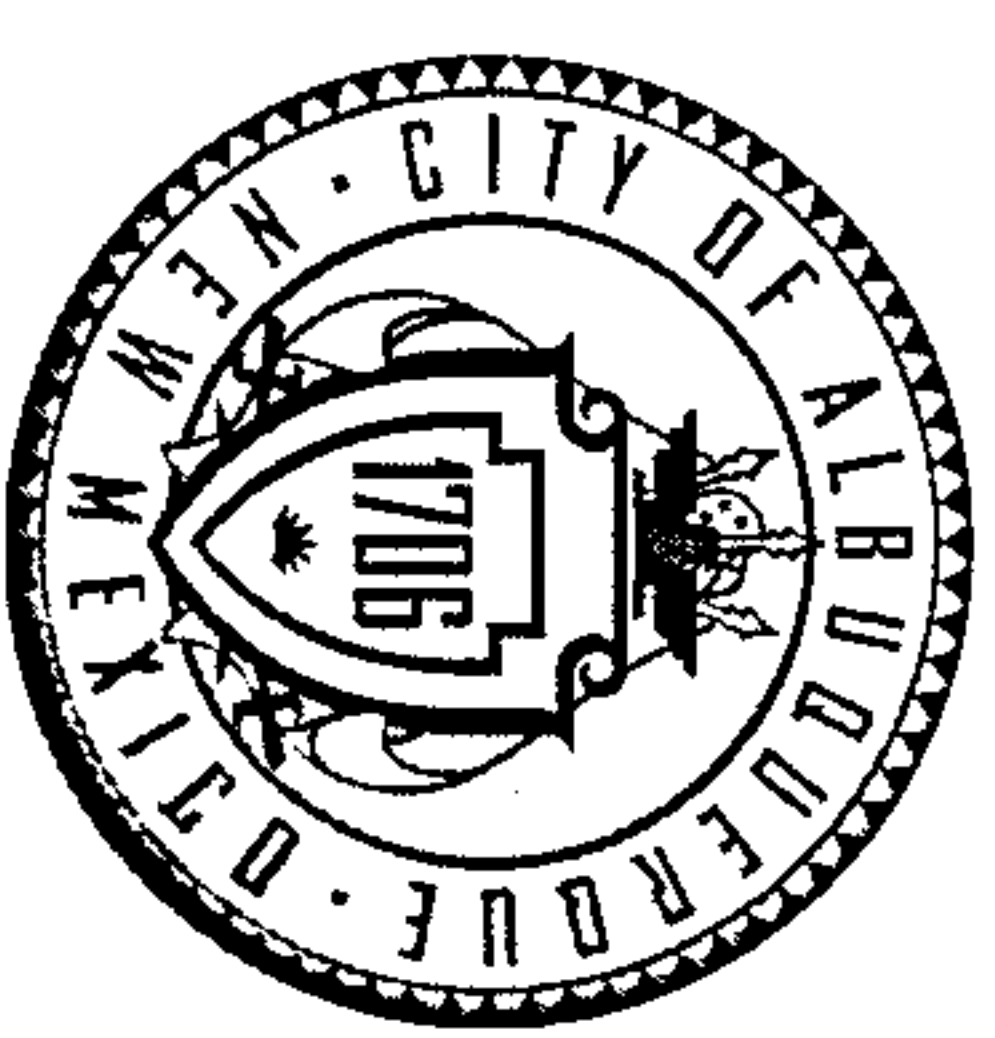


CITY OF ALBUQUERQUE



December 3, 2014

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Shepherds Lutheran
 3900 Wyoming Blvd NE
 Request Permanent C.O. - Accepted
 Engineer's Stamp dated: 1-2-14 (G20D036)
 Certification dated: 11-4-14**

Dear Mr. Soule,

Based on the Certification received 12/3/2014, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

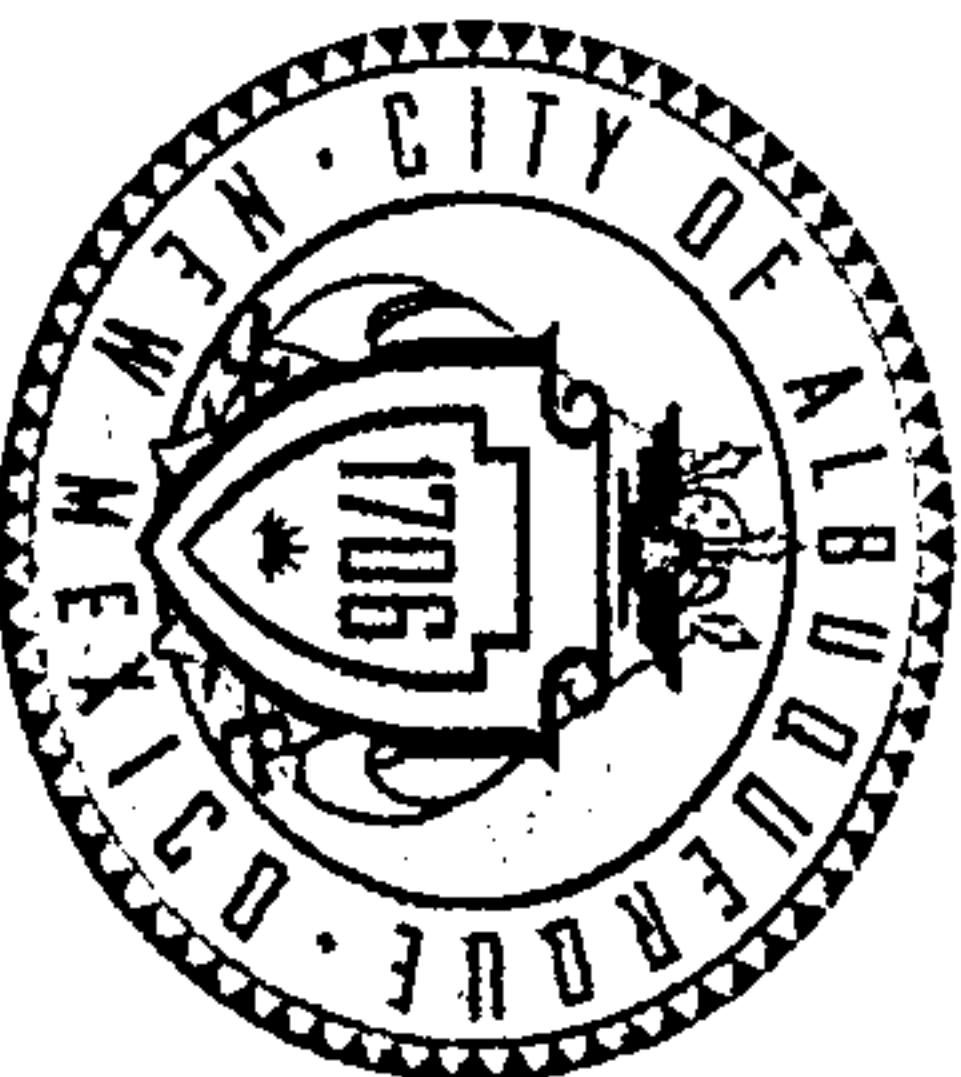
Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

RR/CC

C: email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Shepherds Lutheran Building Permit #: _____ City Drainage #: G20-D036

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: lot 1 Shepherds Lutheran

City Address: 3900 Wyoming NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: shepherds Lutheran Contact: _____

Address: 3900 Wyoming

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Joe Simons Contact: Joe Simons

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS

Address: _____

Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

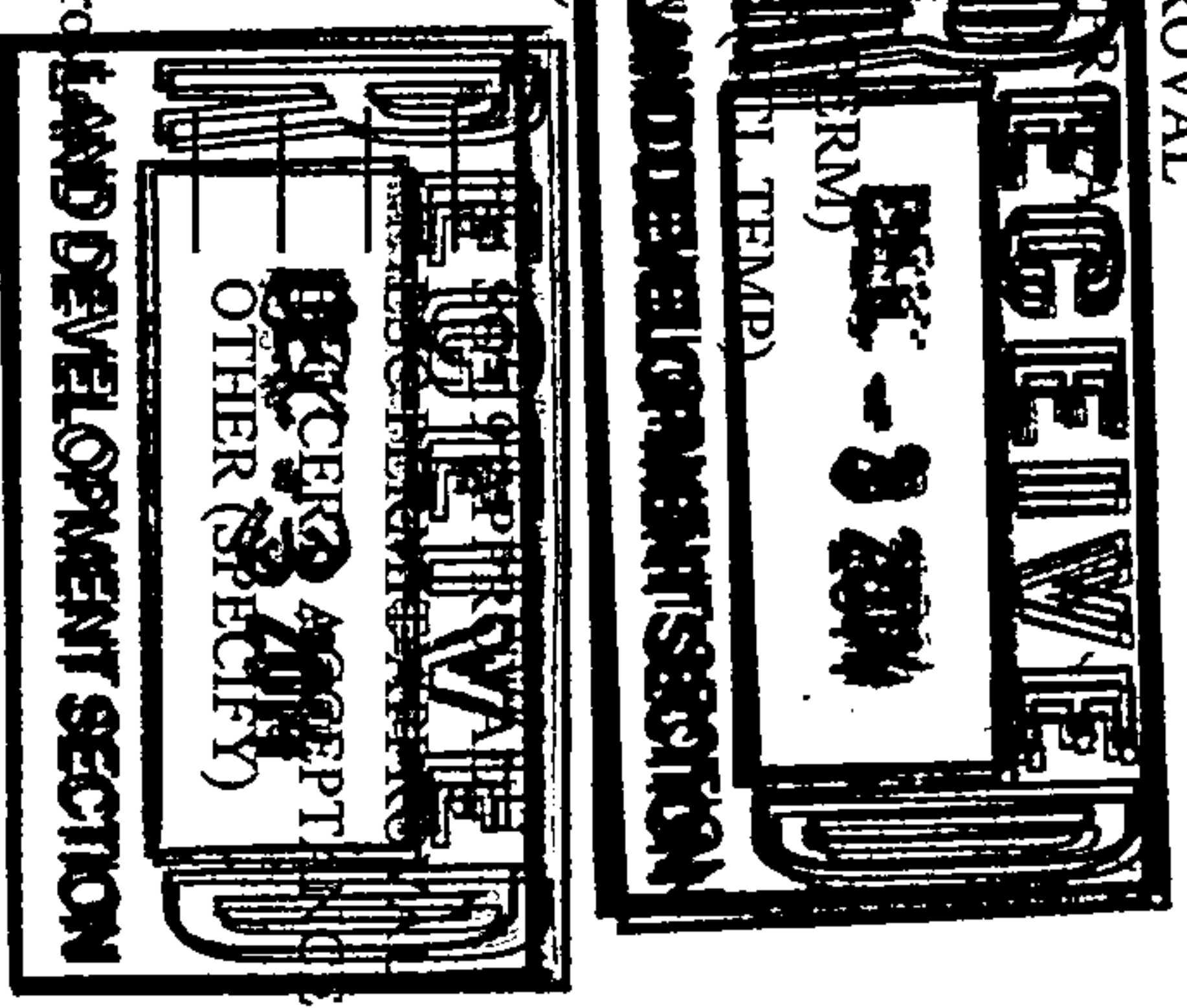
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☒ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (IN TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☒ No ☐ Copy Pro _____

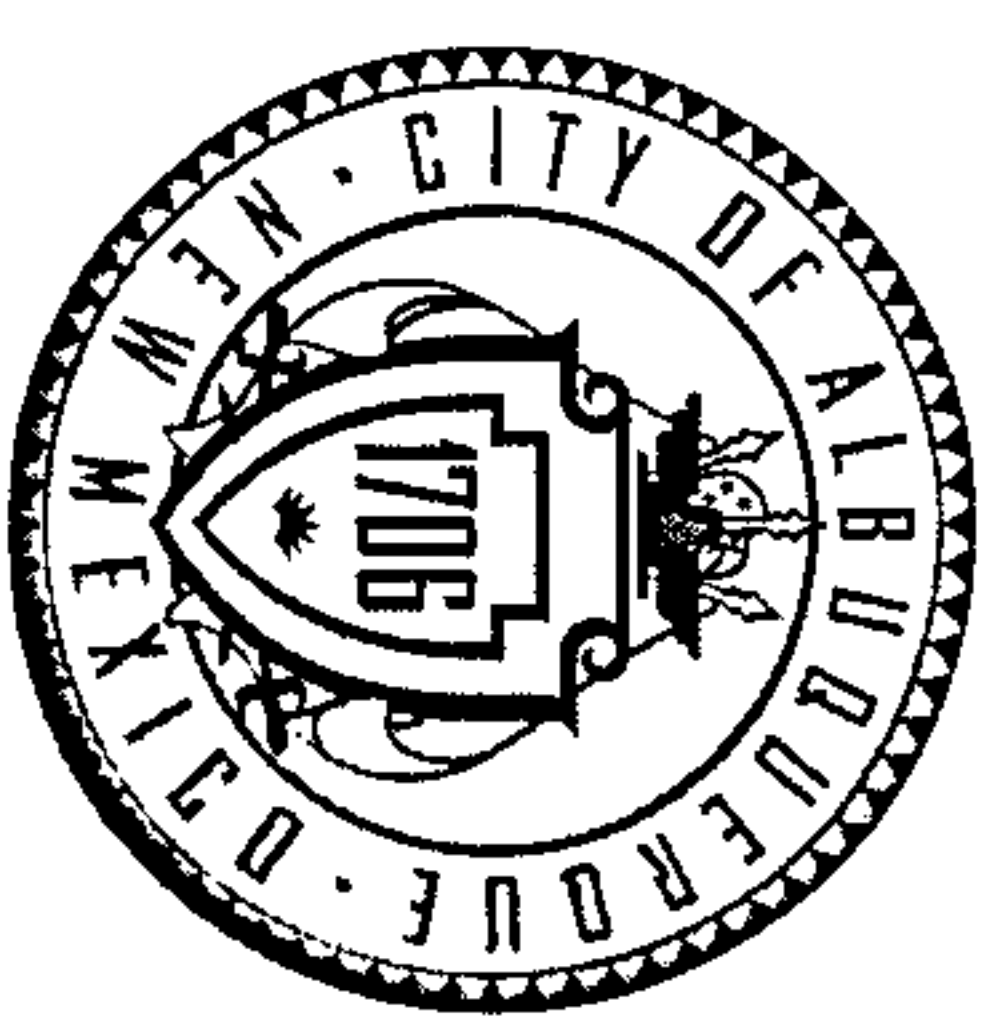
DATE SUBMITTED: 12/2/14 By: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services

November 7, 2014

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

**Re: Shepherd Lutheran Church, 3900 Wyoming Blvd.
Certificate of Occupancy – Transportation Development
Administrative Amendment dated 11-04-13 (G20-D036)
Certification dated 11-04-14**

Dear Mr. Soule,

PO Box 1293
Albuquerque

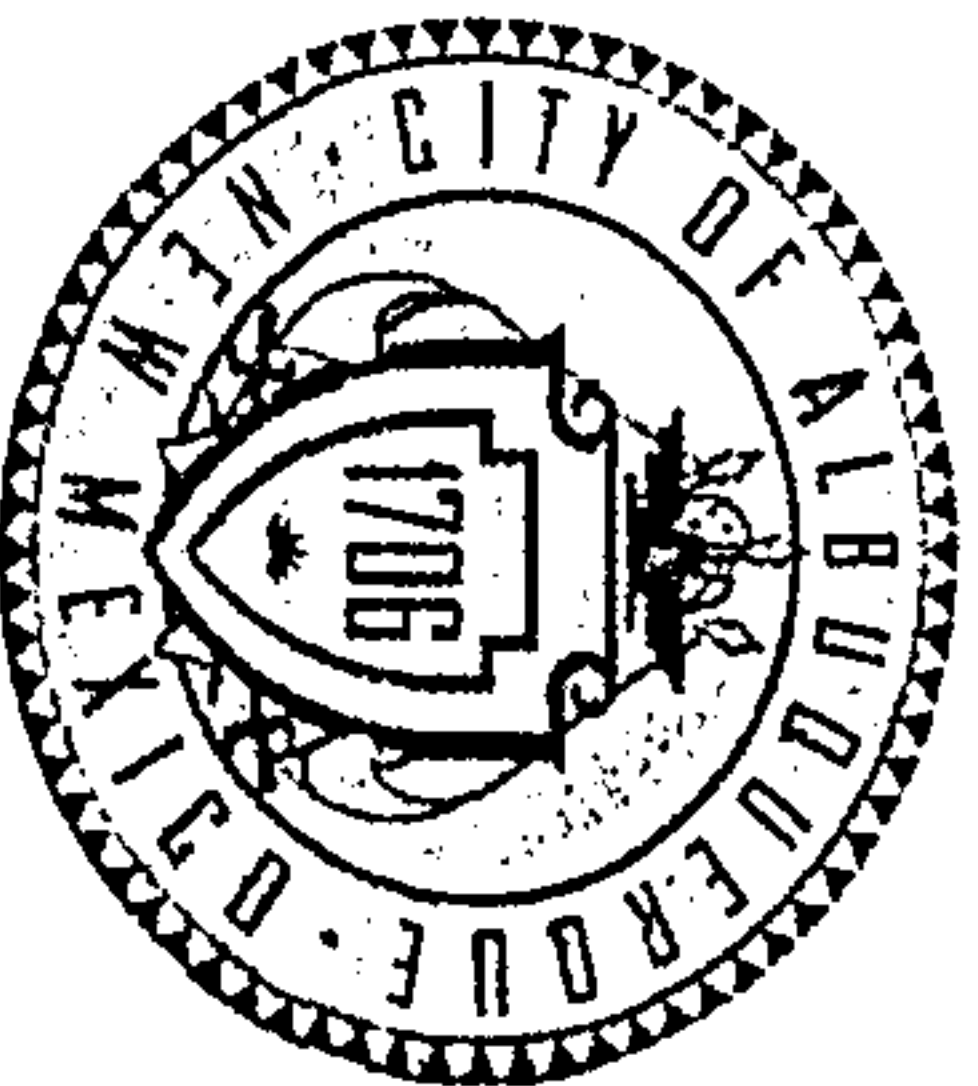
Based upon the information provided in your submittal received 11-05-14,
Transportation Development has no objection to the issuance of a Permanent
Certificate of Occupancy. This letter serves as a "green tag" from Transportation
Development for a Permanent Certificate of Occupancy to be issued by the Building
and Safety Division.

