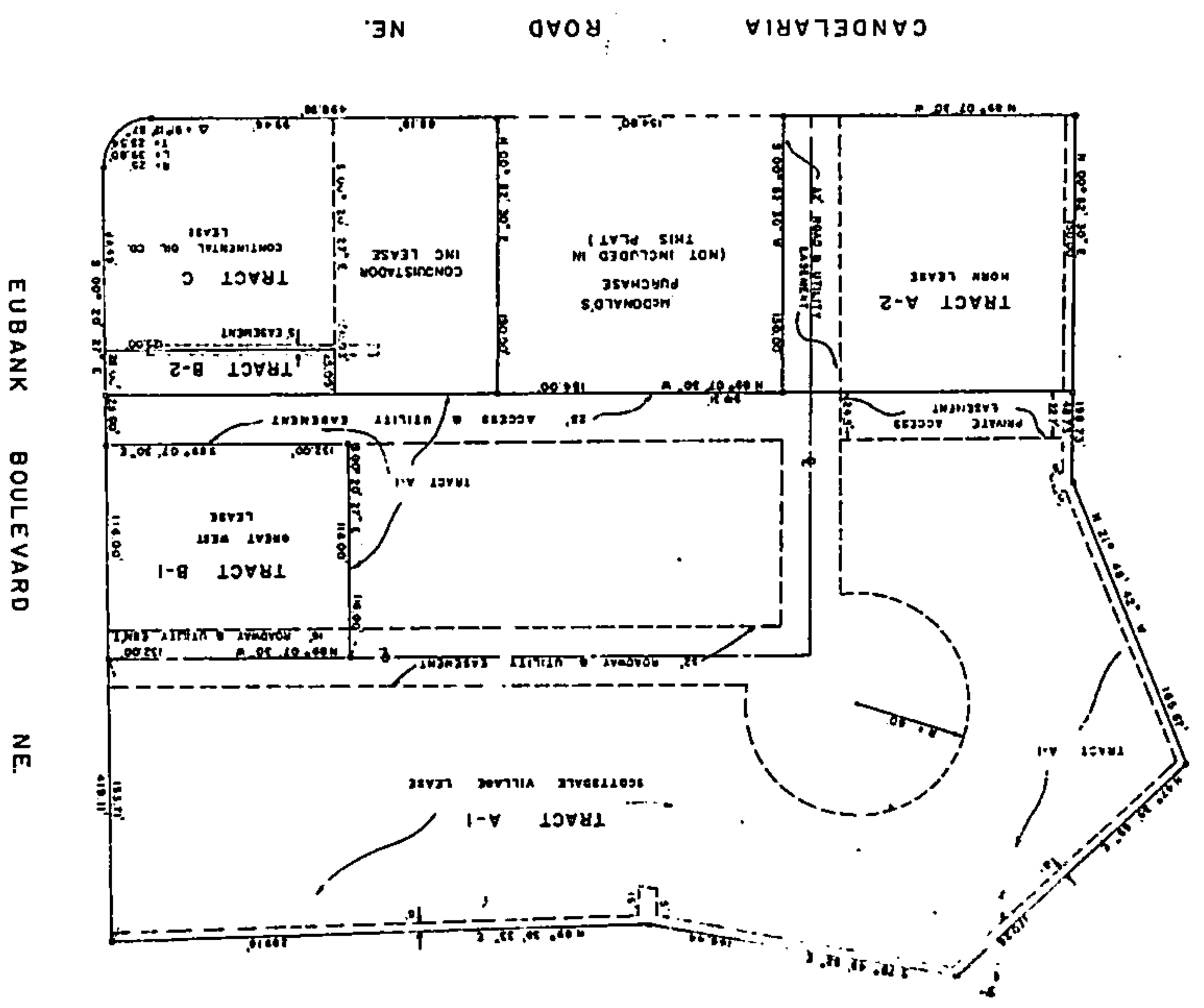
Albuquerque

NM 87103

www.cabq.gov

82-184

82-184



PLAT

1. J.W. Settle, under the laws of New Mexico, certify that I am a Registered Professional Engineer and Land Surveyor and that this plat was prepared by me or under my supervision. Engineers and Land Surveyors meet the minimum requirements for monumentation and surveys shows all easements of record, meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

*J.W. Settle*  
 J.W. Settle, Reg. P.E. & L.S. No. 3441

The previous ten years property taxes, to and including 1974 are paid.

Outstanding pre rate charges for water and sewer installations are as of 10-22-1975

Planning Director, City of Albuquerque, New Mexico  
 58-75-259  
 10-22-75 65-20

APPROVAL AND CONDITIONAL ACCEPTANCE, as specified by Subsection 22.A.10 of the Albuquerque Subdivision Ordinance

*John P. Horn*  
 John P. Horn  
 The H. B. Horn Foundation  
 The H. B. Horn Foundation

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss  
 On this \_\_\_\_\_ day of October, 1975, the foregoing instrument was acknowledged before me, a Notary Public

My commission expires \_\_\_\_\_

NOTARY PUBLIC

This replat of Lot 14, Block 8 of RACKHEATH PARK ADDITION, No. 1, is done with the free consent and in accordance with the wishes of the undersigned owners.

This plat supersedes all previously filed plats including all easements previously established on this tract of land. The purpose of this plat is to correctly show the location of all easements within this tract.

SECOND REPLAT OF LOT 14, BLOCK 8,  
 RACKHEATH PARK ADDITION, NO. 1,  
 PLAT FILED DECEMBER 1, 1953,  
 ALBUQUERQUE, NEW MEXICO.  
 OCTOBER 20, 1975

1-1-1 OCT 22 1975  
 ALBUQUERQUE, N.M.  
 1540-G MIAN TARD N.E.  
 ALBUQUERQUE, N.M.

ENCHANTMENT ENGINEERING INC.  
 1540-G MIAN TARD N.E.  
 ALBUQUERQUE, N.M.

82-184

82-184

91029075

REPLAT OF TRACTS B-2 AND C, SECOND REPLAT, AND A PORTION OF TRACT A (FIRST REPLAT)

LOT 14, BLOCK 8, RACKHEATH PARK ADDITION NO. 1

TO

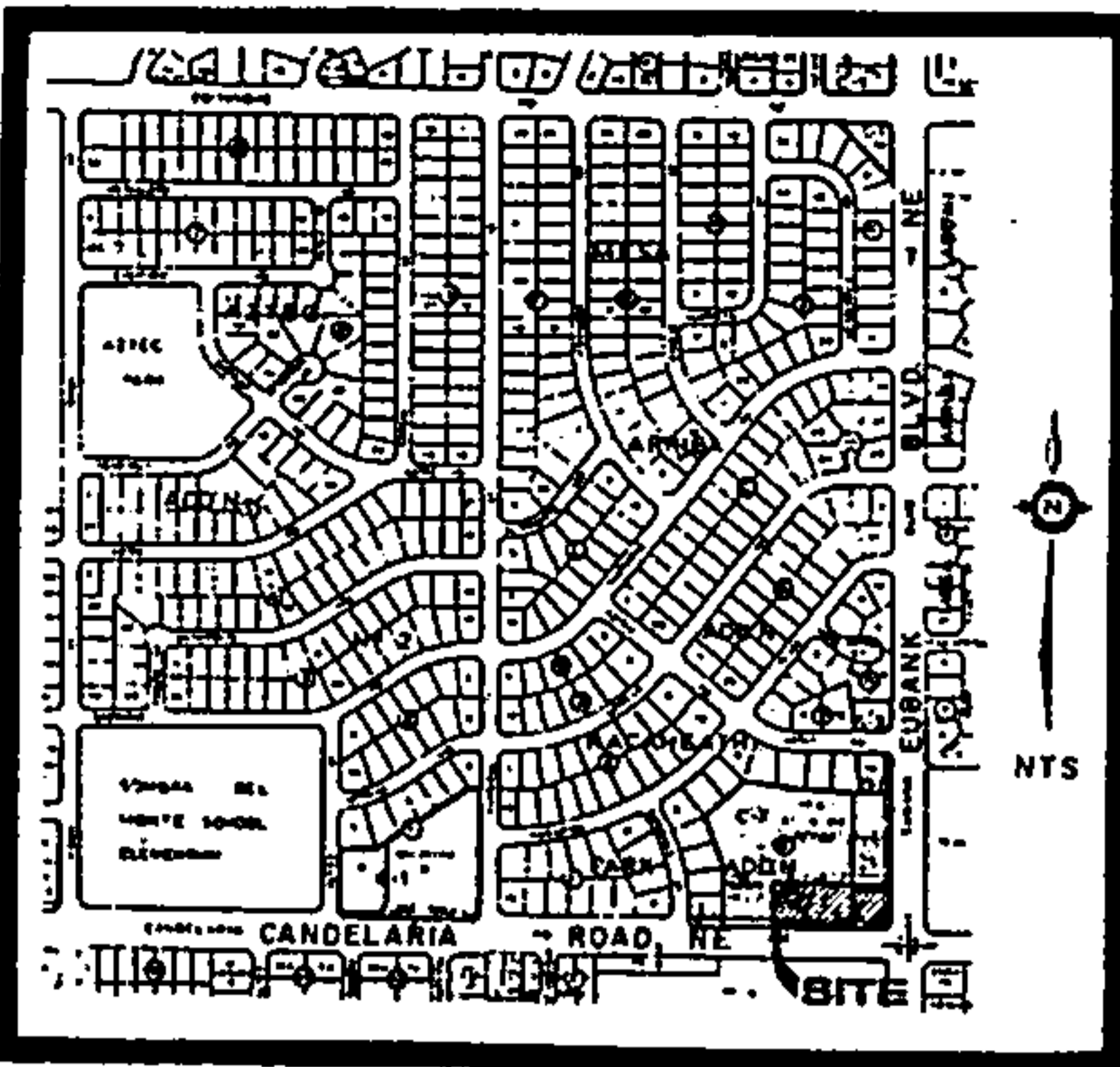
TRACT D, BLOCK 8 RACKHEATH PARK ADDITION NO. 1

(PLAT TO CONSOLIDATE PARCELS)

SECTION 5, T 10 N, R 4 E, N.M.P.M.

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 1991



LOCATION MAP N.T.S.

NOTES:

- 1. THE PURPOSE OF THIS PLAT IS TO REPLAT AND CONSOLIDATE THE ABOVE DESCRIBED PROPERTIES... 2. THE BEARING BASIS FOR THIS SURVEY IS THE NEW MEXICO STATE PLANE COORDINATE GRID... 3. ALL DISTANCES PUBLISHED ARE GROUND DISTANCES... 4. THE BEARING BASIS FOR THIS SURVEY IS REFERENCED TO PRIOR PLATING AND GEOCEUTIC BEARINGS... 5. EXISTING UTILITY EASEMENTS IDENTIFIED HEREON AS A FOOT "EASEMENT" APPEARING ON THE PLAT... 7. NO RIGHTS-OF-WAY ARE DEDICATED BY THIS PLAT NOR ON ANY EASEMENTS GRANTED.

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND/OR PROPRIETORS THEREOF...

MCDONALDS CORPORATION, A DELAWARE CORPORATION

BY: William Greenman Vice President DATE: 2-11-91

STATE OF NEW MEXICO ) COUNTY OF BERNALILLO

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 17th DAY OF February, 1991 BY William Greenman Vice President FOR MCDONALDS CORPORATION...

BY: Sandra Bruchle NOTARY PUBLIC

MY COMMISSION EXPIRES: 5-30-93



State of New Mexico } County of Bernalillo } SS This instrument was filed for record on APR 17 1991

RESERVED FOR COUNTY CLERK

LEGAL DESCRIPTION

TRACT D, BLOCK 8, RACKHEATH PARK ADDITION NO. 1 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

THAT CERTAIN PARCEL OF LAND SITUATE WITHIN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AND BEING COMPRISED OF ALL TRACTS B2 AND C OF THE PLAT ENTITLED "SECOND REPLAT OF LOT 14, BLOCK 8, RACKHEATH PARK ADDITION NO. 1, PLAT FILED DECEMBER 1, 1983, ALBUQUERQUE, NEW MEXICO, OCTOBER 20, 1975" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT HEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 22, 1975 IN VOLUME 66, FOLIO 104 (DOCUMENT NUMBER 82795) AND COMPRISING A PORTION OF TRACT A OF THE PLAT "REPLAT OF LOT 14, BLOCK 8, RACKHEATH ADDITION NO. 1, TOGETHER WITH VACATED PORTIONS OF CANDELARIA ROAD, N.E., AND EUBANK BOULEVARD, N.E., ADJACENT HERETO ALBUQUERQUE, NEW MEXICO" AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT HEREOF FILED IN THE OFFICE OF COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 10, 1968 IN VOLUME 84, FOLIO 104 (DOCUMENT NUMBER 10892) BEING BOUNDED ON THE NORTH BY TRACT A-1 AND ON THE WEST BY TRACT A-2 OF THE FOREMENTIONED "SECOND REPLAT OF LOT 14, BLOCK 8" FILED OCTOBER 22, 1975 AND BOUNDED ON THE SOUTH AND EAST BY THE RIGHTS-OF-WAY OF CANDELARIA ROAD, N.E., AND EUBANK BOULEVARD, N.E., AS VACATED BY CITY ORDINANCE NUMBER 18A1 AND QUICK CLAIM DEED, CITY OF ALBUQUERQUE, NEW MEXICO TO CALVIN P. AND H.B. HORN, RECORDED MAY 2, 1961 IN VOLUME 693, FOLIO 1 (DOCUMENT NUMBER 19256) AND BEING FURTHER DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE WEST-NORTHWEST POINT OF CURVATURE OF THE BLOCK CORNER AT THE NORTHWEST CORNER OF EUBANK BOULEVARD AND CANDELARIA ROAD, N.E., A "P.N.M." FOUND DURING THIS SURVEY WHEN THE CITY OF ALBUQUERQUE CONTROL STATION (ACS) NUMBERED "6-021" BEARS 27°34'51" E, 43.10 FEET (SAD CONTROL STATION HAVING NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE, OF X=418,984.7 AND Y=1,497,436.18 FEET, BEING THE STANDARD ACS BRASS TABLE SET IN THE TOP OF THE CONCRETE CURB AT A NOSE OF A STREET MEDIAN); THENCE:

N 01°10'26" E, 149.07 FEET TO THE NORTHWEST CORNER OF THE PARCEL HEREOF DESCRIBED AND BEING THE NORTHEAST CORNER OF TRACT A-2 OF THE FOREMENTIONED "SECOND REPLAT OF LOT 14, BLOCK 8, RACKHEATH PARK ADDITION"; THENCE,

S 88°47'56" E, 362.92 FEET ALONG THE SOUTHERLY LINE OF TRACT A-1 OF THE FOREMENTIONED "SECOND REPLAT OF LOT 14, BLOCK 8, RACKHEATH PARK ADDITION" TO THE WESTERLY RIGHT-OF-WAY LINE OF EUBANK BOULEVARD, N.E., (AS VACATED BY CITY ORDINANCE NUMBER 18A1); THENCE,

S 03°04'11" E, 123.39 FEET ALONG THE WESTERLY RIGHT-OF-WAY LINE OF EUBANK BOULEVARD, N.E., TO A POINT OF CURVATURE; THENCE,

SOUTH-WESTERLY, 39.81 FEET ALONG THE ARC OF A CURVE BEARING TO THE RIGHT (SAID ARCHING A RADIUS OF 28.00 FEET, A CENTRAL ANGLE OF 91°14'37", AND A CHORD WHICH BEARS S 45°33'08" W, 36.74 FEET) TO A POINT OF TANGENCY BEING THE WEST-NORTHWEST BLOCK CORNER OF THE STREET INTERSECTION AND THE PLACE OF BEGINNING OF THE PARCEL HEREOF DESCRIBED.

SAID PARCEL CONTAINS 1.24357 ACRES (64,170 SQUARE FEET) MORE OR LESS.

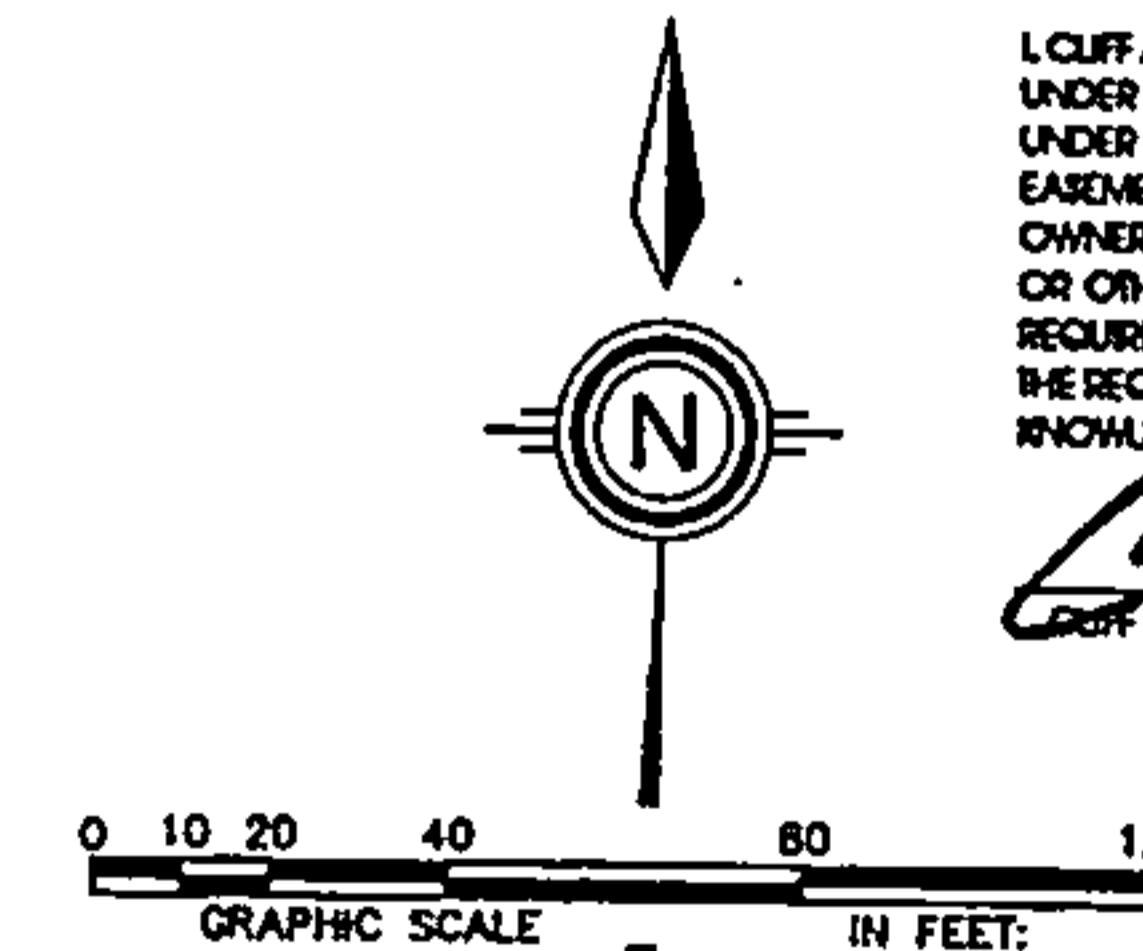
P.N.M. DISCLAIMER

By approving this document, P.N.M. does NOT waive or release any statement or easement rights which may have been granted by prior plat, replat, or document.