If you have any questions, please contact me at (505)924-3630.

New Mexico 87103 Sincerely,

www.cabq.gov
Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

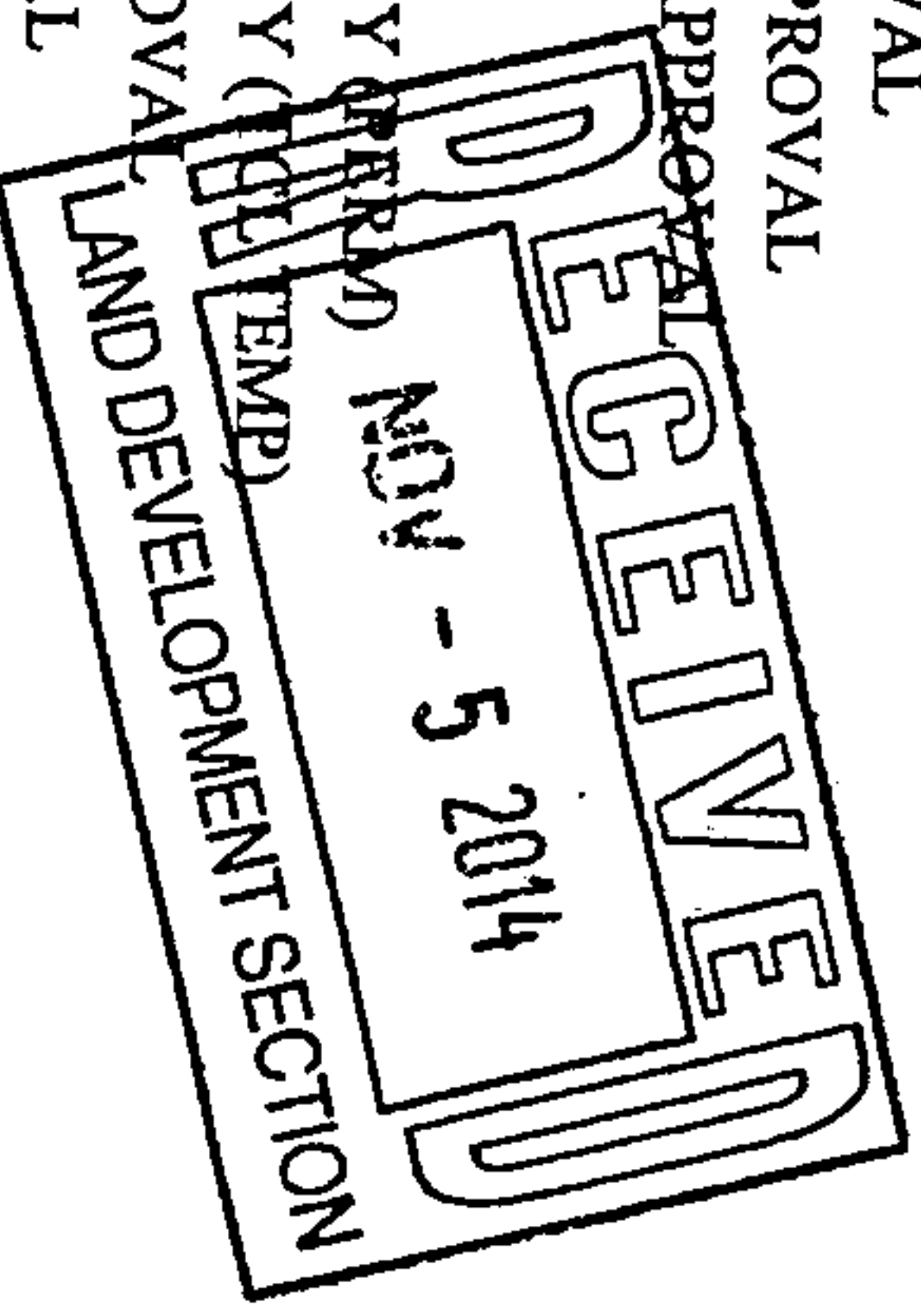
Project Title: <u>Shepherds Lutheran</u>	Building Permit #:	City Drainage #: <u>G20-D036</u>
DRB#: _____	EPC#: _____	Work Order#: _____
Legal Description: <u>lot 1 Shepherds Lutheran</u>		
City Address: <u>3900 Wyoming NE</u>		
Engineering Firm: <u>RIO GRANDE ENGINEERING</u>	Contact: <u>DAVID SOULE</u>	
Address: <u>PO BOX 93924, ALBUQUERQUE, NM 87199</u>		
Phone#: <u>505.321.9099</u>	Fax#: <u>505.872.0999</u>	E-mail: <u>DAVID@RIOGRANDEENGINEERING.COM</u>
Owner: <u>shepherds lutheran</u>	Contact: _____	
Address: <u>3900 Wyoming</u>		
Phone#: _____	Fax#: _____	E-mail: _____
Architect: <u>Joe Simons</u>	Contact: <u>Joe Simons</u>	
Address: _____		
Phone#: _____	Fax#: _____	E-mail: _____
Surveyor: <u>CONSTRUCTION SURVEY TECHNOLOGIES</u>	Contact: <u>JOHN GALLEGOS</u>	
Address: _____		
Phone#: <u>917.8921</u>	Fax#: _____	E-mail: _____
Contractor: _____	Contact: _____	
Address: _____		
Phone#: _____	Fax#: _____	E-mail: _____

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION & SEDIMENT CONTROL PLAN (ESC)	<input type="checkbox"/> FINAL PLAT APPROVAL
<input checked="" type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> CLOMR/LOMR	<input checked="" type="checkbox"/> CERTIFICATE OF OCCUPANCY (TCL TEMP)
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT (TCL)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> BUILDING PERMIT APPROVAL
<input checked="" type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (ESC)	<input type="checkbox"/> PAVING PERMIT APPROVAL
<input type="checkbox"/> SO-19	<input type="checkbox"/> WORK ORDER APPROVAL
<input type="checkbox"/> OTHER (SPECIFY) _____	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> SO-19 APPROVAL
	<input type="checkbox"/> ESC PERMIT APPROVAL
	<input type="checkbox"/> ESC CERT. ACCEPTANCE
	<input type="checkbox"/> OTHER (SPECIFY) _____

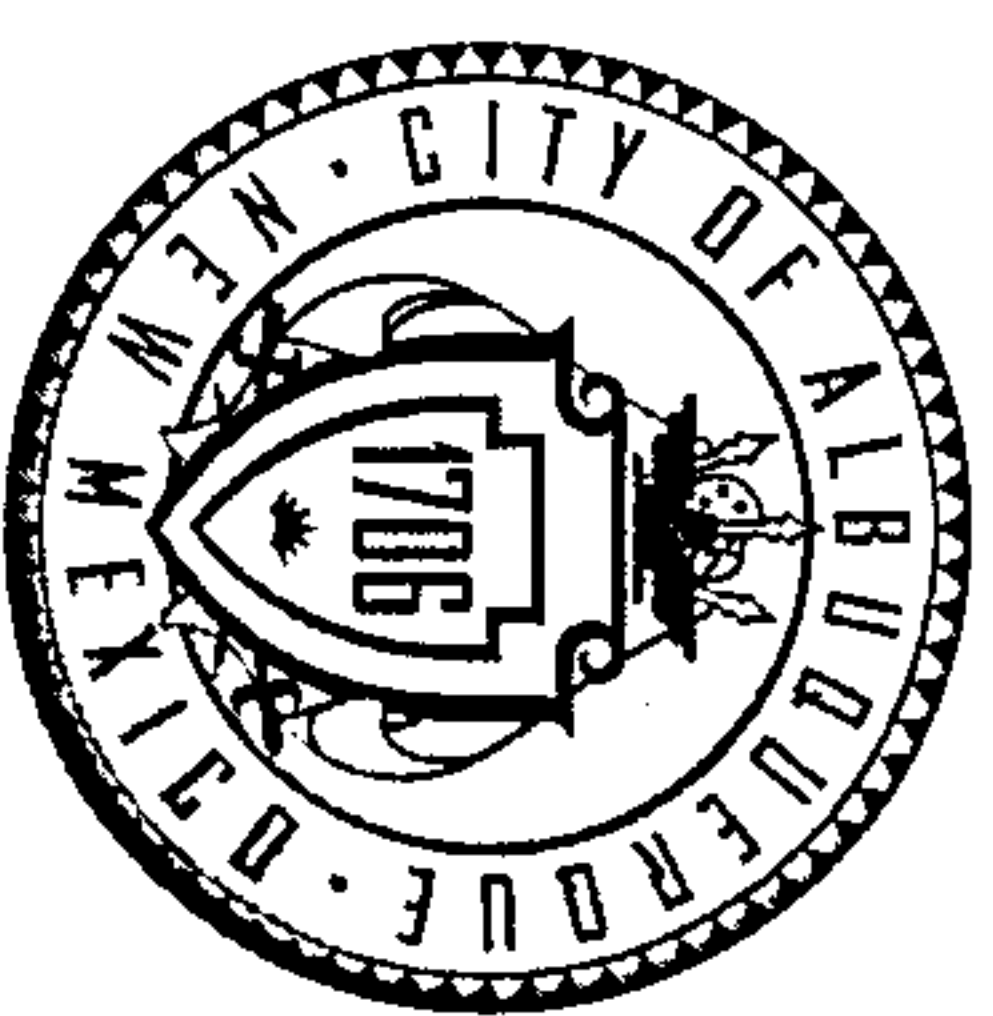
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Copy Provided
DATE SUBMITTED: <u>11/4/14</u>	By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



November 7, 2014

David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

**Re: Shepherds Lutheran
 3900 Wyoming Blvd NE
 Request for 90 day Temporary C.O. - Accepted
 Engineer's Stamp dated: 01-2-14 (G20D036)
 Certification dated: 11-04-14**

Dear Mr. Soule,

PO Box 1293
Based on the Certification received 11/5/2014, the site is acceptable for release of a 90 day Temporary Certificate of Occupancy by Hydrology.

Albuquerque If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

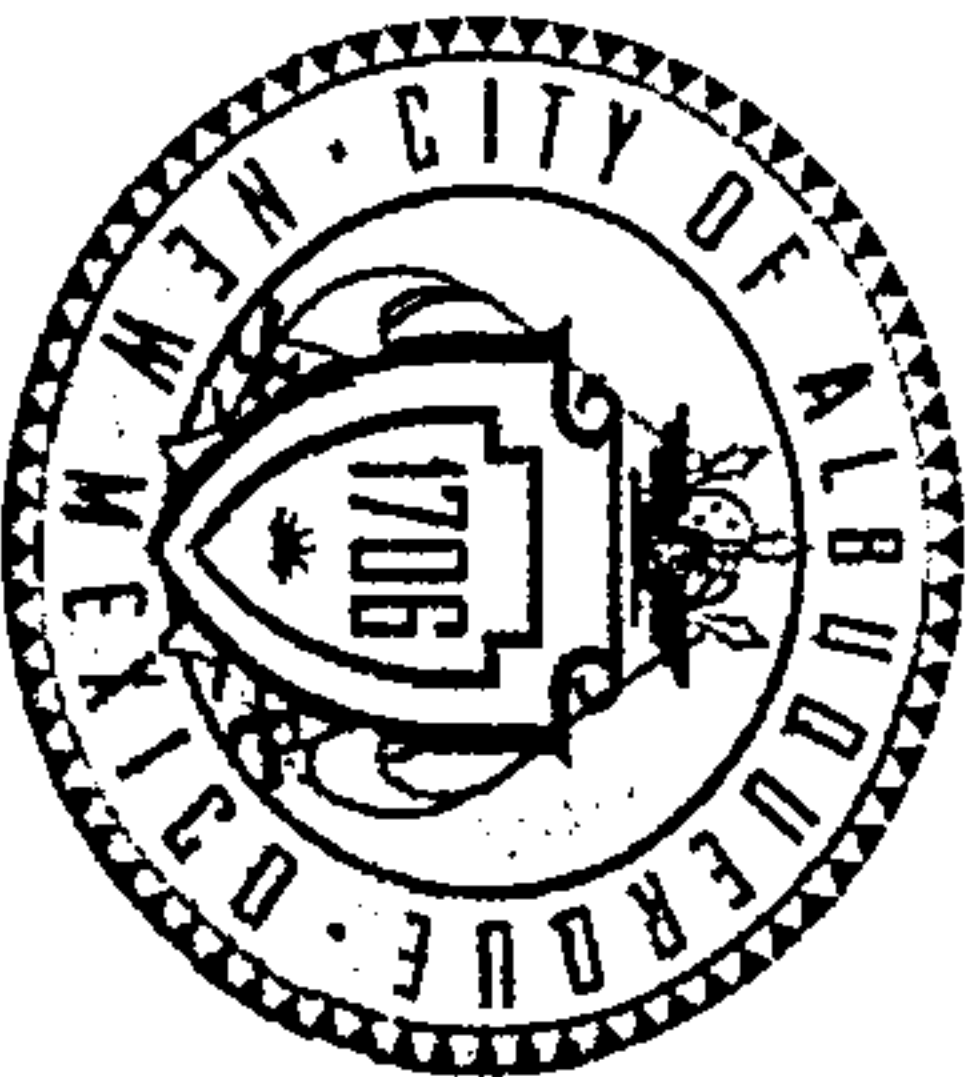
New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

RR/CC
C: CO Clerk
 email



City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Shepherds Lutheran Building Permit #: _____ City Drainage #: G20-D036

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: lot 1 Shepherds Lutheran

City Address: 3900 Wyoming NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: shepherds lutheran Contact: _____

Address: 3900 wyoming

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Joe Simons Contact: Joe Simons

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS

Address: _____

Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☒ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

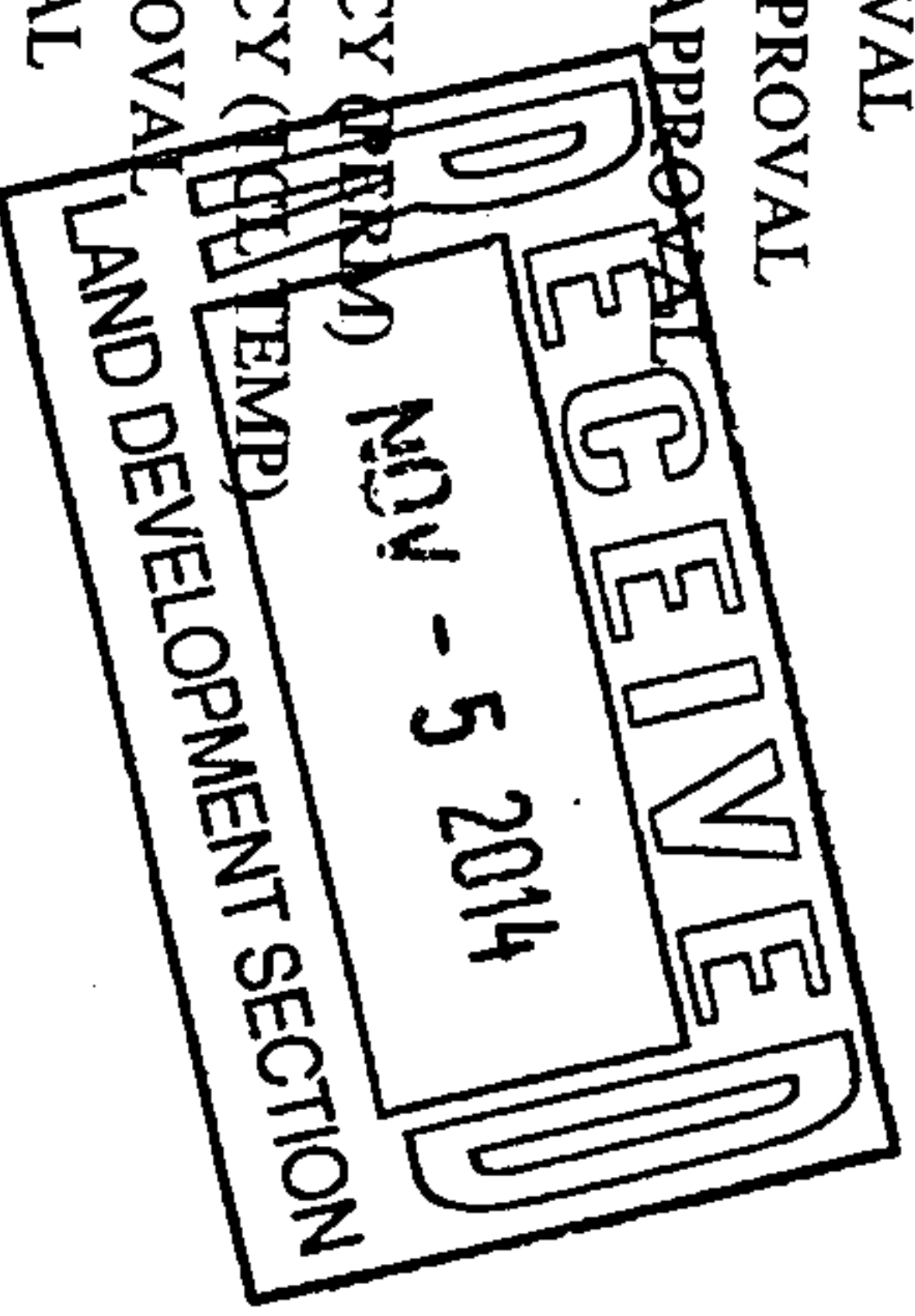
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 11/4/14 By: _____