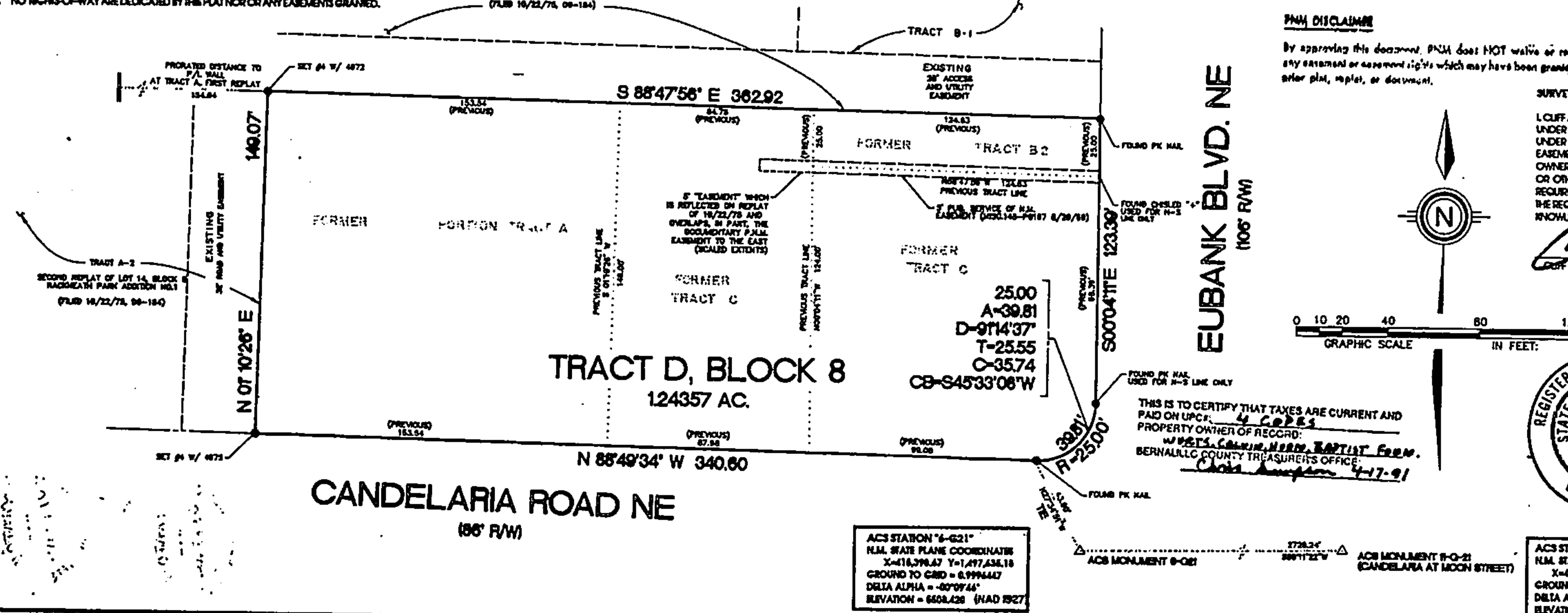
SURVEYOR'S CERTIFICATION:

I, CLIFF A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION...

CLIFF A. SPIROCK, N.M.P.M. No. 4972



TRACT A-1 SECOND REPLAT OF LOT 14, BLOCK 8 RACKHEATH PARK ADDITION NO. 1 (PLAT 10/22/75, 09-184)



ACS STATION "6-021" N.M. STATE PLANE COORDINATES X=418,984.7 Y=1,497,436.18 GROUND TO GRID = 0.999447 DELTA ALPHA = -0.000044 ELEVATION = 6508.228 (NAD 1927)

ACS STATION "11-021" N.M. STATE PLANE COORDINATES X=418,126.47 Y=1,497,673.74 GROUND TO GRID = 0.999443 DELTA ALPHA = -0.000027 ELEVATION = 6476.04 (NAD 1927)

EXIST. P.N.M. EASEMENT (MISC. 48 - PG 167; 6-26-69) EXISTING PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.

INCLUDED IS THE RIGHT OF INGRESS AND EGRESS FOR THE CONSTRUCTION AND MAINTENANCE AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. ALSO INCLUDED IS THE RIGHT TO INSTALL AND MAINTAIN SERVICE LINES.

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



**Metro, Kristal D.**

---

**From:** Chad Ignagni [Chad.Ignagni@Adams-Engineering.com]  
**Sent:** Wednesday, June 01, 2011 4:01 PM  
**To:** Metro, Kristal D.  
**Cc:** benjamin.sims@us.mcd.com; Rob.Adams@Adams-Engineering.com; juliannetx@gmail.com; glee.thomas52@gmail.com  
**Subject:** FW: 2010.018 RE: McDonald's - 9515 Candelaria

Hi Kristal,

Per Andrew de Garmo's email below, ABQ Ride is fine with moving the bus stop sign and bench out of the proposed driveway. Will this email be suitable to remove the last hold from the permit?

Also, we will be sending you a revised signed and sealed Site Plan showing the new location of the bus stop.

Thank you,  
Chad Ignagni

---

**From:** de Garmo, Andrew F. [mailto:ADeGarmo@cabq.gov]  
**Sent:** Wednesday, June 01, 2011 4:49 PM  
**To:** Chad Ignagni  
**Subject:** RE: 2010.018 RE: McDonald's - 9515 Candelaria

Hello Chad,

We're fine with moving the stop from it's current location - we still have someone doing a site visit to verify whether we want to move the stop west, as proposed, or east between the driveway and Eubank, but you can let Kristal Metro know we're fine with moving the stop out of the planned driveway.

Andrew

Andrew de Garmo  
Principal Planner  
ABQ RIDE  
505-724-3109 (office)

---

**From:** Chad Ignagni [mailto:Chad.Ignagni@Adams-Engineering.com]  
**Sent:** Wednesday, June 01, 2011 2:58 PM  
**To:** de Garmo, Andrew F.  
**Subject:** RE: 2010.018 RE: McDonald's - 9515 Candelaria

Hi Andrew.

Any luck?

6/2/2011

Chad

---

**From:** de Garmo, Andrew F. [mailto:ADeGarmo@cabq.gov]  
**Sent:** Friday, May 27, 2011 2:12 PM  
**To:** Chad Ignagni  
**Subject:** RE: 2010.018 RE: McDonald's - 9515 Candelaria

Hello Chad,

I've gotten one sign-off, but I think the other two people who need to see it are out of the office today. If I'm able to get it approved, I'll let you know, but I think Tuesday is more likely. Sorry for the delay.

Andrew

Andrew de Garmo  
Principal Planner  
ABQ RIDE  
505-724-3109 (office)

---

**From:** Chad Ignagni [mailto:Chad.Ignagni@Adams-Engineering.com]  
**Sent:** Friday, May 27, 2011 7:32 AM  
**To:** de Garmo, Andrew F.  
**Subject:** RE: 2010.018 RE: McDonald's - 9515 Candelaria

Hi Andrew,

I just realized Monday is a holiday. Would it be possible to get an answer today? Apparently, this is the only hold we have before we can get our permit.

Chad

---

**From:** de Garmo, Andrew F. [mailto:ADeGarmo@cabq.gov]  
**Sent:** Thursday, May 26, 2011 7:30 PM  
**To:** Chad Ignagni  
**Subject:** RE: 2010.018 RE: McDonald's - 9515 Candelaria

Hello Chad,

I have, but I'd like to run it by a couple of others here - we have an internal review process for approving stop changes. When do you need an answer?

Andrew

Andrew de Garmo  
Principal Planner  
ABQ RIDE  
505-724-3109 (office)

6/2/2011

---

**From:** Chad Ignagni [mailto:Chad.Ignagni@Adams-Engineering.com]  
**Sent:** Thursday, May 26, 2011 1:21 PM  
**To:** de Garmo, Andrew F.  
**Subject:** FW: 2010.018 RE: McDonald's - 9515 Candelaria

Hi Andrew,

May I ask if you have had a chance to review the exhibit?

Thanks!

Chad

---

**From:** Chad Ignagni  
**Sent:** Wednesday, May 25, 2011 1:34 PM  
**To:** 'de Garmo, Andrew F.'  
**Cc:** Rob Adams (Rob.Adams@Adams-Engineering.com); KMetro@cabq.gov  
**Subject:** 2010.018 RE: McDonald's - 9515 Candelaria

Hi Andrew,

Attached is a 20-scale 17"x22" PDF of the proposed bus stop sign and bench relocation. I went ahead and shifted them 60' west of their original location in order to get them away from the proposed driveway to the east. Will this be ok?

Thank you very much for your time!

Chad Ignagni

---

**From:** de Garmo, Andrew F. [mailto:ADeGarmo@cabq.gov]  
**Sent:** Wednesday, May 25, 2011 12:52 PM  
**To:** Chad Ignagni  
**Cc:** Rob Adams  
**Subject:** RE: McDonald's - 9515 Candelaria

Hello Chad,

Thanks for getting in touch with us. Do you have a site plan (pdf or similar) you could send me? I don't think it'll be a problem, but I'd like to see where the stop will be in relation to driveways, etc.

Thanks,  
Andrew

Andrew de Garmo  
Principal Planner  
ABQ RIDE  
505-724-3109 (office)

6/2/2011

---

**From:** Chad Ignagni [mailto:Chad.Ignagni@Adams-Engineering.com]  
**Sent:** Wednesday, May 25, 2011 6:30 AM  
**To:** de Garmo, Andrew F.  
**Cc:** Rob.Adams@Adams-Engineering.com  
**Subject:** McDonald's - 9515 Candelaria

Good morning Andrew,

May I ask what process we must begin in order to request the relocation of a bus stop sign? If allowed, we would like to move it about 45' west along Candelaria.

Thank you for your help.

**Chad Ignagni**  
**Adams ENGINEERING** (TBPE# F-1002)  
**Experience. Precision. Success.**  
**Celebrating 30 Years of Service**

910 S. Kimball Avenue  
Southlake, Texas 76092  
Main: 817-328-3200  
Direct: 817-328-3200 x. 3239  
Fax: 817-328-3299  
Email: [chad.ignagni@adams-engineering.com](mailto:chad.ignagni@adams-engineering.com)  
For large emails, please use  
<http://dropbox.yousendit.com/ChadIgnagni>



# CITY OF ALBUQUERQUE



February 25, 2011

Lance Hoffman, P.E.  
Adams Engineering  
2445 E. Southlake Blvd, Suite 100  
South Lake, Texas 76092

**Re: McDonalds, 9515 Candelaria NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp dated 2-21-11 (G20/D031)**

Dear Mr. Hoffman,

Based upon the information provided in your submittal received 2-23-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓ Provide a narrative of the project that includes offsite flows, existing conditions and proposed condition.
- ✓ Include a small FIRM or text including FEMA panel number and Flood Zone designation.
- NO • Runoff from the flume needs to be discharged to the ROW via a sidewalk culvert (COA STD DWG 2236, plate extends to property line).
- ✓ • Since the sidewalk culvert is in the ROW, an SO 19 Permit is required. To obtain one, just include the notes entitled "Drainage Facilities within City ROW Notice to Contractor" included with this letter and 2 copies of the grading plan.
- ✓ • Trash enclosure pads at restaurants are required to drain to the sanitary sewer after passing through the grease trap. Provide elevations in the pad and for the grate of the drain.
- Hydrology is requesting that proposed landscape areas be depressed to retain/infiltrate the rain that falls on them.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cheme, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

Copy: file

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 12/2005)

PROJECT TITLE: MCDONALD'S ZONE MAP: G-20/DC31  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
 CITY ADDRESS: 9515 CANDELARIA

ENGINEERING FIRM: ADAMS ENGINEERING CONTACT: LANCE HOFFMAN  
 ADDRESS: 910 S KIMBALL HUE PHONE: 972 338 3200  
 CITY, STATE: SOUTH LAKE, TX ZIP CODE: 76092

OWNER: e-mail adf@lancehoffman@adams-engineering.com CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

- TYPE OF SUBMITTAL:
- DRAINAGE REPORT
  - DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
  - DRAINAGE PLAN RESUBMITTAL
  - CONCEPTUAL G & D PLAN
  - GRADING PLAN
  - EROSION CONTROL PLAN
  - ENGINEER'S CERT (HYDROLOGY)
  - CLOMR/LOMR
  - TRAFFIC CIRCULATION LAYOUT
  - ENGINEER'S CERT (TCL)
  - ENGINEER'S CERT (DRB SITE PLAN)
  - OTHER (SPECIFY)

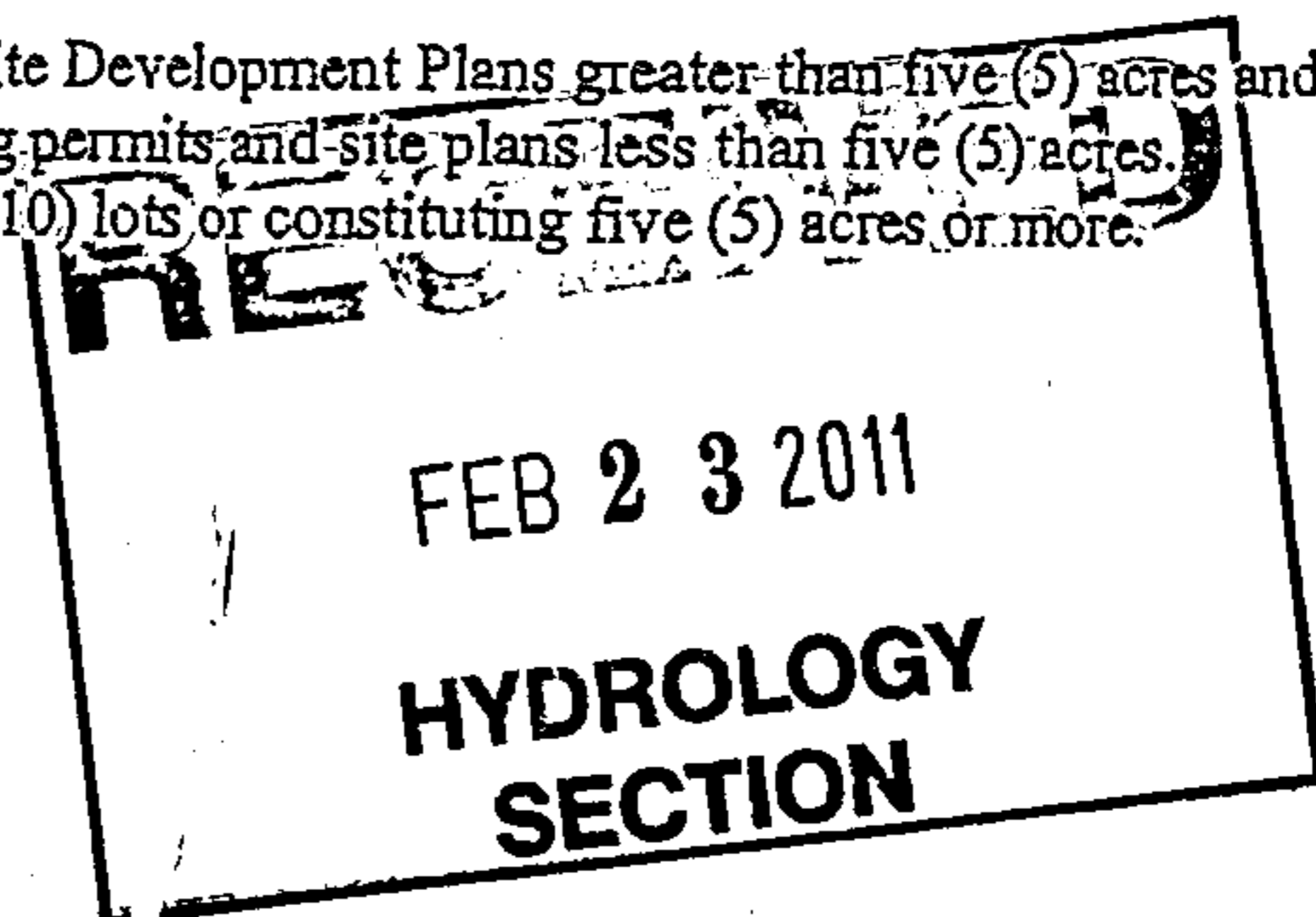
- CHECK TYPE OF APPROVAL SOUGHT:
- SIA/FINANCIAL GUARANTEE RELEASE
  - PRELIMINARY PLAT APPROVAL
  - S. DEV. PLAN FOR SUB'D APPROVAL
  - S. DEV. FOR BLDG. PERMIT APPROVAL
  - SECTOR PLAN APPROVAL
  - FINAL PLAT APPROVAL
  - FOUNDATION PERMIT APPROVAL
  - BUILDING PERMIT APPROVAL
  - CERTIFICATE OF OCCUPANCY (PERM)
  - CERTIFICATE OF OCCUPANCY (TEMP)
  - GRADING PERMIT APPROVAL
  - PAVING PERMIT APPROVAL
  - WORK ORDER APPROVAL
  - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 YES  
 NO  
 COPY PROVIDED

DATE SUBMITTED: via FedEx BY: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



May 19, 2011

Lance Hoffman, P.E.  
Adams Engineering  
910 S. Kimball Avenue  
Southlake, TX 76092

**Re: McDonald's at Candelaria / Eubank, 9515 Candelaria,  
Traffic Circulation Layout  
Engineer's Stamp dated 05-03-11 (G20-D031)**


Dear Mr. Hoffman,

Based upon the information provided in your submittal received 05-10-11; the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide a copy of all access easements.
2. Keyed note 33 refers to a relocated traffic sign. Written permission from the City of Albuquerque Traffic Operations Section (contact: Bill Coleman, 505-857-8683) to relocate the traffic sign must be provided prior to approval.

If you have any questions, you can contact me at 924-3991.

Sincerely,

  
Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



**Metro, Kristal D.**

---

**From:** Metro, Kristal D.  
**Sent:** Thursday, March 03, 2011 9:58 AM  
**To:** 'Lance Hoffman'  
**Subject:** RE: 2010.018 - 9515 Candelaria McDonald's

Lance,

The survey will have to be submitted to the Development Review Board (DRB) for a hearing. I have checked with the DRB Chair, and it is our understanding that this lot was consolidated in 1991, becoming one lot. In the eyes of the City and the County Assessor, this is a single parcel with multiple owners; any 'proportional' ownership is purely an internal, private matter. The proposed plat lines shown on the site layout will not be acceptable; lots containing parking only (no buildings) would require a zone change to P-R to conform with the City of Albuquerque Zoning Code.

Please address the following comments regarding the Traffic Circulation Layout (see the attached markup for additional information):

1. The drive through exit introduces a conflict between drivers entering the site and those exiting the drive through who wish to turn left on Candelaria. Please revise.
2. Drive through facilities have a minimum lane width of 12 feet with a 25 foot minimum inside edge radius, or a minimum lane width of 14 feet with a 15 foot minimum inside edge radius.
3. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
4. Call out all radii.
5. Define the heavy vehicle pathway.
6. A portion of the entrance off of Eubank is not located within the access easement. An additional easement or modification of the entrance will be required.
7. Provide a copy of all access easements.
8. Clarify existing versus proposed conditions.
9. The plan shows proposed work on the adjacent lots; written permission from the adjacent lot owners must be provided.
10. Please show the location of the nearest driveway on the adjacent lot.
11. Shaded property lines are shown on the plan; is this a proposed replat? The proposed lots appear to be undevelopable; please provide additional information.
12. The proposed directional signage may interfere with the sight distance at the entrances. Please provide a sight distance exhibit for the entrance (See the *Development Process Manual*, Chapter 23, Section 6, Part B.12).
13. Provide a copy of solid waste approval.
14. Ramps should be the same width as the surrounding sidewalk.
15. Adequate throat depths must be maintained off of Candelaria and Eubank. See the *Development Process Manual*, Table 23.7.1
16. Define width of the existing sidewalk.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
 Traffic Engineer, Planning Dept.  
 Development and Building Services

---

**From:** Lance Hoffman [mailto:Lance.Hoffman@Adams-Engineering.com]  
**Sent:** Wednesday, March 02, 2011 3:47 PM  
**To:** Metro, Kristal D.