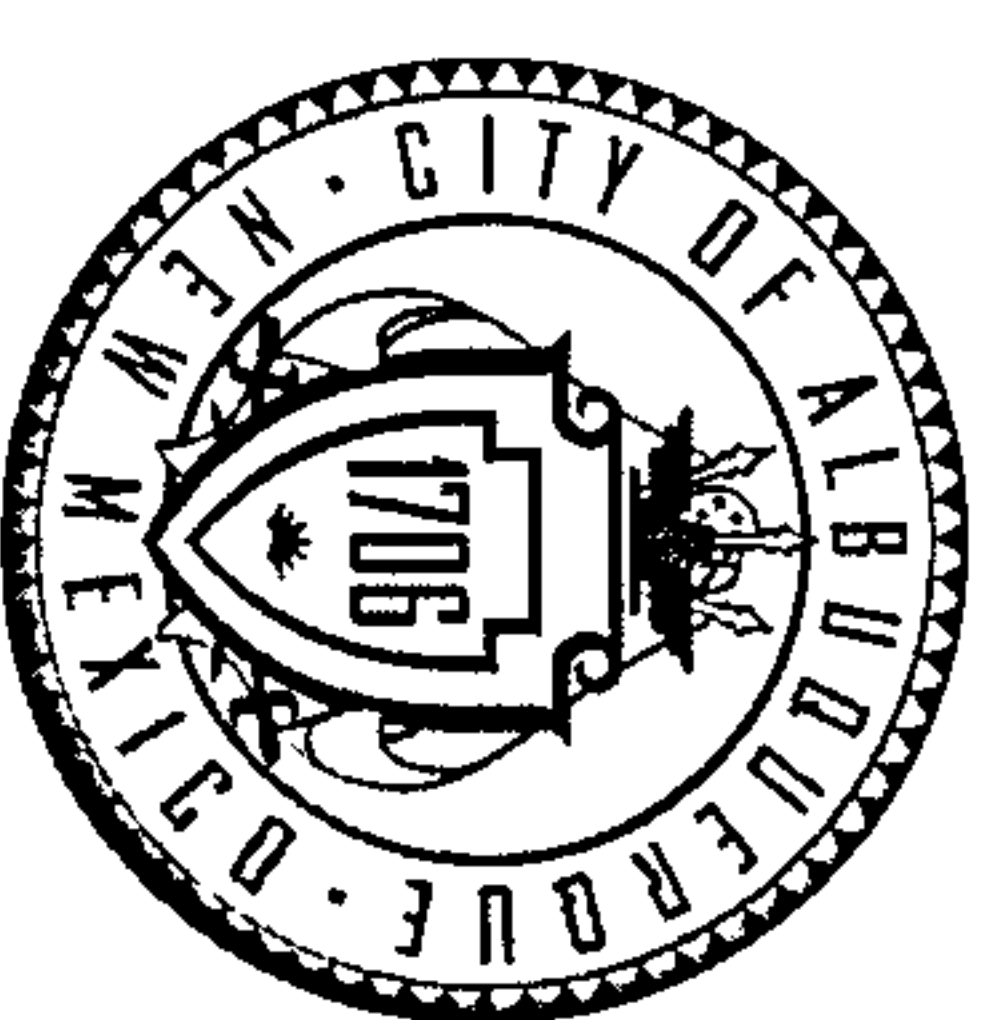
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



January 8, 2014

Richard J. Berry, Mayor

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, New Mexico 87199

RE: **Shepherd Lutheran Church – 3900 Wyoming Blvd. NE** File # **G20/D036**
Grading & Drainage Plan for Building Permit PE Stamp: 1/02/14

Dear Mr. Soule:

Your Drainage submittal received 1/2/2014 meets the requirements for approval for Grading Permit and Building Permit. However, before either Permit can be issued, an Erosion and Sediment Control (ESC) Plan prepared by a registered engineer under the laws of the State of New Mexico, must submitted to and approved by this office.

PO Box 1293
Albuquerque
It is acknowledged that the upper layer of material that is shown in Section D-D of the plan (unlabelled) is a drafting error, and is to be disregarded.

Albuquerque
Please include the referenced version of the Grading and Drainage plan in the Building Permit, construction sets prior to requesting sign-off by Hydrology.

Prior to Certificate of Occupancy release, an Engineer's Certification of the **As-Built Grading and Drainage Plan** will be required, per the DPM checklist.


New Mexico 87103

The Hydrology Section is requesting that consultants submit a digital copy of the signed grading and drainage plans for our records.

Please email a ".pdf" copy of the approved, signed plan to me for filing.
www.cabq.gov

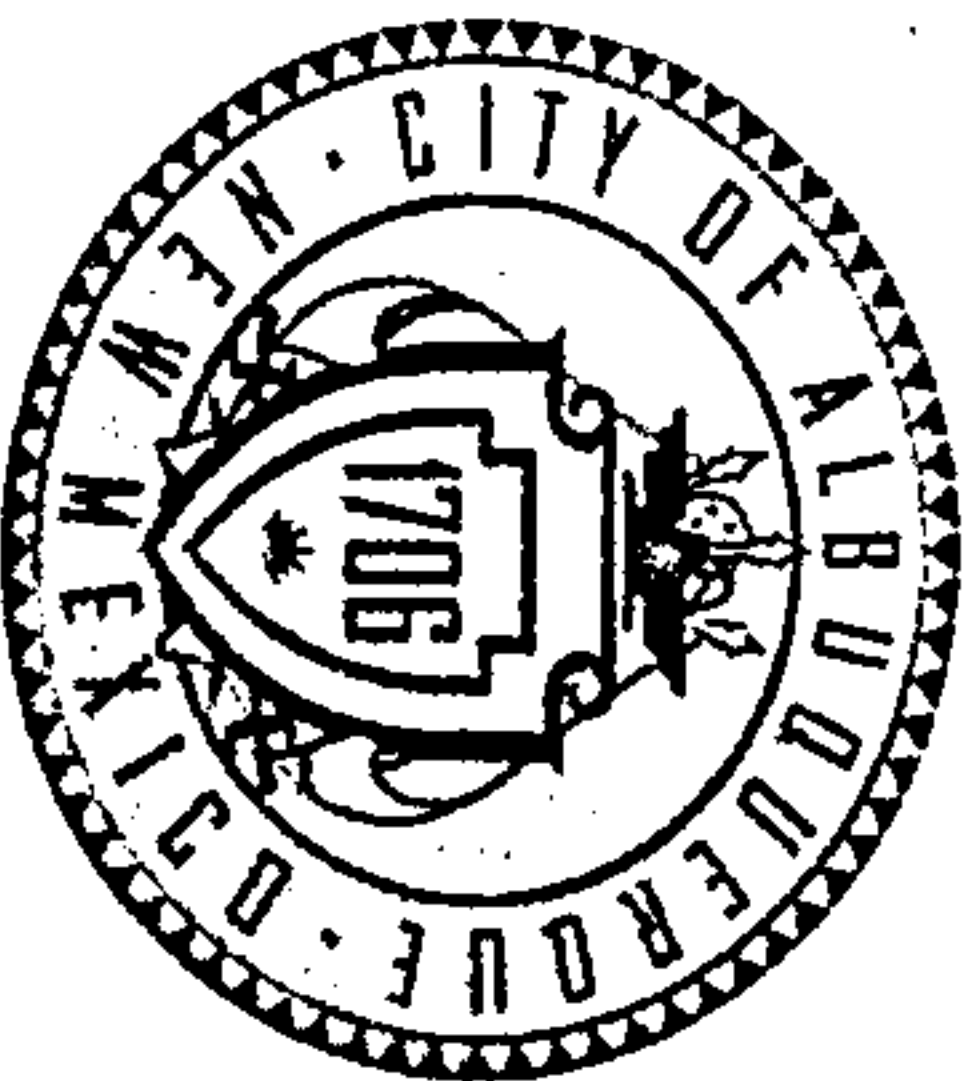
If you have any questions, please contact me at groolson@cabq.gov or phone 924-3994.

Sincerely,

 1/8/14
Gregory K. Olson, P.E.
Senior Engineer

Orig: Drainage file **G20-D036**
c.pdf Addressee via Email: David@RioGrandeEngineering.com

G20D036_GP-approval_TR-ShepherdLutheran_GPforBP_2014JAN02-seal



City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: <u>Shepherds Lutheran</u>	Building Permit #: _____	City Drainage #: <u>620/0036</u>
DRB#: _____	EPC#: _____	Work Order#: _____
Legal Description: <u>lot 1 Shepherds Lutheran</u>		
City Address: <u>3900 Wyoming NE</u>		
Engineering Firm: <u>RIO GRANDE ENGINEERING</u>	Contact: <u>DAVID SOULE</u>	
Address: <u>PO BOX 93924, ALBUQUERQUE, NM 87199</u>		
Phone#: <u>505.321.9099</u>	Fax#: <u>505.872.0999</u>	E-mail: <u>DAVID@RIOGRANDEENGINEERING.COM</u>
Owner: <u>shepherds lutheran</u>	Contact: _____	
Address: <u>3900 Wyoming</u>		
Phone#: _____	Fax#: _____	E-mail: _____
Architect: <u>Joe Simons</u>	Contact: <u>Joe Simons</u>	
Address: _____		
Phone#: _____	Fax#: _____	E-mail: _____
Surveyor: <u>CONSTRUCTION SURVEY TECHNOLOGIES</u>	Contact: <u>JOHN GALLEGOS</u>	
Address: _____		
Phone#: <u>917.8921</u>	Fax#: _____	E-mail: _____
Contractor: _____	Contact: _____	
Address: _____		
Phone#: _____	Fax#: _____	E-mail: _____

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
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<input type="checkbox"/> CLOMR/LOMR	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TCL TEMP)
<input type="checkbox"/> TRAFFIC CIRCULATION LAYOUT (TCL)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
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<input type="checkbox"/> ENGINEER'S CERT (ESC)	<input type="checkbox"/> PAVING PERMIT APPROVAL
<input type="checkbox"/> SO-19	<input type="checkbox"/> WORK ORDER APPROVAL
<input type="checkbox"/> OTHER (SPECIFY) _____	<input type="checkbox"/> GRADING CERTIFICATION
	<input type="checkbox"/> SO-19 APPROVAL
	<input type="checkbox"/> ESC PERMIT APPROVAL
	<input type="checkbox"/> ESC CERT. ACCEPTANCE
	<input type="checkbox"/> OTHER (SPECIFY) _____

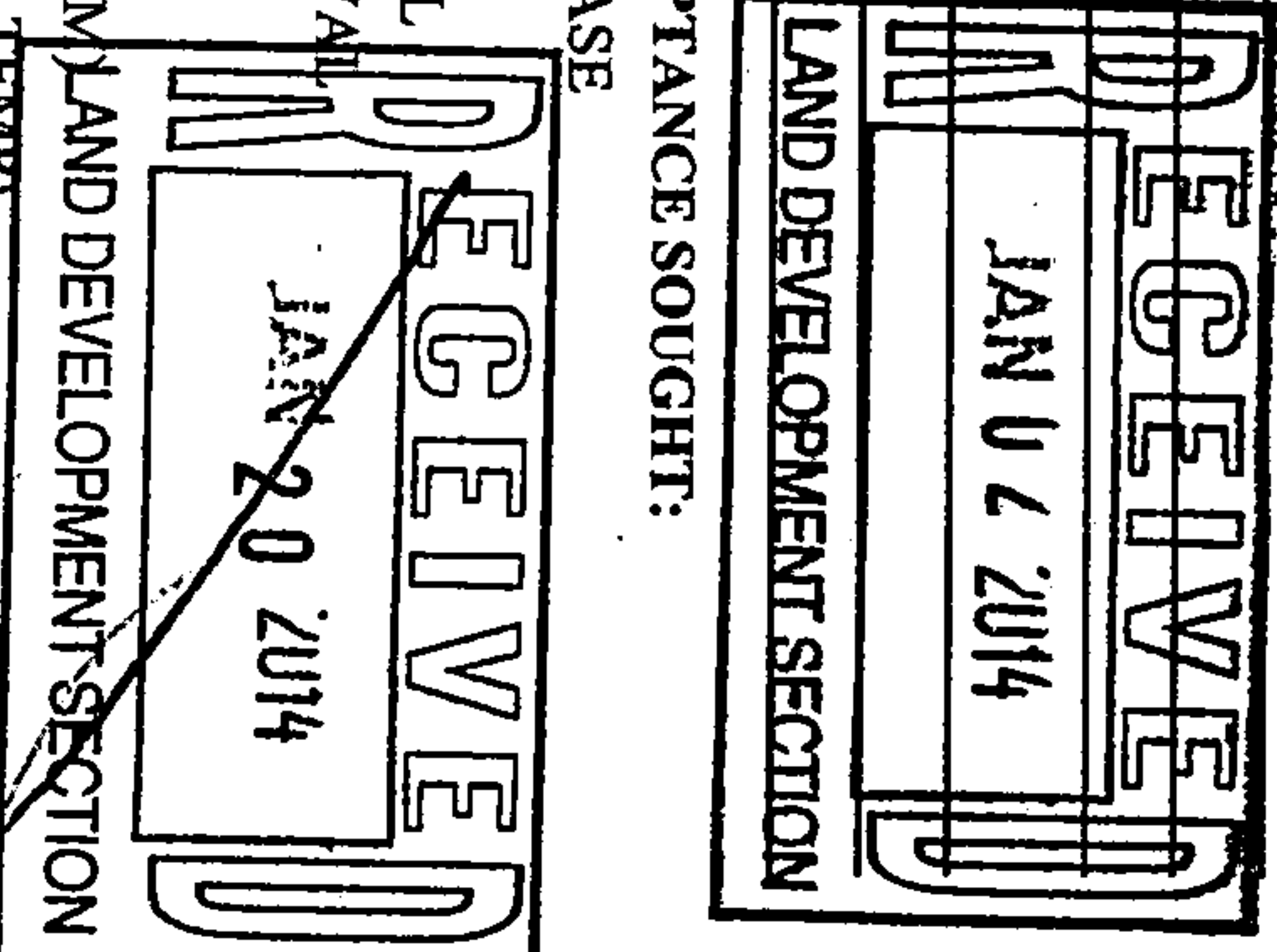
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Copy Provided
DATE SUBMITTED: <u>11/1/13</u>	By: <u>DS</u>

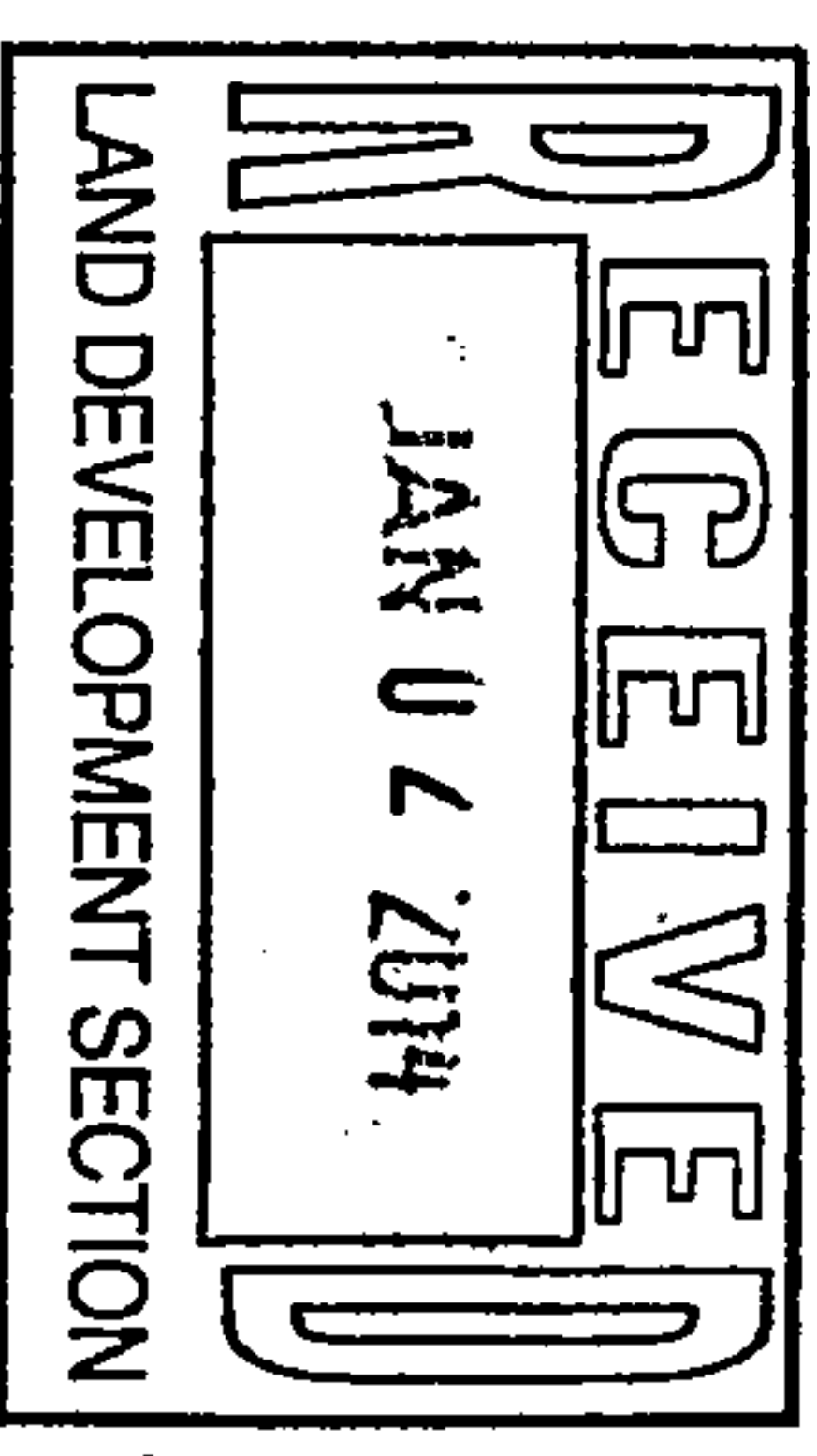
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(2) Grading & Erosion

(1) Site Plan





GRANT OF EASEMENT
FOR PRIVATE CROSS LOT DRAINAGE

LOS ALTOS CENTER, LLC, ("Grantor"), being the owner of property described herein, for good and valuable consideration, the receipt of which is hereby acknowledged, hereby grant, bargain, sell and convey to the TRACT 1, BLOCK 1, WILLIAM WILSON SUBDIVISION in Bernalillo County ("Grantee"), the permanent right and easement for drainage, and the conveyance of storm water and maintenance of, and access to, area as may be necessary on and across the following described real estate:

The land in which the foregoing rights and easement are granted is located on the southwesterly 15 feet within TRACT 7, BLOCK 1, WILLIAM WILSON SUBDIVISION in Bernalillo County, New Mexico as shown on plat filed _____, 19__ in Volume __, Folio __, being more particularly described in Exhibit "A", attached hereto and incorporated herein by reference.