3/3/2011

**Cc:** Sims Benjamin; Larry Medrano  
**Subject:** 2010.018 - 9515 Candelaria McDonald's  
**Importance:** High

Good afternoon, Kristal:

Thank you again for taking the time to go over some of your TCL comments for our site yesterday... Would you mind taking a look at the attached pdfs and let me know if you see any major issues?... I've included our revised Site Plan (TCL) and the survey for the existing site for your reference. Once I get your feedback, I'll resubmit 2 hard copies for your full review.

Please notice the proposed "exit-only, right-out" drive about 83' west of Eubank... McDonald's would really appreciate it if you would allow that drive so Drive-Thru traffic would have a relatively convenient way to exit the site...

Assuming the platting issues are worked out, can you please let me know if you have any additional comments with what we're proposing?...

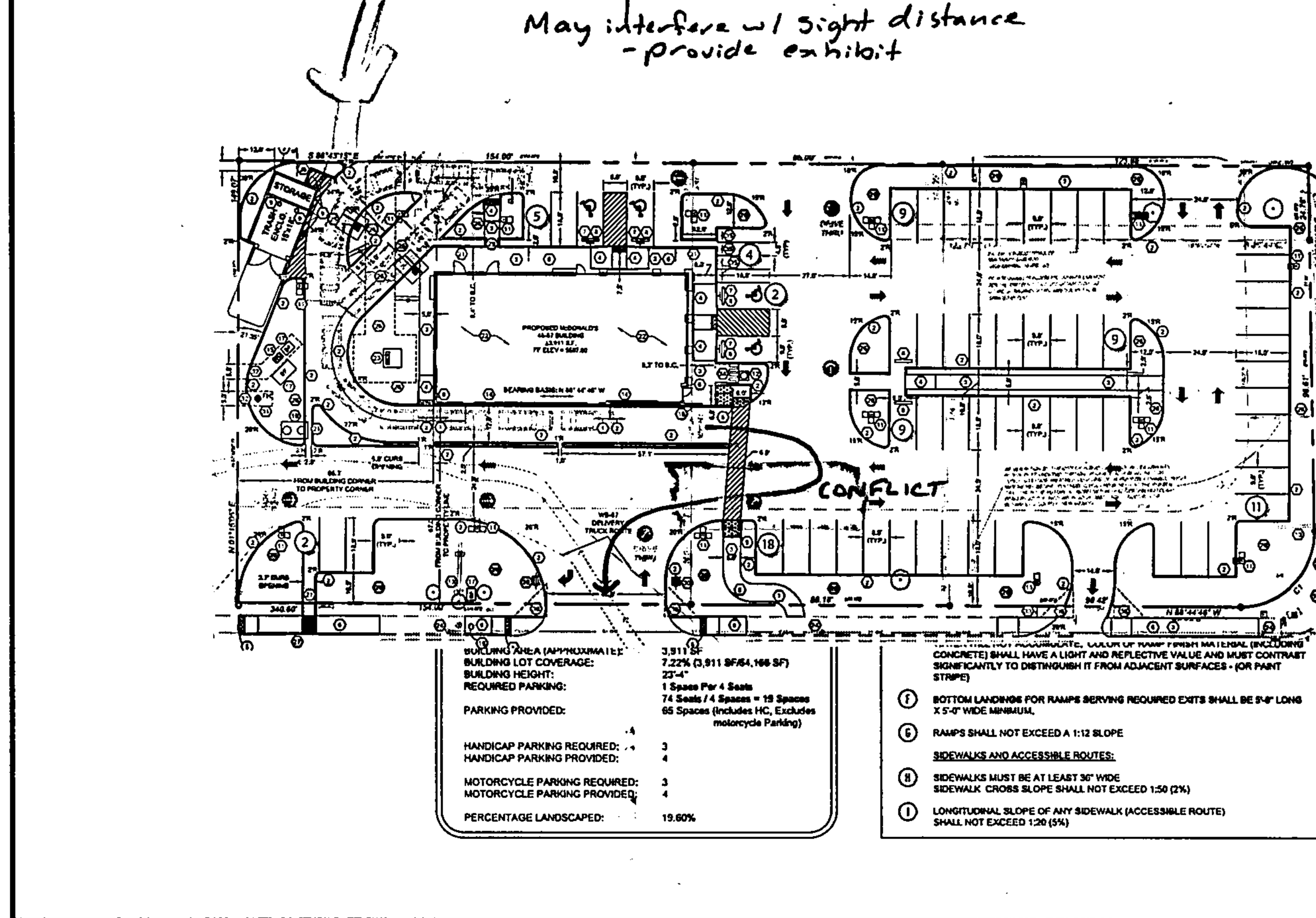
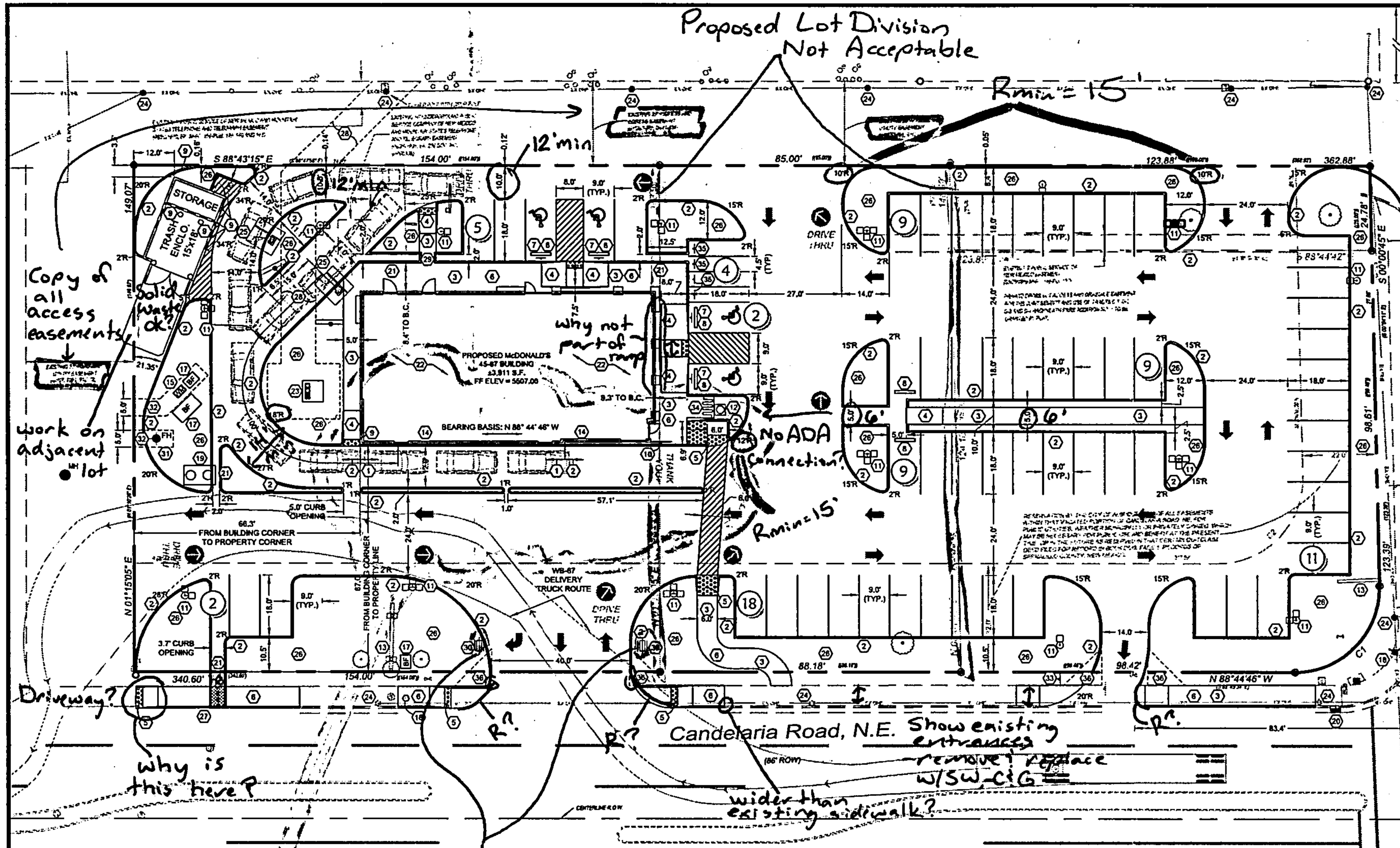
I really appreciate your assistance, Kristal!

Sincerely,

**Lance Hoffman, PE (TX, NM, OK, AR)**  
**Adams ENGINEERING (TBPE# F-1002)**  
**Experience. Precision. Success.**  
**Celebrating 30 Years of Service**

910 S. Kimball Avenue  
Southlake, Texas 76092  
Main: 817-328-3200  
Direct: 817-328-3207  
Fax: 817-328-3299  
Email: [lance.hoffman@adams-engineering.com](mailto:lance.hoffman@adams-engineering.com)

3/3/2011



Proposed Lot Division Not Acceptable

R<sub>min</sub> = 15'

12' min

McDonald's

SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY PROFESSIONAL ENTITIES.

**OWNER INFORMATION**

**McDONALD'S**  
511 E. CARPENTER FRYW, STE. 375  
IRVING, TEXAS 75062  
(972) 869-6365  
CONTACT: BEN SIMS

1-800-321-2537

Call Two Working Days Before The Dig!  
It's Free and It's the Law!

\*\*\* STOP! CALL BEFORE YOU DIG! \*\*\*

NEW MEXICO ONE CALL MUST BE CONTACTED (1-800-321-2537) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT NEW MEXICO ONE CALL.

CONSTRUCTION SCHEDULE	
MARK	MARK DESCRIPTION
1	6" CONC. VERTICAL CURB (SD-4)
2	6" MONOLITHIC CURB AND GUTTER (SDS)
3	REINFORCED CONCRETE SIDEWALK
4	SLOPED SIDEWALK SECTION (NOT TO EXCEED 5% SLOPE)
5	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE WITH WARNING SURFACE PER CITY STDS
6	HANDICAP ACCESSIBLE ROUTE
7	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED)
8	CONCRETE WHEEL STOP
9	GUARD POST
10	HANDRAIL @ INGRESS/EGRESS DOOR (SD-4)
11	LIGHT STANDBY (15' CLEAR FROM ALL OVERHEAD UTILITY LINES)
12	FLAG POLE
13	EXISTING POLE MOUNTED McDONALD'S ROAD SIGN
14	PROPOSED ROOF DRAIN LOCATION (REFER TO MEP PLANS)

SITE DATA	
TOTAL LAND AREA	1.243 Ac
PRE CONSTRUCTION IMPERVIOUS	1.032 Ac
PERVIOUS	0.211 Ac
LANDSCAPE %	16.96%
POST CONSTRUCTION IMPERVIOUS	0.999 Ac
PERVIOUS	0.244 Ac
LANDSCAPE %	19.60%

CONSTRUCTION SCHEDULE CONT.	
MARK	MARK DESCRIPTION
15	DOMESTIC WATER METER (RE: UTILITY PLAN)
16	EXISTING WATER METER TO BE REUSED FOR IRRIGATION WATER METER (RE: UTILITY PLAN)
17	BACK FLOW PREVENTION DEVICE (RE: UTILITY PLAN)
18	EXISTING FIRE HYDRANT
19	GREASE INTERCEPTOR (RE: UTILITY PLAN)
20	EXISTING DRAINAGE STRUCTURE (RE: DRAINAGE PLAN)
21	CONCRETE FLUME
22	FIRE TREAT FOR TERRAZZO CONTROL
23	PROPOSED PAD MOUNTED TRANSFORMER (RE: UTILITY PLAN)
24	EXISTING POWER POLE
25	DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S)
26	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
27	CITY STANDARD SIDEWALK DOUBLE PLATE (1/2" SIDEWALK CULVERT (COA STD DWG 2238))
28	PROPOSED 10.0' ELECTRICAL EASEMENT (COORDINATE W/ PHM ELECTRIC)
29	PROPOSED CONCRETE SIDEWALK FLUME CROSSING
30	PROPOSED McDONALD'S DIRECTIONAL SIGNAGE
31	PROPOSED FIRE HYDRANT
32	PROPOSED WATER EASEMENT
33	RELOCATED TRAFFIC SIGN
34	PROPOSED BICYCLE RACK
35	PROPOSED MOTORCYCLE PARKING SIGN
36	11' VISIBILITY TRIANGLE (PER CITY REGS)

VICINITY MAP  
N.T.S. G-20

GENERAL NOTES

1. Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.
2. 3" empty conduit to locations shown at the lot perimeter for lighting is by the General Contractor. Lighting fixtures, bases, poles, conduit, and wiring are by the General Contractor.
3. All lighting concrete footings to conform with the soils report recommendations for this particular site.
4. Bases for signposts are by the General Contractor. Anchor bolts are by the Signage supplier. General contractor shall coordinate with flag pole supplier prior to construction.
5. The Contractor shall coordinate with all utility companies to determine exact point of service connection at existing utility. Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and detailing.
6. General Contractor shall provide "as built" information upon completion.
7. All elevations shown are in reference to the benchmark and must be verified by the General Contractor at ground level.
8. Curb elevations shall be 6" above finish pavement unless noted otherwise.
9. All landscape areas shall be rough graded to 6" below top of all walks and curbs. Finished grading, landscaping and sprinkler systems are by the Owner / Operator.
10. It is strongly recommended that no contractual agreements of any kind be signed prior to meeting and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
11. Due to the nature of the work, all dimensions shown shall be considered approximate. Contractor shall verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and Engineer for approval prior to fabrication or installation of any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
12. Sidewalks around building shall have same subgrade preparation as building foundation.
13. All materials and construction within easements and R.O.W. shall conform to all governing authority's jurisdictional standard construction details and specifications.
14. Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC. The Contractor shall notify the Engineer immediately in writing of any discrepancies or omissions to the topographic information. The Contractor shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor shall notify the Owner and Engineer if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor shall notify the Owner and Engineer if any errors or discrepancies are found on the construction documents (plans), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from Contractor's failure to notify Engineer and Owner.
15. McDonald's reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise O.C. will be charged.
16. Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedures. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.

REV DATE DESCRIPTION BY ISSUE REF

12/20/10	CLC	CLC	PS1C
09/27/11	LBH	LBH	
1			

OFFICE: GREATER SOUTHWEST REGION  
ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521

**McDONALD'S**

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THE WRITTEN AUTHORIZATION OF McDONALD'S CORPORATION.

9515 CANDELARIA  
ALBUQUERQUE, NEW MEXICO

McDONALD'S L.C. 030-0004  
ADAMS ENGINEERING No. 2010-018

McDONALD'S L.C. 030-0004  
ADAMS ENGINEERING No. 2010-018

PAVING SPECIFICATION

VERIFY W/McDONALD'S: ASPHALT:  CONCRETE:

CONTRACTOR TO BID: ASPHALT:  CONCRETE:

TERRACON CONSULTANTS INC.  
JULY 16, 2010  
PROJECT NO. 44102434

NOTE: ALL PAVING & SUBGRADE SPECIFICATIONS TO COMPLY WITH GEOTECHNICAL REPORT AS PREPARED BY:

**BENCHMARK DESCRIPTION**

ALL BEARINGS ARE GRID BEARINGS: N.M. STATE PLANE COORDINATES, CENTRAL ZONE-MAD 1983. ELEVATION DATUM IS BASED ON NAVD 1988 FROM AGRS MONUMENT "13\_H21". PUBLISHED ELEVATION (FEET) = 5499.574

**SURVEY INFORMATION**

PREPARED BY: PRECISION SURVEYS, INC.  
1565-A JEFFERSON STREET, NE ALBUQUERQUE, NM (945) 524-7276  
DATE: JUNE 04, 2010

LEGAL DESCRIPTION: A TLACSM LAND TITLE SURVEY TRACT D, BLOCK 5, RACINEATH PARK CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PLAN SCALE: 1" = 20'

**REBUILD**  
STREET ADDRESS  
**9515 CANDELARIA**

CITY: ALBUQUERQUE STATE: NEW MEXICO

COUNTY: BERNALILLO SURVEY: AS-BUILT ABSTRACT NO. 030-0004

L.C. NUMBER: 030-0004 CORPORATE DWG. NAME: **SITE PLAN**

PLAN APPROVALS

REGIONAL MGR.	CONSTR. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

CO-SIGNATURES

STATUS	DATE	BY
DATE DRAWN	OCT. 2010	CLC
PLAN CHECKED		
AS-BUILT		

# CITY OF ALBUQUERQUE



February 25, 2011

Lance Hoffman, P.E.  
Adams Engineering  
910 S. Kimball Avenue  
Southlake, TX 76092

**Re: McDonald's at Candelaria / Eubank, 9515 Candelaria,  
Traffic Circulation Layout  
Engineer's Stamp dated 02-21-11 (G20-D031)**

Dear Mr. Hoffman,

Based upon the information provided in your submittal received 02-23-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Please present all traffic circulation information on sheet C4.0.
2. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
3. Call out all radii.
4. Define the queue length of the drive through; the parking stalls located to the north of the proposed building appear to interfere with the drive through operation.
5. The drive through exit appears to interfere with traffic trying to enter/exit the western Candelaria entrance. Please revise.
6. Define the heavy vehicle pathway.
7. A portion of the entrance off of Eubank is not located within the access easement. An additional easement or modification of the entrance will be required.
8. Provide a copy of all access easements.
9. Clarify existing versus proposed conditions.
10. The plan shows proposed work on the adjacent lots; written permission from the adjacent lot owners must be provided.
11. Please show the location of the nearest driveway on the adjacent lot.
12. Shaded property lines are shown on the plan; is this a proposed replat? The proposed lots appear to be undevelopable; please provide additional information.

# CITY OF ALBUQUERQUE



13. The proposed directional signage may interfere with the sight distance at the entrances. Please provide a sight distance exhibit for the entrance (See the *Development Process Manual*, Chapter 23, Section 6, Part B.12).
14. Drive through facilities have a minimum lane width of 12 feet with a 25 foot minimum inside edge radius, or a minimum lane width of 14 feet with a 15 foot minimum inside edge radius.
15. Provide a copy of solid waste approval.
16. The eastern Candelaria entrance is less than 50 feet from the intersection; this is too close to the intersection of Eubank and Candelaria. Per the *Development Process Manual*, Chapter 23, Section 6, Part B.5, a driveway must be at least 150 feet from the intersection (Candelaria is a minor arterial roadway, Eubank is a principal arterial roadway).
17. Ramps should be the same width as the surrounding sidewalk.
18. Please include two copies of the traffic circulation layout at the next submittal.
19. Adequate throat depths must be maintained off of Candelaria and Eubank. See the *Development Process Manual*, Table 23.7.1
20. Define width of the existing sidewalk.

PO Box 1293

If you have any questions, you can contact me at 924-3991.