Except with the mutual approval of Grantee and Grantors, no fence, wall, building, or other obstruction may be placed or maintained in said easement, and there shall be no alteration of the grade or contours in said easement. Grantee shall only maintain area of easement and/or improvements that it specifically agrees, by written agreement filed for public record, to maintain. Landscaping or maintenance work by the Grantors, within the easement hereby conveyed, shall not alter the flow or capacity, of the easement area, except in an emergency. If emergency work is performed, Grantors shall notify Grantee as soon as practical thereafter.

Grantors covenant and warrant that they are the owners in fee simple of the property and that they have a good and lawful right to grant the easement described herein. The grant and other provisions of this easement constitute covenants running with the land for the benefit of Grantee and its successors and assigns until terminated.

TO HAVE AND TO HOLD the said right and easement for the uses and purposes aforesaid, unto Grantee, its successors and assigns, to run with the land forever. However, to the extent any portion of the above granted easement area is declared unnecessary for drainage by the City of Albuquerque, said portion of the easement shall revert to the Grantor. Any such reversion shall be accomplished by way of a quitclaim deed to Grantor, his successors or assigns.

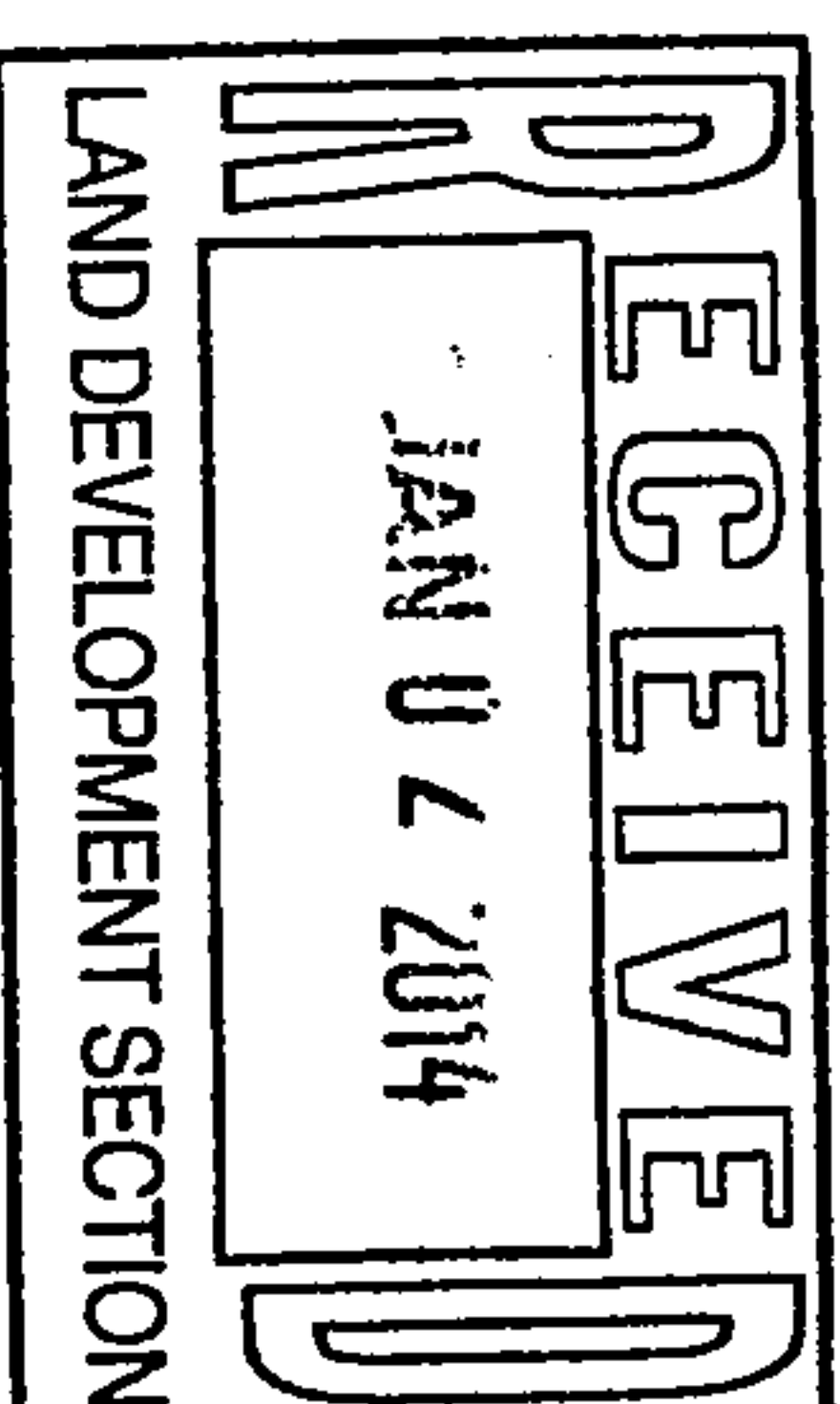
THERE IS RESERVED to the Grantors, their successors and assigns, the right to use said lands as needed. Such uses shall not interfere with the rights and easements granted to Grantee. Other purposes, which will not interfere with the rights and easements hereby granted, may be permitted, provided that Grantors obtain Grantee's written licensed approval for such use, not to be unreasonably withheld.

WITNESS _____ hand and seal this 18 day of December, 2013.

GRANTORS:


Managing Member

Los Altos Center, LLC
6121 Indian School NE, Suite 1218
Albuquerque, NM 87110



ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)SS

This instrument was acknowledged before me on December 19, 2013
by Roger Smith

My commission expires:

June 30, 2016

Deanna J. Crawley
Notary Public

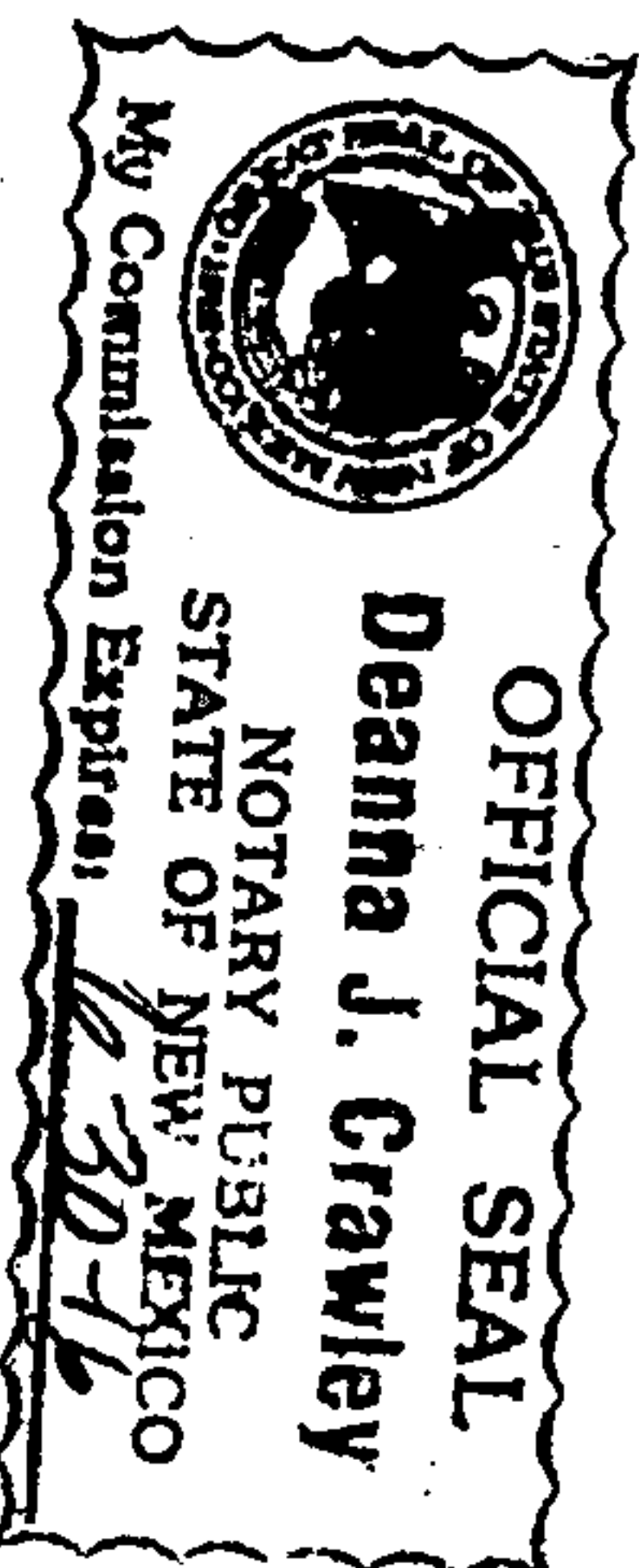


EXHIBIT "A"
15' X 15' PRIVATE DRAINAGE EASEMENT
LOCATED WITHIN LOT 7, BLOCK 1
WILLIAM WILSON SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER 2013

WYOMING BLVD NE

51.91 3 12371.00 S

LOT 1-A
THE WILLIAM WILSON SUBDIVISION
VOL B 10, FOLIO 57 03-20-1975

N 89°48'02" E
43.24'

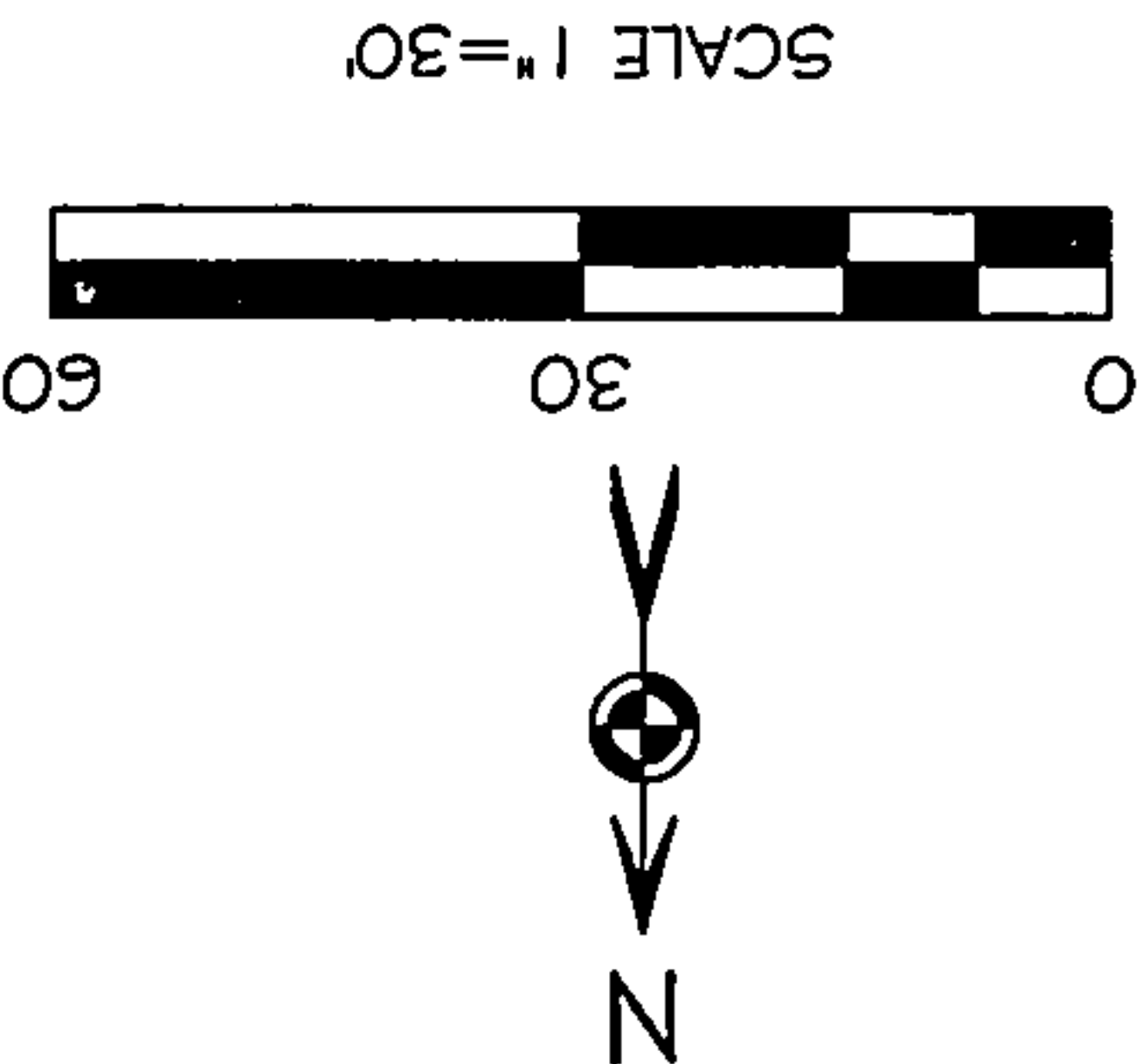
15' X 15' PRIVATE DRAINAGE EASEMENT
GRANTED BY THIS DOCUMENT
CROSS HATCHED AREA

LOT 7, BLOCK 7
THE WILLIAM WILSON SUBDIVISION
VOL C06, FOLIO 134 08-25-1966

N 70°39'09" E 72.44'

N 52°53'59" E 80.61'