Albuquerque

Sincerely,

NM 87103

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: MCDONALDS ZONE MAP: G-20/P-231  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
CITY ADDRESS: 9515 CANDELARIA

ENGINEERING FIRM: ADAMS ENGINEERING CONTACT: LANCE HOFFMAN  
ADDRESS: 910 S. KIMBALL AVE PHONE: 917 338 3200  
CITY, STATE: SOUTH LAKE, TX. ZIP CODE: 76092

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

- TYPE OF SUBMITTAL:
- \_\_\_\_\_ DRAINAGE REPORT
  - \_\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
  - \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
  - \_\_\_\_\_ CONCEPTUAL G & D PLAN
  - \_\_\_\_\_ GRADING PLAN
  - \_\_\_\_\_ EROSION CONTROL PLAN
  - \_\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)
  - \_\_\_\_\_ CLOMR/LOMR
  - TRAFFIC CIRCULATION LAYOUT
  - \_\_\_\_\_ ENGINEER'S CERT (TCL)
  - \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)
  - \_\_\_\_\_ OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
- \_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE
  - \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
  - \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL
  - \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL
  - \_\_\_\_\_ SECTOR PLAN APPROVAL
  - \_\_\_\_\_ FINAL PLAT APPROVAL
  - \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
  - BUILDING PERMIT APPROVAL
  - \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)
  - \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP)
  - \_\_\_\_\_ GRADING PERMIT APPROVAL
  - \_\_\_\_\_ PAVING PERMIT APPROVAL
  - \_\_\_\_\_ WORK ORDER APPROVAL
  - \_\_\_\_\_ OTHER (SPECIFY)

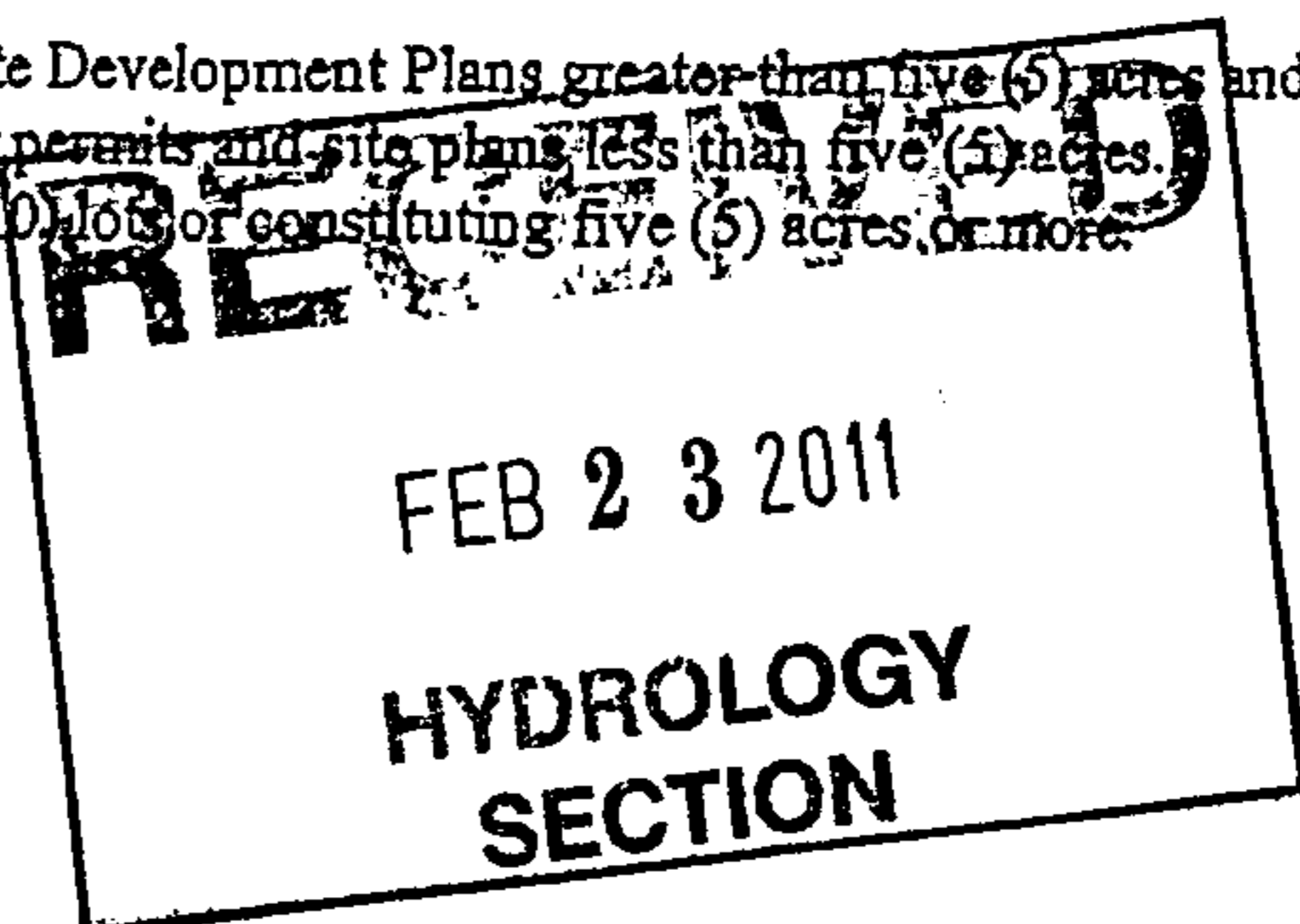
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- \_\_\_\_\_ YES
- \_\_\_\_\_ NO
- \_\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: VIA FED EX BY: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



**Metro, Kristal D.**

---

**From:** Chad Ignagni [Chad.Ignagni@Adams-Engineering.com]  
**Sent:** Wednesday, June 01, 2011 4:01 PM  
**To:** Metro, Kristal D.  
**Cc:** benjamin.sims@us.mcd.com; Rob.Adams@Adams-Engineering.com; juliannetx@gmail.com; glee.thomas52@gmail.com  
**Subject:** FW: 2010.018 RE: McDonald's - 9515 Candelaria

Hi Kristal,

Per Andrew de Garmo's email below, ABQ Ride is fine with moving the bus stop sign and bench out of the proposed driveway. Will this email be suitable to remove the last hold from the permit?

Also, we will be sending you a revised signed and sealed Site Plan showing the new location of the bus stop.

Thank you,  
Chad Ignagni

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**From:** de Garmo, Andrew F. [mailto:ADeGarmo@cabq.gov]  
**Sent:** Wednesday, June 01, 2011 4:49 PM  
**To:** Chad Ignagni  
**Subject:** RE: 2010.018 RE: McDonald's - 9515 Candelaria

Hello Chad,

We're fine with moving the stop from it's current location - we still have someone doing a site visit to verify whether we want to move the stop west, as proposed, or east between the driveway and Eubank, but you can let Kristal Metro know we're fine with moving the stop out of the planned driveway.

Andrew

Andrew de Garmo  
Principal Planner  
ABQ RIDE  
505-724-3109 (office)

---

**From:** Chad Ignagni [mailto:Chad.Ignagni@Adams-Engineering.com]  
**Sent:** Wednesday, June 01, 2011 2:58 PM  
**To:** de Garmo, Andrew F.  
**Subject:** RE: 2010.018 RE: McDonald's - 9515 Candelaria

Hi Andrew.

Any luck?

6/2/2011

Chad

---

**From:** de Garmo, Andrew F. [mailto:ADeGarmo@cabq.gov]  
**Sent:** Friday, May 27, 2011 2:12 PM  
**To:** Chad Ignagni  
**Subject:** RE: 2010.018 RE: McDonald's - 9515 Candelaria

Hello Chad,

I've gotten one sign-off, but I think the other two people who need to see it are out of the office today. If I'm able to get it approved, I'll let you know, but I think Tuesday is more likely. Sorry for the delay.

Andrew

Andrew de Garmo  
Principal Planner  
ABQ RIDE  
505-724-3109 (office)

---

**From:** Chad Ignagni [mailto:Chad.Ignagni@Adams-Engineering.com]  
**Sent:** Friday, May 27, 2011 7:32 AM  
**To:** de Garmo, Andrew F.  
**Subject:** RE: 2010.018 RE: McDonald's - 9515 Candelaria

Hi Andrew,

I just realized Monday is a holiday. Would it be possible to get an answer today? Apparently, this is the only hold we have before we can get our permit.

Chad

---

**From:** de Garmo, Andrew F. [mailto:ADeGarmo@cabq.gov]  
**Sent:** Thursday, May 26, 2011 7:30 PM  
**To:** Chad Ignagni  
**Subject:** RE: 2010.018 RE: McDonald's - 9515 Candelaria

Hello Chad,

I have, but I'd like to run it by a couple of others here - we have an internal review process for approving stop changes. When do you need an answer?

Andrew

Andrew de Garmo  
Principal Planner  
ABQ RIDE  
505-724-3109 (office)

6/2/2011



---

**From:** Chad Ignagni [mailto:Chad.Ignagni@Adams-Engineering.com]  
**Sent:** Thursday, May 26, 2011 1:21 PM  
**To:** de Garmo, Andrew F.  
**Subject:** FW: 2010.018 RE: McDonald's - 9515 Candelaria

Hi Andrew,

May I ask if you have had a chance to review the exhibit?

Thanks!

Chad

---

**From:** Chad Ignagni  
**Sent:** Wednesday, May 25, 2011 1:34 PM  
**To:** 'de Garmo, Andrew F.'  
**Cc:** Rob Adams (Rob.Adams@Adams-Engineering.com); KMetro@cabq.gov  
**Subject:** 2010.018 RE: McDonald's - 9515 Candelaria

Hi Andrew,

Attached is a 20-scale 17"x22" PDF of the proposed bus stop sign and bench relocation. I went ahead and shifted them 60' west of their original location in order to get them away from the proposed driveway to the east. Will this be ok?

Thank you very much for your time!

Chad Ignagni

---

**From:** de Garmo, Andrew F. [mailto:ADeGarmo@cabq.gov]  
**Sent:** Wednesday, May 25, 2011 12:52 PM  
**To:** Chad Ignagni  
**Cc:** Rob Adams  
**Subject:** RE: McDonald's - 9515 Candelaria

Hello Chad,

Thanks for getting in touch with us. Do you have a site plan (pdf or similar) you could send me? I don't think it'll be a problem, but I'd like to see where the stop will be in relation to driveways, etc.