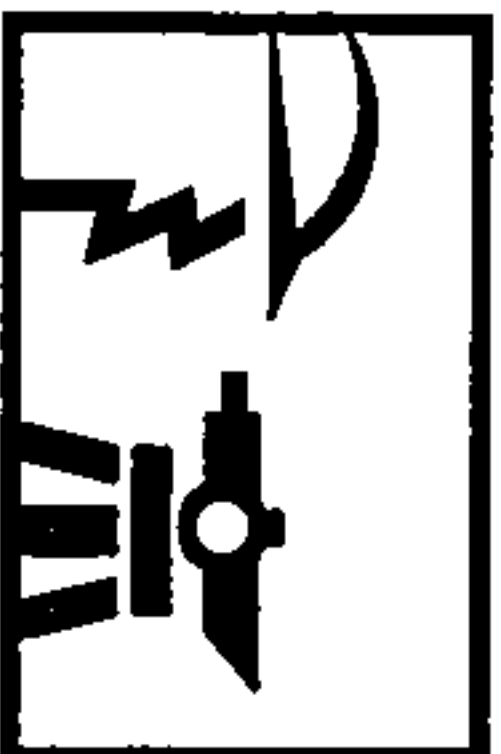
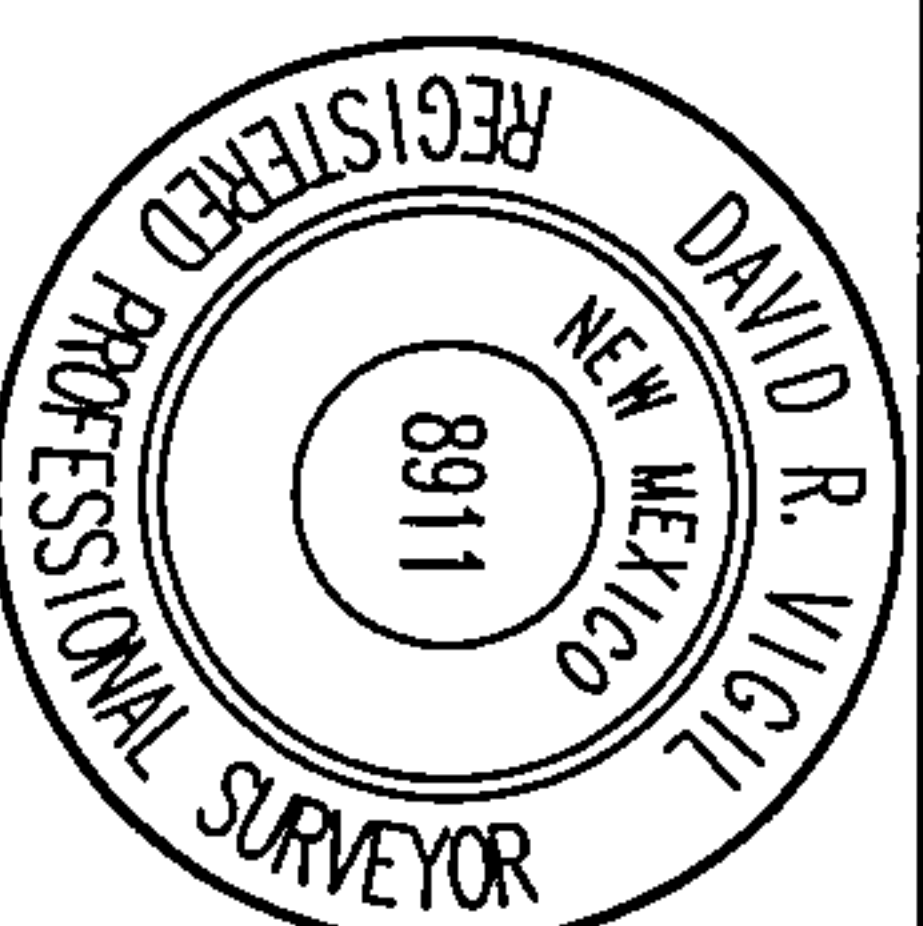
LINE	BEARING	DISTANCE
L1	N 89°48'02" E	15.00'
L2	S 00°11'58" E	15.00'
L3	S 89°48'02" W	15.00'
L4	N 00°11'58" W	15.00'



EASEMENT EXHIBIT "A"

CONSTRUCTION SURVEY TECHNOLOGIES, INC

PO BOX 65395 ALBUQUERQUE, NM 87193 505-917-8921



RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

January 2, 2014

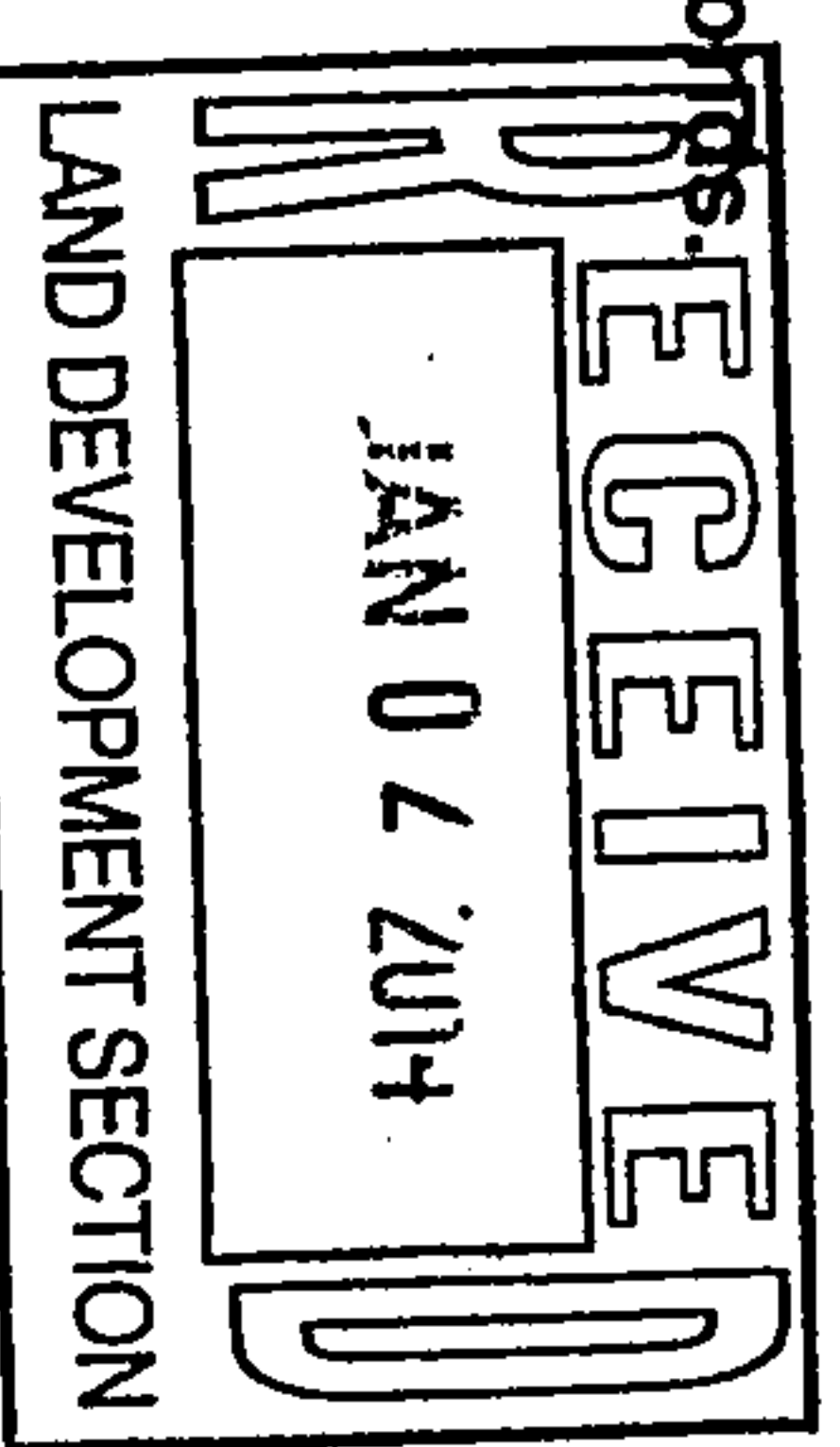
Mr. Greg Olson, PE
Senior Engineer
Hydrology
City of Albuquerque

**RE: Grading and Drainage Plan
Shepards Lutheran Church (G20-D036)**

Dear Mr. Olson:

The purpose of this letter is to accompany the enclosed grading plan for the referenced project. This plan has been modified to address your comments dated December 5, 2013. The following is a summary of your comments with the annotation as to how the plans were modified to address the comments.

1. Show property boundaries and easements on grading plan
We have shown better the property boundary and adjacent easement. The easement has not been filed so a copy of original is enclosed
2. Provide existing grades on adjacent streets and properties
We have added additional spots.
3. A. Divert some flow to Hilton
We have adjusted the plan to discharge approximately half of the discharge out to Hilton, to match existing conditions. The flows that leave the site are intercepted by the inlet on Hilton.
B. Provide direct connection to inlet at Wyoming with SO19
We have reduced the flow to less than 4 cfs. This flow can safely pass thru a 4" channel to the 15x15 easement on the adjacent property.
C. provide more defined grading to ponds
We have added more spots to better show water harvesting ponds.
4. Update drainage basin map:
We have enclosed updated drainage basin map
5. Show existing inlets
We have shown the existing inlets
6. Add proposed contours
We have added the proposed contours
7. Clarify grades around parking areas, i.e. sidewalks vs. pavement grades
All grades shown are flow line unless otherwise specified
8. Demonstrate the harvest ponds accept water
We have added more spots to better show water harvesting ponds.



9. You do not have sump in dumpster
We have removed the sump.

10. provide detail for pond on Wyoming,
We have added more contouring in pond

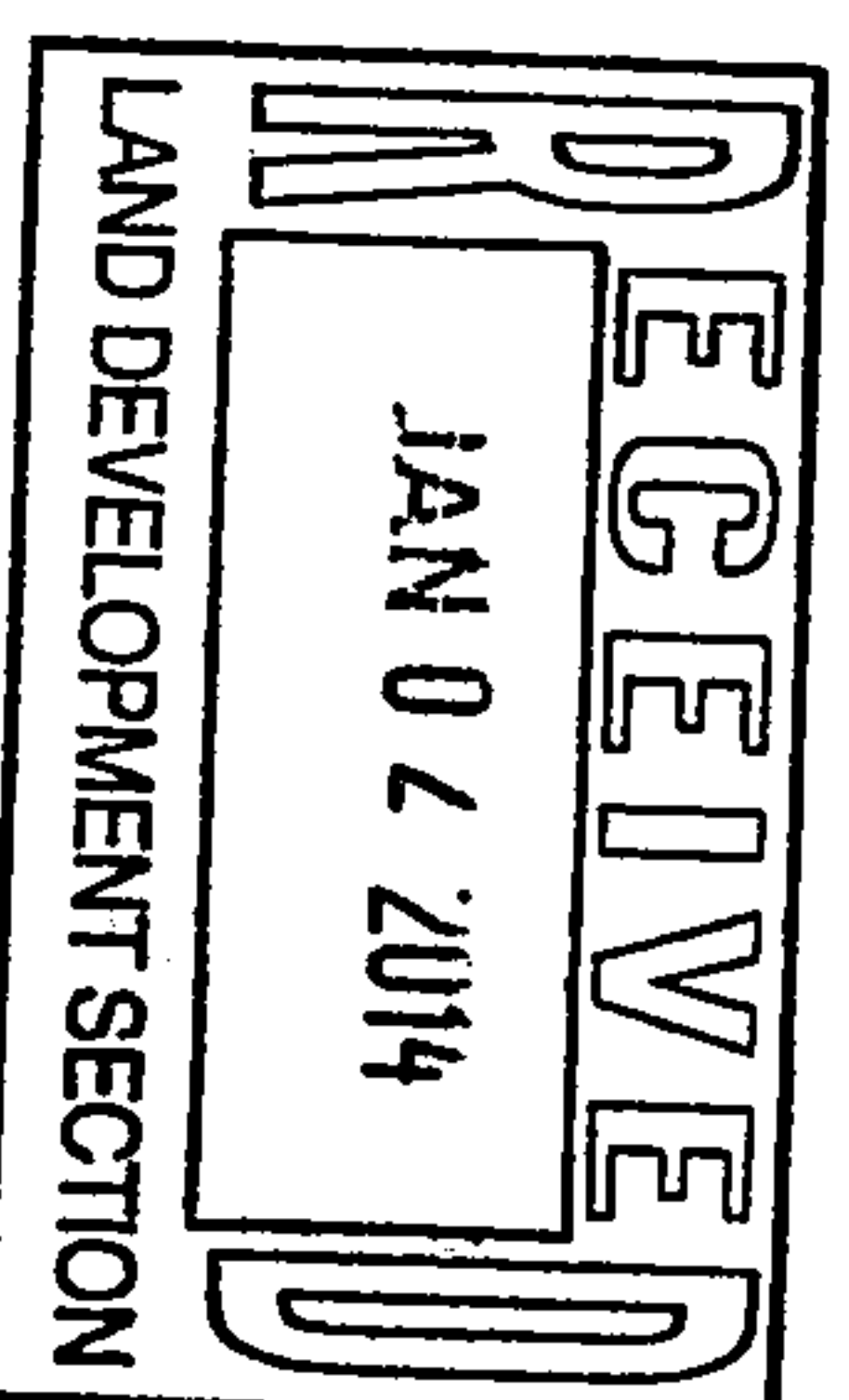
11. Discuss pipe at north side of existing building
This is an existing 30" pipe. It is at grade and allows flow to freely pass. It appears to have been used fore modified pond to account for grade difference

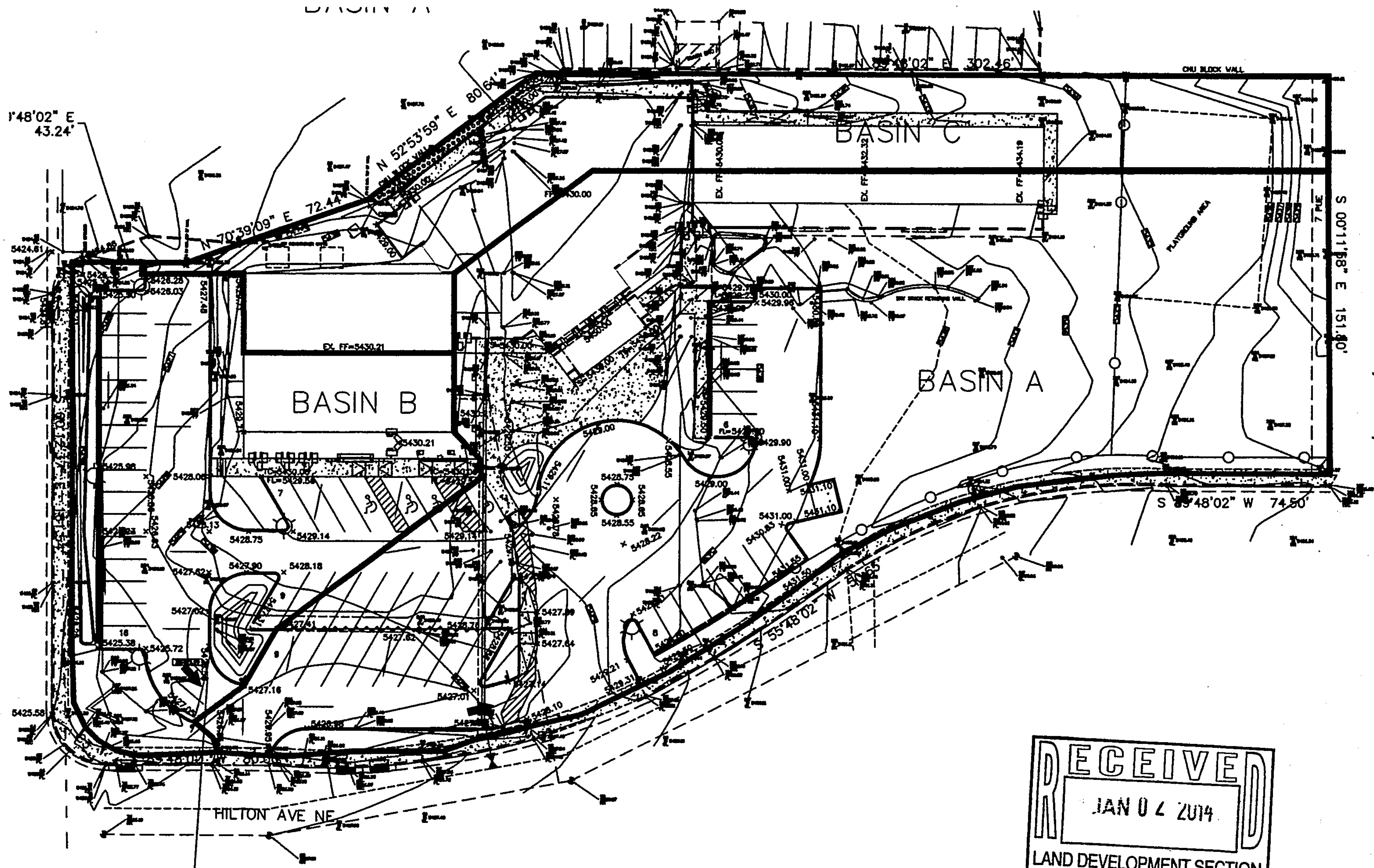
Due to size of lot, a SWPPP has been prepared and to the best of my knowledge and understanding submitted under separate cover. Should you have any questions regarding this re-submittal, please do not hesitate to call me.

Sincerely,



David Soule, PE
Rio Grande Engineering
505.321.9099





RECEIVED
JAN 02 2014
LAND DEVELOPMENT SECTION

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
EXISTING	90177.00	2.070	0%	0	20%	0.414	37%	0.76597	43%	0.890	1.676	0.289	8.19
PROPOSED A	54127.00	1.243	0%	0	19%	0.236	28%	0.34792	53%	0.659	1.787	0.185	5.12
PROPOSED B	18387.00	0.422	0%	0	11%	0.046	14%	0.0591	75%	0.317	2.052	0.072	1.91
PROPOSED C	17663.00	0.405	0%	0	10%	0.041	19%	0.07704	71%	0.288	2.013	0.068	1.82
TOTAL PROPOSED	90177.00	2.070				0.323		0.484		1.263			8.85
change		0.000				0.000		-0.091		-0.282		0.373	0.66

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

$E_a = 0.66$
 $E_b = 0.92$
 $E_c = 1.29$
 $E_d = 2.36$

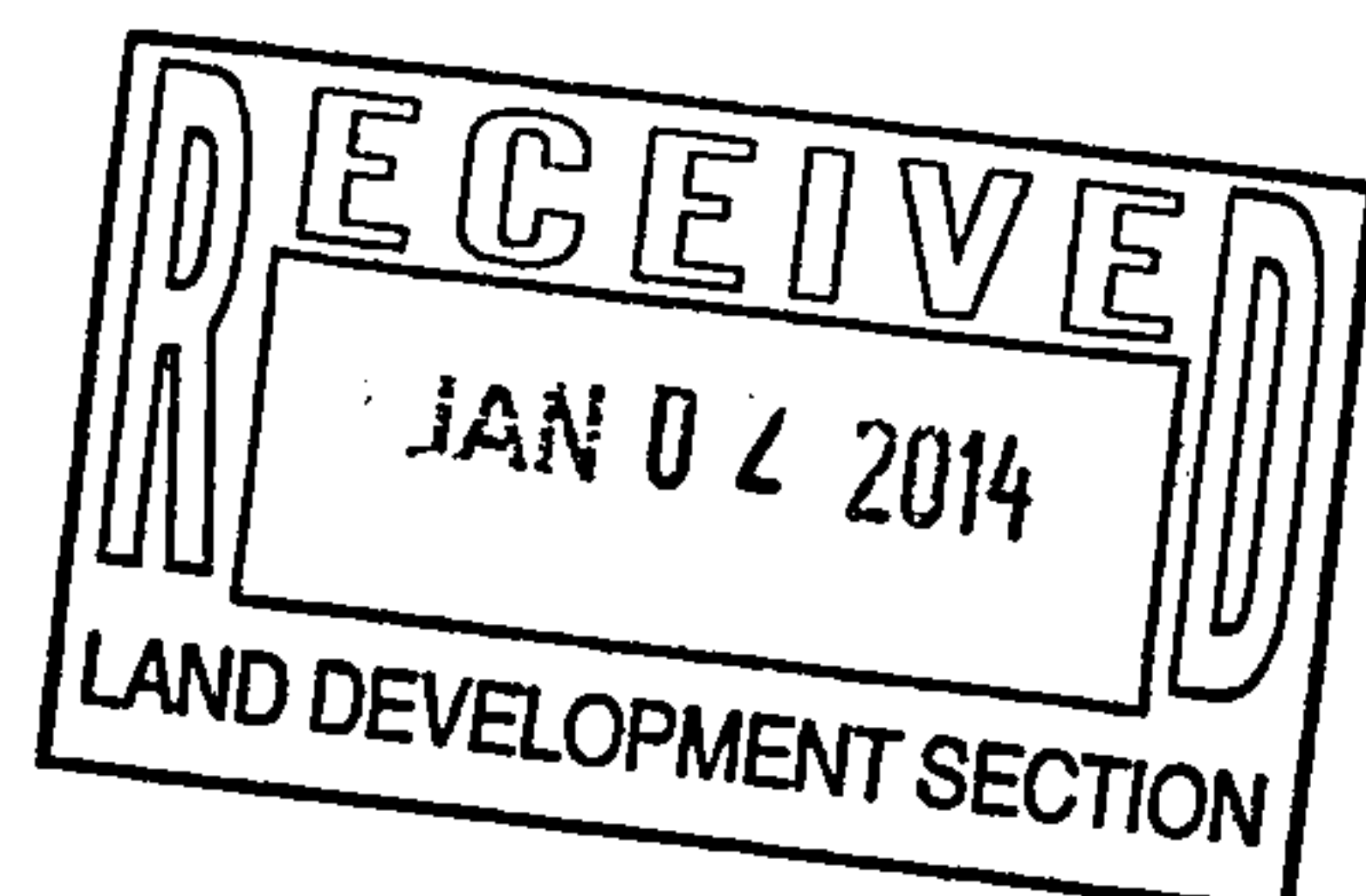
$Q_a = 1.87$
 $Q_b = 2.6$
 $Q_c = 3.45$
 $Q_d = 5.02$

FLOW RATE LEAVING SITE

HILTON 5.12 CFS
 WYOMING 3.73 CFS

WATER HARVEST

1/4 INCH PER FOOT 1879 cubic feet
 PROVIDED 2239 cubic feet



POWERED

Curb Opening

Weir Equation:

$$Q = CLH^3/2$$

$$Q = 3.73 \text{ cfs}$$

$$C = 2.95$$

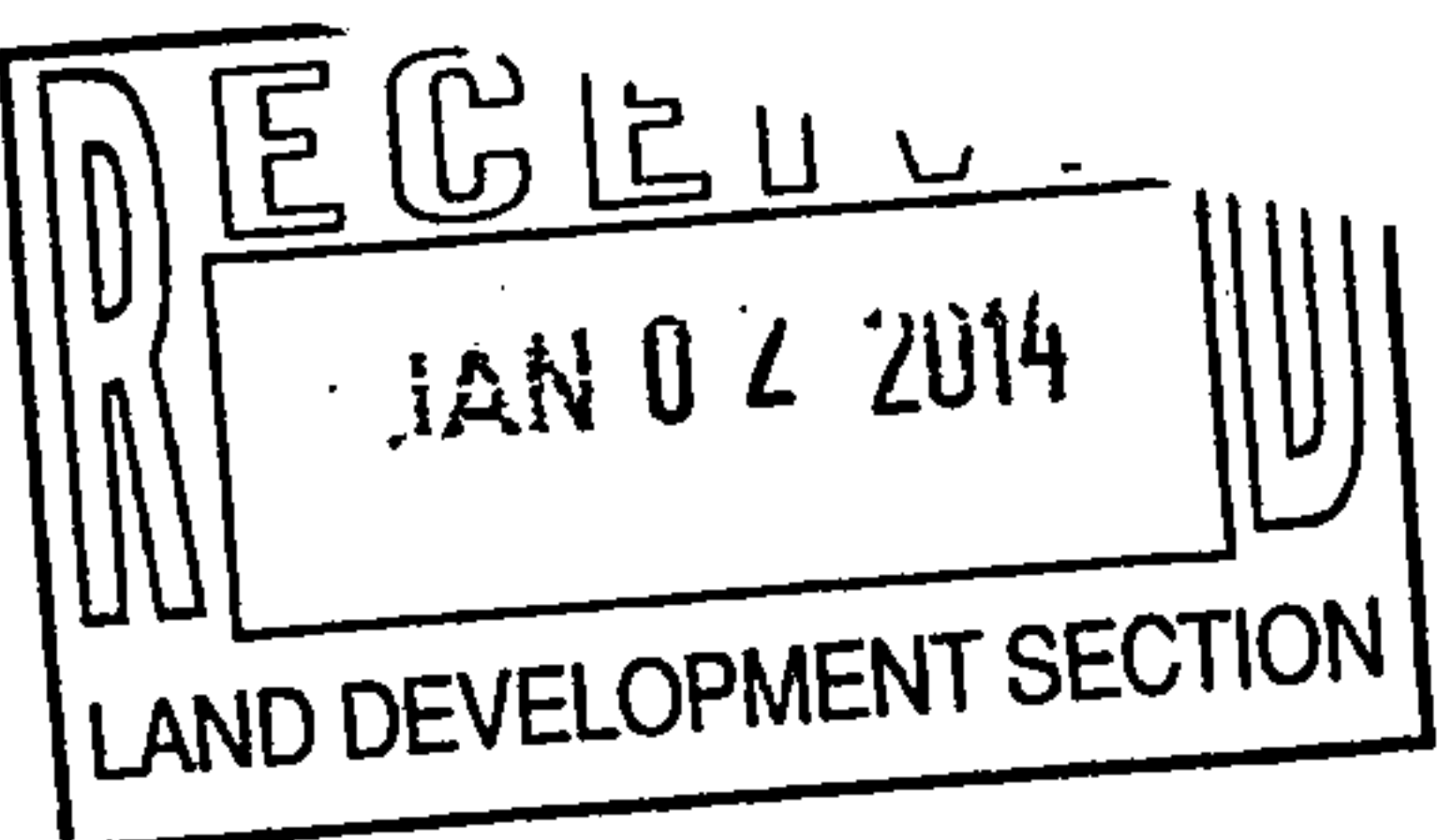
$$H = 0.5 \text{ ft}$$

$$L = \text{Length of weir}$$

$$L = \frac{3.73}{2.95(0.5)^{3/2}}$$

$$L = 3.58 \text{ ft}$$

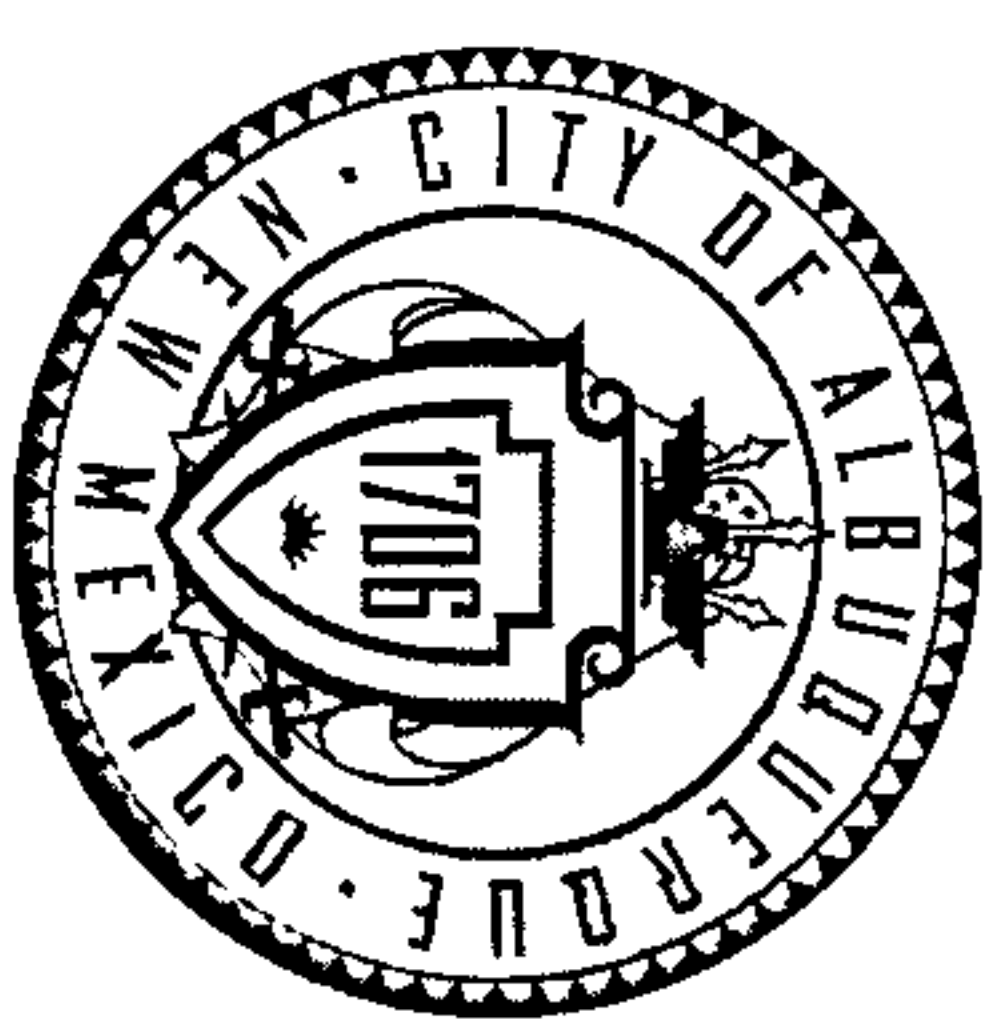
Use 4 feet for length of weir



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services

December 5, 2013



Richard J. Berry, Mayor

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, New Mexico 87199

RE: **Shepherd Lutheran Church – 3900 Wyoming Blvd. NE** File # **G20/D036**
Grading & Drainage Plan for Building Permit PE Stamp: 11/01/13

Dear Mr. Soule,

Based upon the information provided in your submittal received 11/1/2013, the above referenced plan cannot be approved for **Building Permit**. The following issues need to be addressed on this plan:

1. Show property boundaries and easements on the Grading Plan.
 2. Provide existing grades on the adjacent streets, particularly at driveways to Hilton and near the curb cut discharge point at the NW corner of the site.
 3. Historic drainage patterns routed approximately 25% of site flows out the westerly driveway, to an inlet on Hilton Place. This proposed plan diverts all of the flow to the NW corner of the site and expands a 2' curb cut to 9-feet wide. This amount of discharge to that driveway opening is not acceptable. Options to consider include:
 - a. Divert some of the site flow to the inlets on Hilton.
 - b. Provide a direct connection to the back of the inlet on Wyoming, via an SO-19, private storm drain connection.
 - c. Provide more defined grading to "Detention Ponds" on site to reduce the discharge rate.
- PO Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

4. Update the drainage basin map to include flow arrows and indicate discharge points. Inclusion of an existing basin map would be help to illustrate proposed changes.
5. Show the existing inlet location on Wyoming, and the second inlet on Hilton, between the driveways.
6. The Grading Plan does not include Proposed Contours for much of the site. Spot elevations provided do not clearly demonstrate intended flow patterns, and some such as the eastern parking area appear incorrect.

ABD
1 of 2

G20-D036

Shepherd Lutheran Church – G&D

December 5, 2013

Page 2

7. Clarify grades around parking areas; e.g.-sidewalk grades vs. pavement grades. Provide flow arrows and Proposed Contours to clarify flow patterns.
8. Grades provided do not clearly show how runoff will be directed to the Harvesting Pond in the southern parking area. Most flows appear to bypass the curb cut.
9. Flat grades around the Dumpster Pad with 0.2' depression at center will not drain.
10. Provide more detail of the pond along Wyoming. It appears from information provided that runoff will sheet flow over the sidewalk or wheelchair ramp, instead of discharging to the curb cut at the north end. Consider a Private Storm Drain connection to the inlet, per note 3.b above.
11. The plan shows a pipe on the north side of the existing building, with no size or slope information. Confirm capacity for the proposed flows between the existing garden wall and AC units.

Since this site exceeds one (1) acre, an Erosion and Sediment Control (ESC) Plan prepared by a NM Registered Professional Engineer must be submitted to this office and approved, prior to start of **Grading**.

If you have any questions, please contact me at grolson@cabq.gov or phone 924-3994.

Sincerely,

 12/5/13

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file G20-D036
c.pdf Addressee via Email: david@riograndeengineering.com

G20-D036

Shepherd Lutheran Church – G&D

December 5, 2013

Page 2

7. Clarify grades around parking areas; e.g.-sidewalk grades vs. pavement grades. Provide flow arrows and Proposed Contours to clarify flow patterns.
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Since this site exceeds one (1) acre, an Erosion and Sediment Control (ESC) Plan prepared by a NM Registered Professional Engineer must be submitted to this office and approved, prior to start of **Grading**.

If you have any questions, please contact me at groolson@cabq.gov or phone 924-3994.

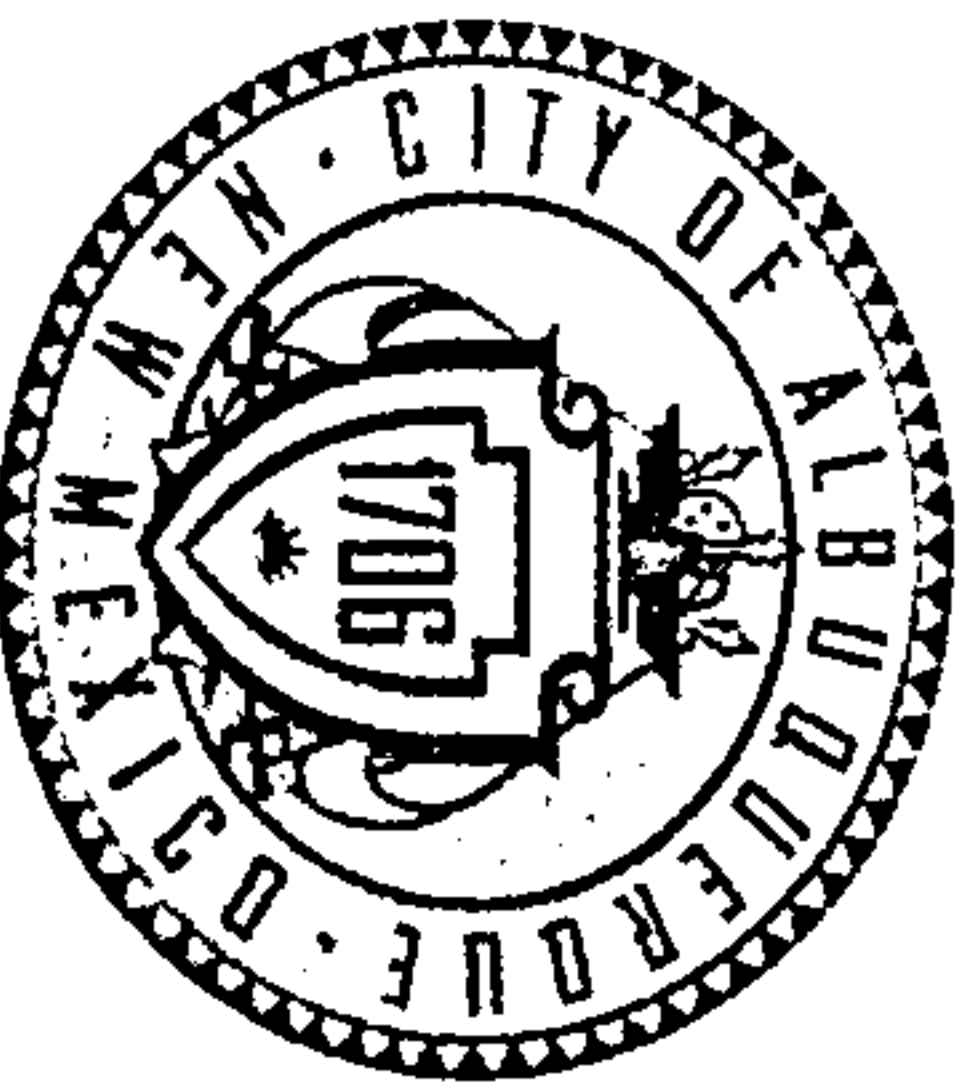
Sincerely,



12/5/13

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file **G20-D036**
c.pdf Addressee via Email: david@riograndeengineering.com