Thanks,  
Andrew

Andrew de Garmo  
Principal Planner  
ABQ RIDE  
505-724-3109 (office)

6/2/2011

---

**From:** Chad Ignagni [mailto:Chad.Ignagni@Adams-Engineering.com]  
**Sent:** Wednesday, May 25, 2011 6:30 AM  
**To:** de Garmo, Andrew F.  
**Cc:** Rob.Adams@Adams-Engineering.com  
**Subject:** McDonald's - 9515 Candelaria

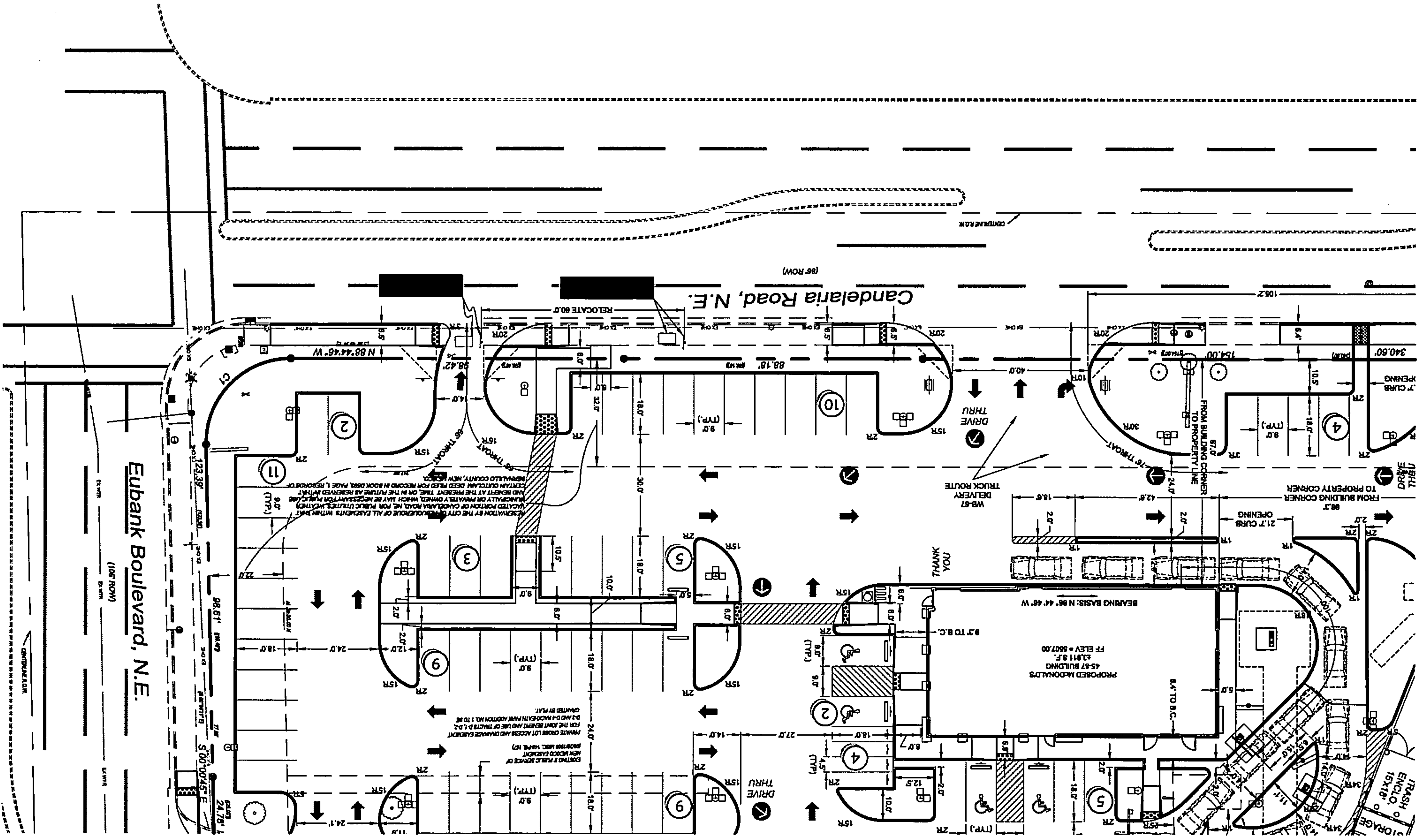
Good morning Andrew,

May I ask what process we must begin in order to request the relocation of a bus stop sign? If allowed, we would like to move it about 45' west along Candelaria.

Thank you for your help.

**Chad Ignagni**  
**Adams ENGINEERING** (TBPE# F-1002)  
**Experience. Precision. Success.**  
**Celebrating 30 Years of Service**

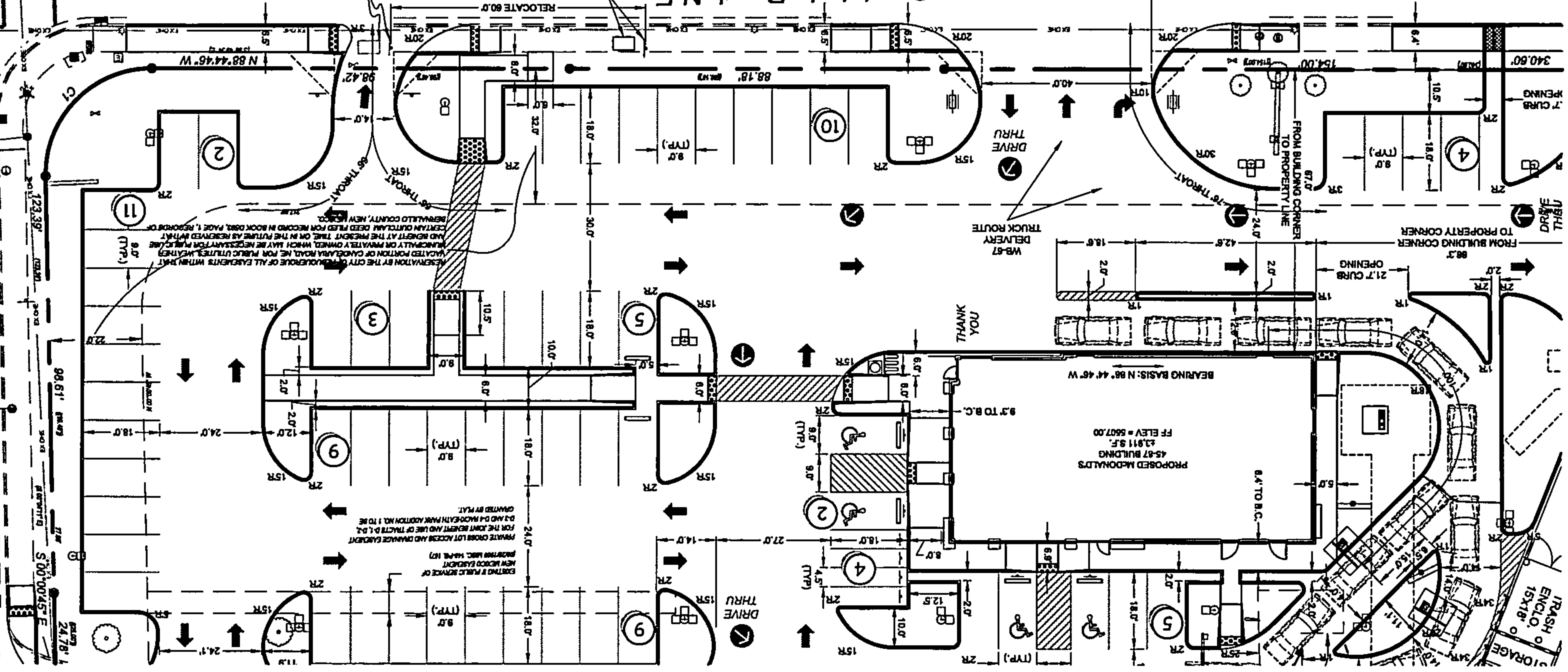
910 S. Kimball Avenue  
Southlake, Texas 76092  
Main: 817-328-3200  
Direct: 817-328-3200 x. 3239  
Fax: 817-328-3299  
Email: [chad.ignagni@adams-engineering.com](mailto:chad.ignagni@adams-engineering.com)  
For large emails, please use  
<http://dropbox.yousendit.com/ChadIgnagni>



**Eubank Boulevard, N.E.**  
(105' ROW)

**Candalaria Road, N.E.**  
(86' ROW)

PROPOSED McDONALD'S  
45,87 BUILDING  
43,911 S.F.  
FF ELEV = 5607.00  
BEARING BASIS: N 86° 44' 46\"/>



RESERVATION BY THE CITY OF BERNILLO COUNTY, NEW MEXICO, FOR THE CITY OF BERNILLO COUNTY, NEW MEXICO, TO ACQUIRE A PORTION OF CANDALARIA ROAD, NE FOR PUBLIC UTILITIES, WATER AND SEWERAGE. THE CITY OF BERNILLO COUNTY, NEW MEXICO, HAS RECEIVED A RECORD IN BOOK 0084, PAGE 11, RECORDED IN BERNILLO COUNTY, NEW MEXICO, ON THE DATE OF 10/10/2011.

EXISTING PUBLIC SERVICE OF BERNILLO COUNTY, NEW MEXICO, IS LOCATED AT THE INTERSECTION OF CANDALARIA ROAD, NE AND EUBANK BOULEVARD, NE. THE CITY OF BERNILLO COUNTY, NEW MEXICO, HAS RECEIVED A RECORD IN BOOK 0084, PAGE 11, RECORDED IN BERNILLO COUNTY, NEW MEXICO, ON THE DATE OF 10/10/2011.

5700 00045 E  
24.78' L

RASH ENCLOSURE 15x18' STORAGE