City of Albuquerque

Planning Department Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Shepherds Lutheran Building Permit #: _____ City Drainage #: 620D036

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: lot 1 Shepherds Lutheran

City Address: 3900 Wyoming NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: shepherds lutheran Contact: _____

Address: 3900 wyoming

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Joe Simons Contact: Joe Simons

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY TECHNOLOGIES Contact: JOHN GALLEGOS

Address: _____

Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: _____

s DRAINAGE REPORT _____

s DRAINAGE PLAN 1st SUBMITTAL _____

s DRAINAGE PLAN RESUBMITTAL _____

s CONCEPTUAL G & D PLAN _____

s GRADING PLAN _____

s EROSION & SEDIMENT CONTROL PLAN (ESC) _____

s ENGINEER'S CERT (HYDROLOGY) _____

s CLOMR/LOMR _____

s TRAFFIC CIRCULATION LAYOUT (TCL) _____

s ENGINEER'S CERT (TCL) _____

s ENGINEER'S CERT (DRB SITE PLAN) _____

s ENGINEER'S CERT (ESC) _____

s SO-19 _____

s OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

 SIA/FINANCIAL GUARANTEE RELEASE

 PRELIMINARY PLAT APPROVAL

 S. DEV. PLAN FOR SUB'D APPROVAL

 S. DEV. FOR BLDG. PERMIT APPROVAL

 SECTOR PLAN APPROVAL

 FINAL PLAT APPROVAL

 CERTIFICATE OF OCCUPANCY (PERM)

 CERTIFICATE OF OCCUPANCY (TEMP) AND DEVELOPMENT SECTION

 FOUNDATION PERMIT APPROVAL

 BUILDING PERMIT APPROVAL

 GRADING PERMIT APPROVAL

 PAVING PERMIT APPROVAL

 WORK ORDER APPROVAL

 GRADING CERTIFICATION

 SO-19 APPROVAL

 ESC PERMIT APPROVAL

 ESC CERT. ACCEPTANCE

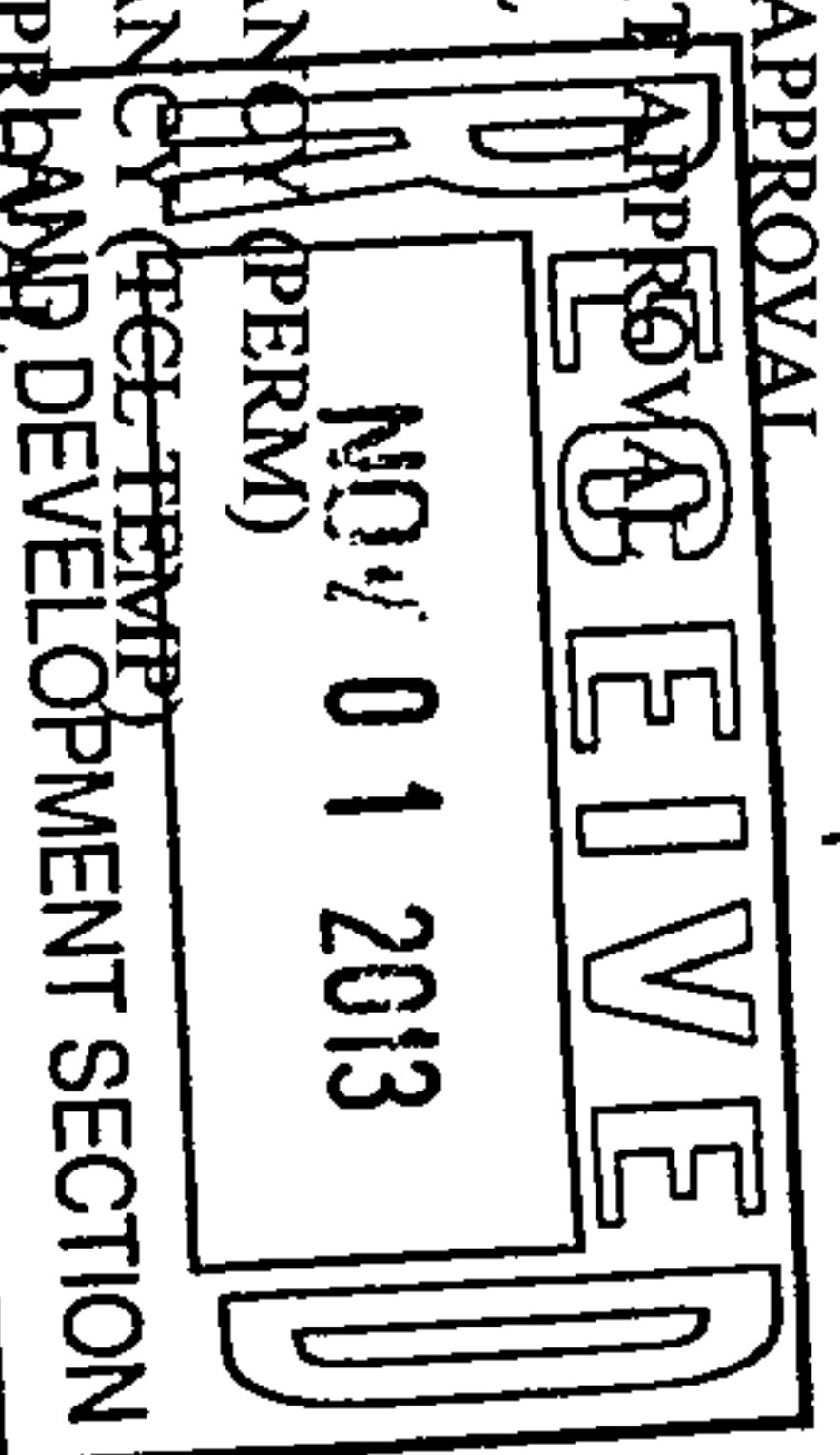
 OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes X No Copy Provided

DATE SUBMITTED: 11/1/13 By: DSM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



paid \$50.00

DRAINAGE REPORT

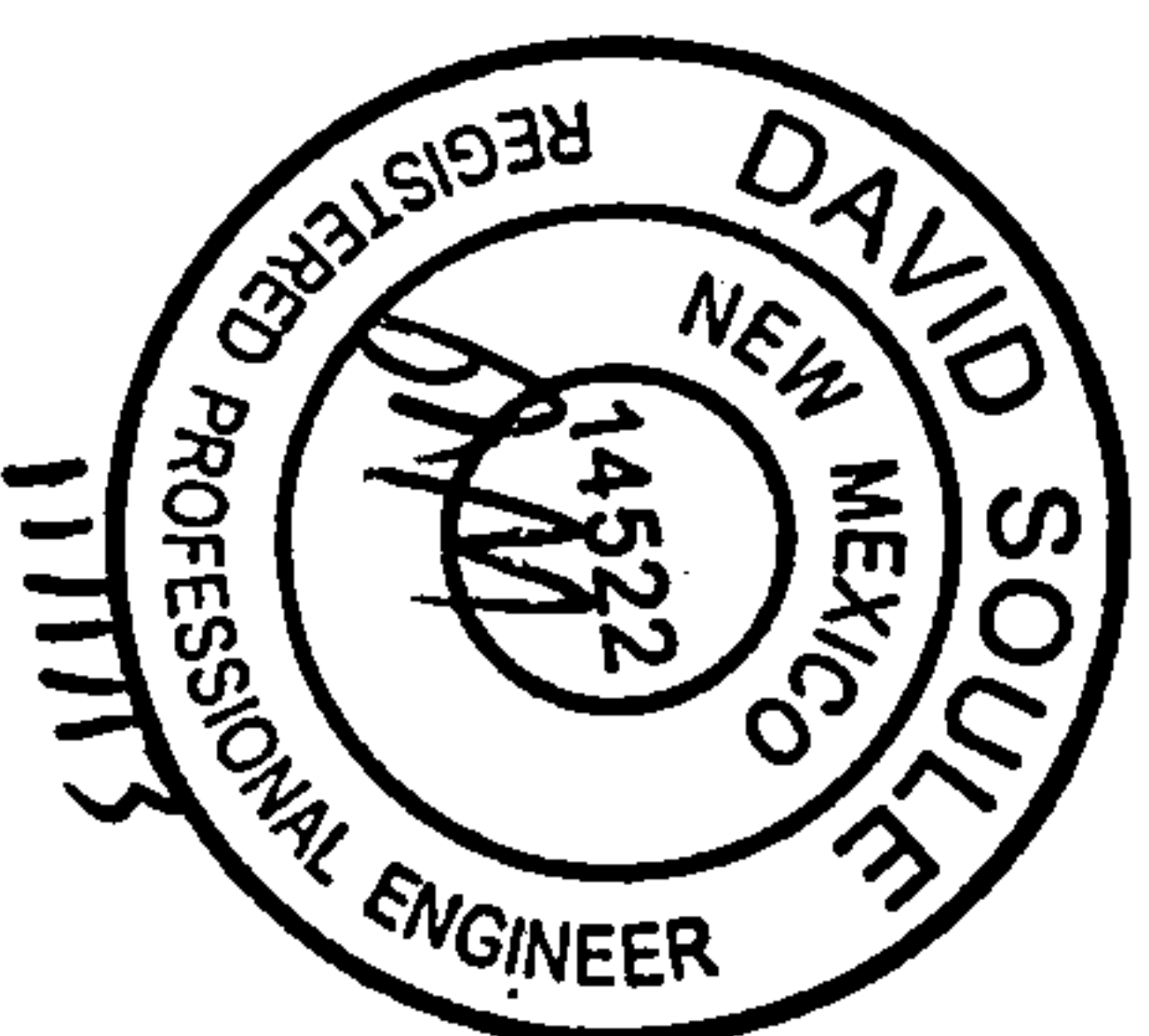
For

**SHEPHERDS LUTHERAN CHURCH
LOT 1- SHEPHERDS LUTHERAN CHURCH
3900 WYOMING BOULEVARD NE
Albuquerque, New Mexico**

Prepared by

**Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199**

November 2013



David Soule P.E. No. 14522

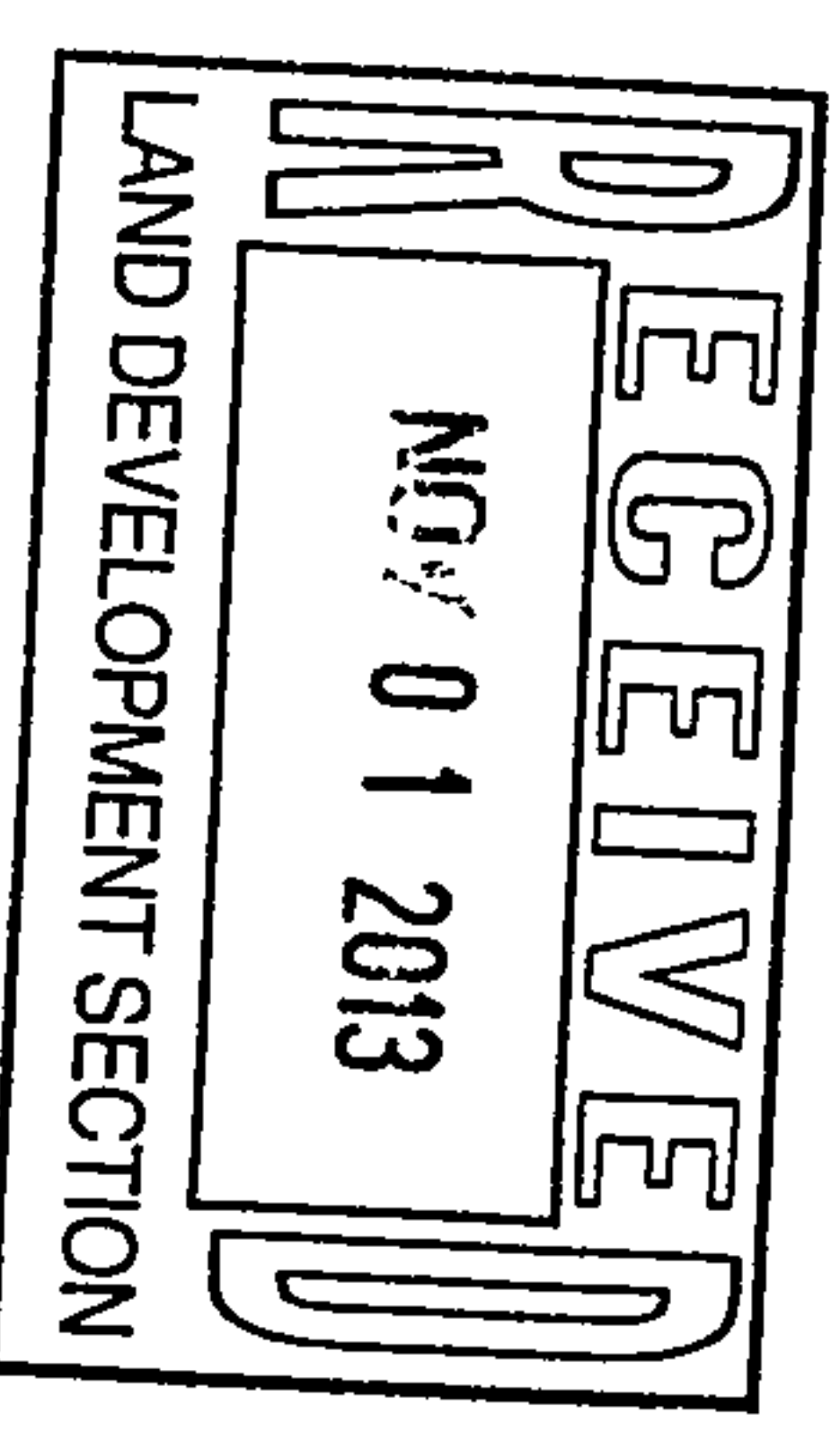


TABLE OF CONTENTS

Purpose 3
Introduction 3
Existing Conditions 3
Exhibit A-Vicinity Map 4
Proposed Conditions 5
Summary 5

Appendix

Site Hydrology A

Map Pocket
Site Grading and Drainage Plan

PURPOSE

The purpose of this report is to provide the Drainage Management Plan for the redevelopment of a developed lot located at 3900 Wyoming Boulevard northeast. This plan was prepared in accordance with the City of Albuquerque design regulations, utilizing the City of Albuquerque's Development Process Manual drainage guidelines. This report will demonstrate that the grading does not adversely affect the surrounding properties, nor the upstream or downstream facilities.

INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a 2-acre parcel of land located on the north east corner of Wyoming Boulevard and Hilton Ave Northeast. The legal description of this site is lot 1 of Shepherd's Lutheran Church. As shown on FIRM map35013C0143G, the entire site is located within Flood Zone X.

EXISTING CONDITIONS

The site is currently developed as a church, with playgrounds and a paved car lot. The site currently discharges 8.19 cfs the adjacent Wyoming right-of-way, via a 2' curb cut on the adjacent property where it leaves the site and enters the right of way thru the driveway on the adjacent tract. This flow is captured by an inlet located directly adjacent to the driveway on Wyoming. Due to solid fencing along the western boundary, the upland flow is negligible

OK for

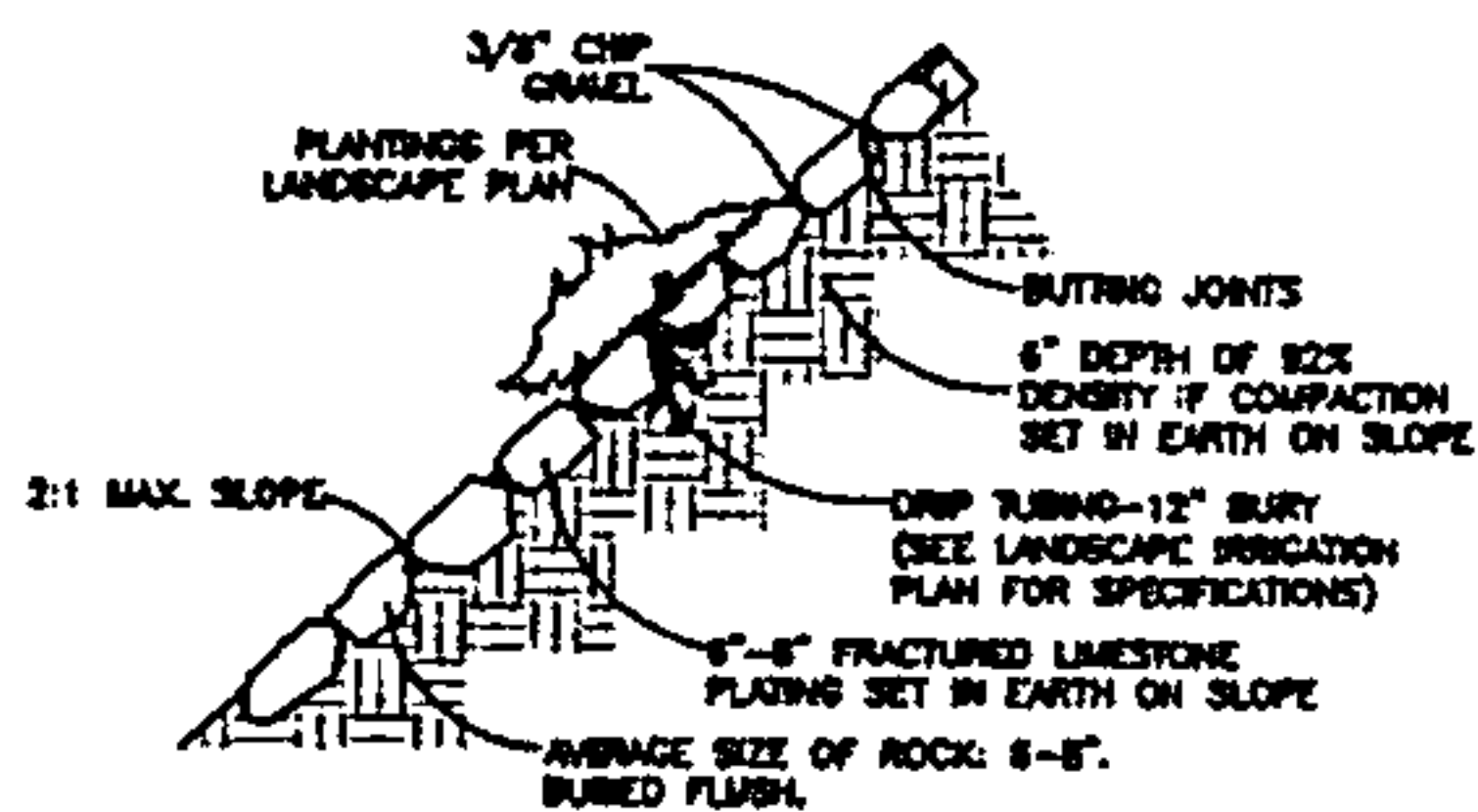
PROPOSED CONDITIONS

The proposed improvements consist of removing one building and constructing another. The parking lots will be reconfigured. As shown in appendix A, the site will consist of 4 drainage basins. All the basins drain to the existing curb cut at the sites northwest corner. The curb cut will be required to be increased to 9' to allow for the total flow of 8.85 cfs to leave the site. A drainage easement has been prepared and the recorded document will be submitted to the city. Basin B and D both have several water harvest features. These harvest ponds are less than 18" and shall drain within 24 hours. The combined ponding volume is 1816 cubic feet. This is close to the the $\frac{1}{4}$ " per foot harvest volume target of 1879 cubic feet.

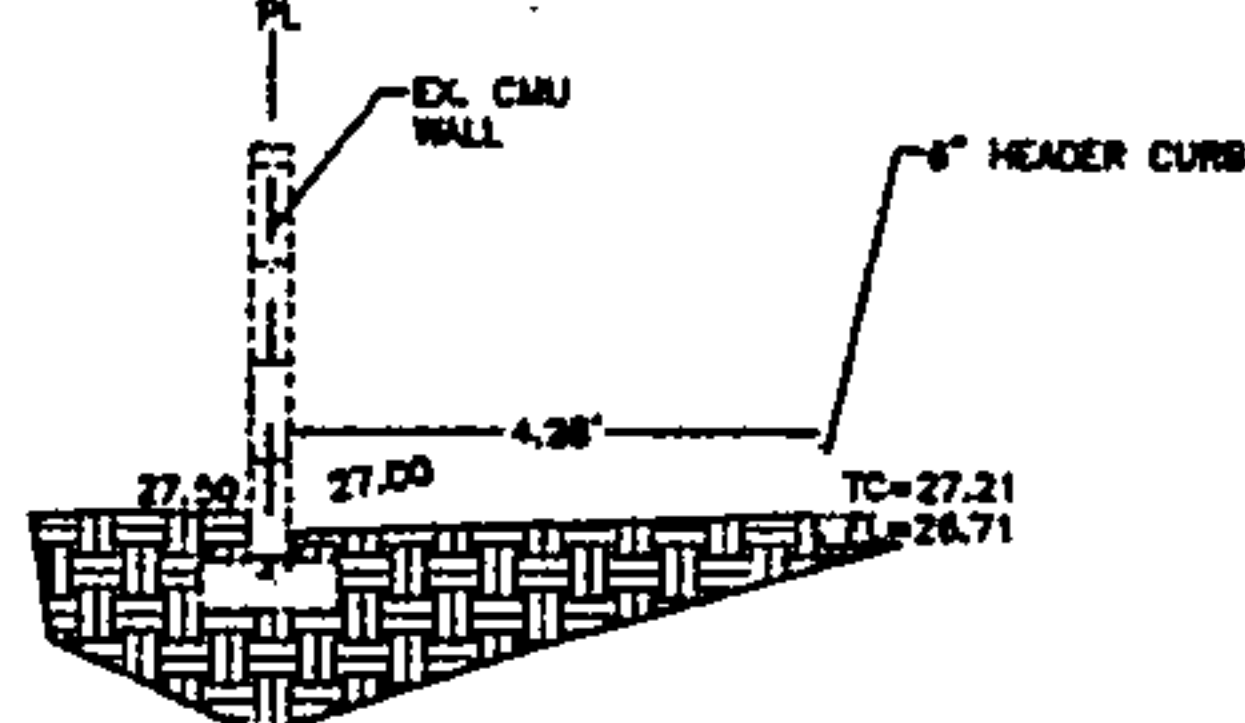
The site is a redevelopment of an existing site and the surrounding infrastructure is functioning properly.

SUMMARY AND RECOMMENDATIONS

This project is a reconfiguration / redevelopment of a currently developed site. The site is within a fully developed area of Albuquerque. The site is not directly contributing to any adjacent flood plains. The site development will allow for a discharge rate similar to the existing. Due to the harvest ponds the discharge rate should actually be equal to the existing peak rate. The site shall harvest close to the first .44 inches of rain generated by the site. The site discharge characteristics shall match the existing conditions. The harvesting ponds will improve the water quality of the developed storm water discharge. Since the effected area site encompasses and area greater than 1 acre, a NPDES permit should be required prior to any construction activity. An Erosion Control Plan will also be required.



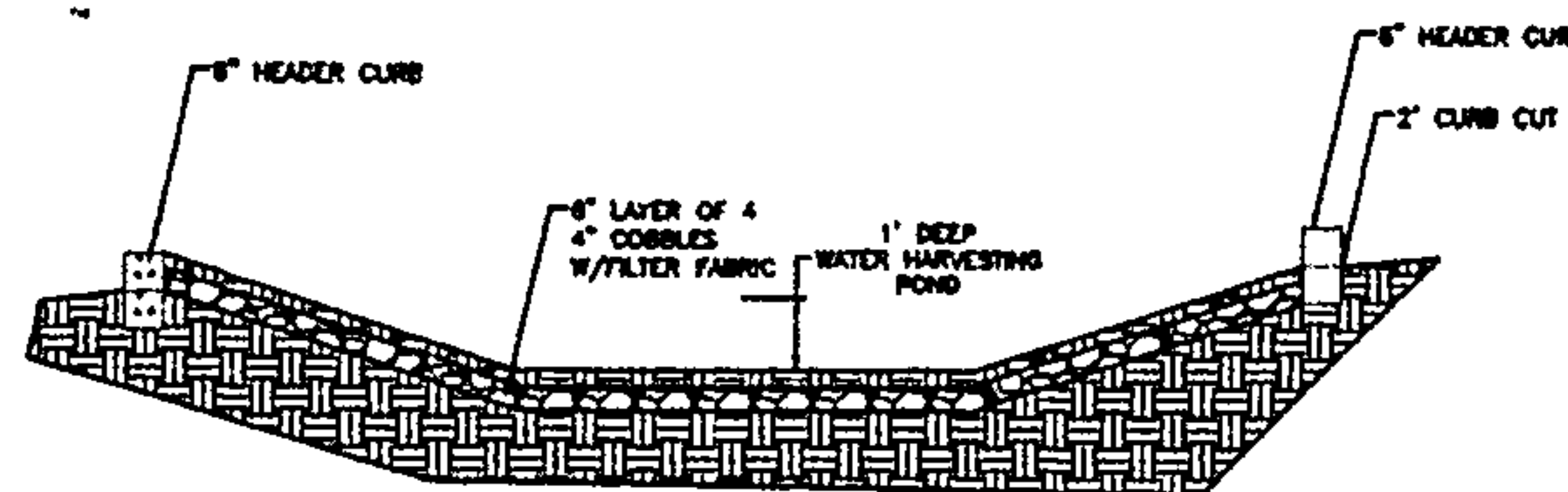
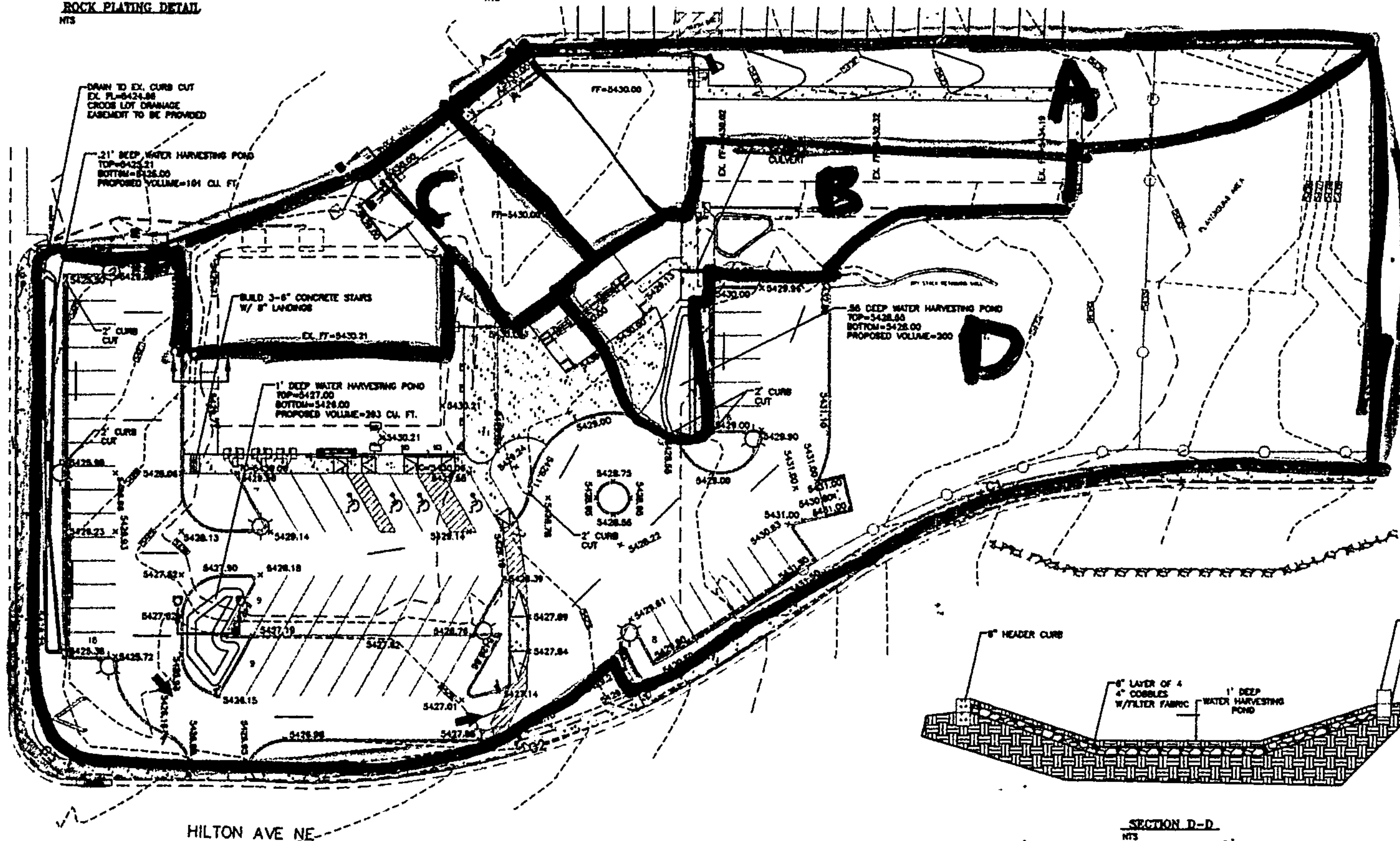
ROCK PAVING DETAIL
NTS



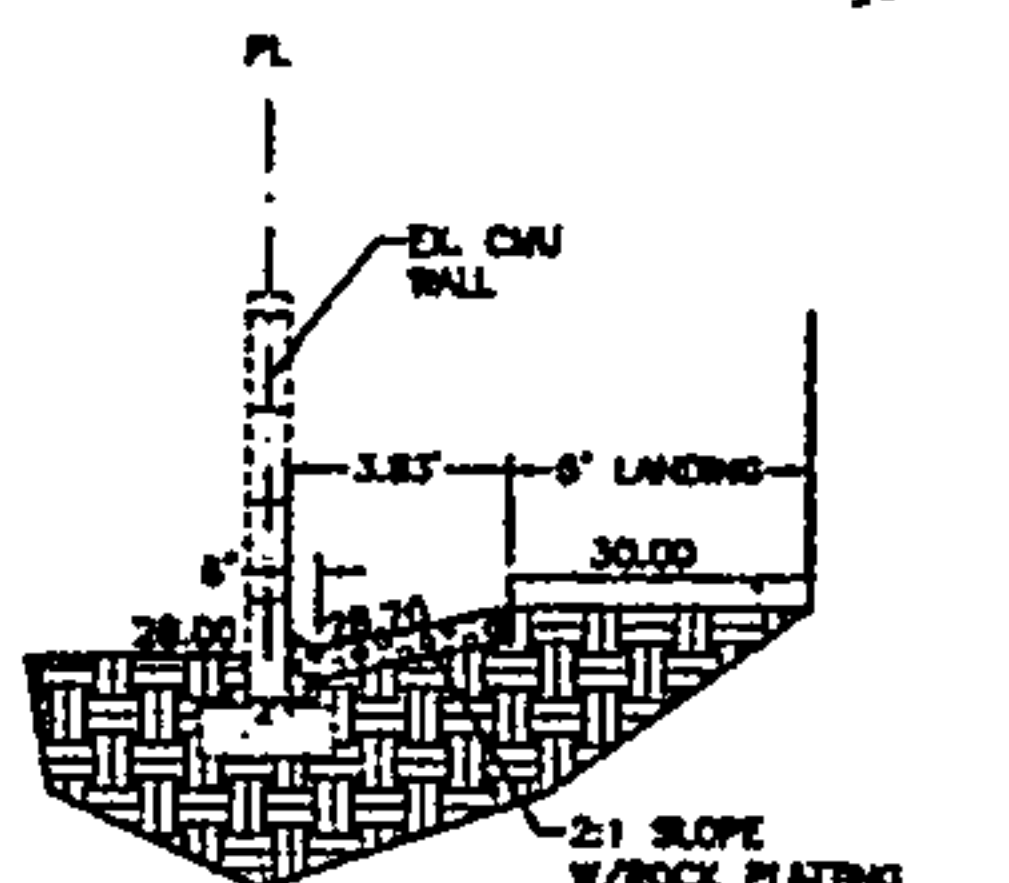
SECTION E-E
NTS

EROSION CONTROL NOTES:

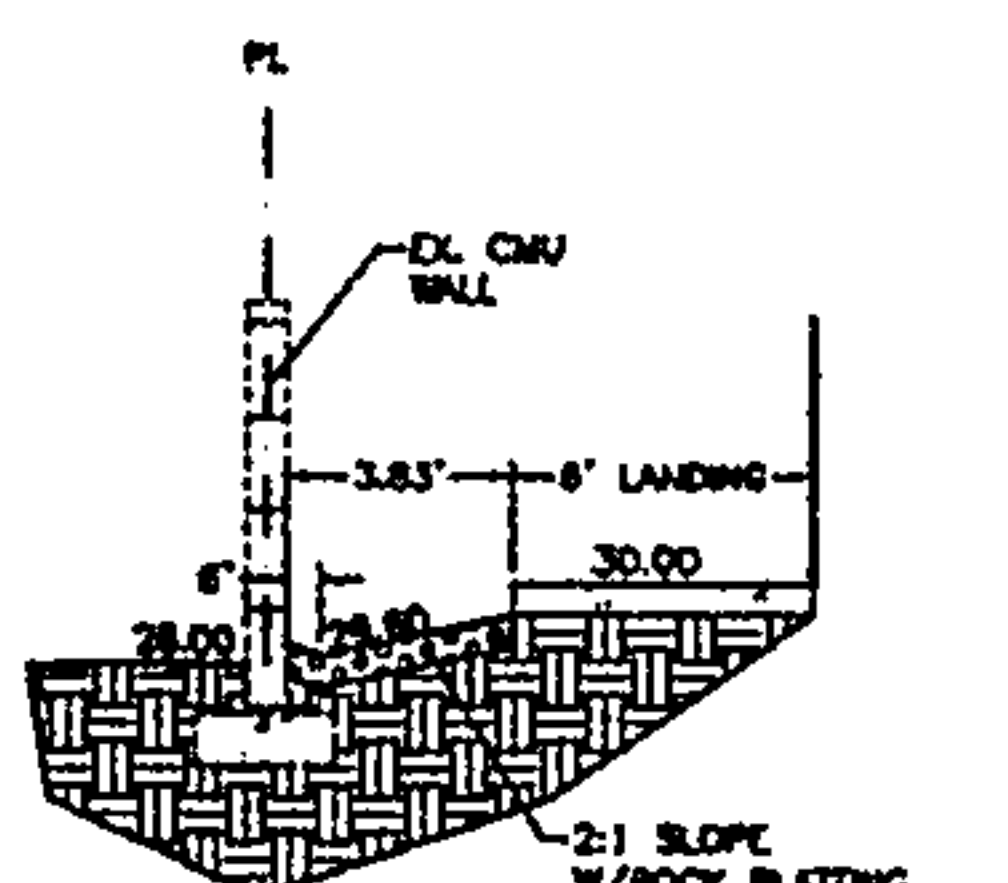
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



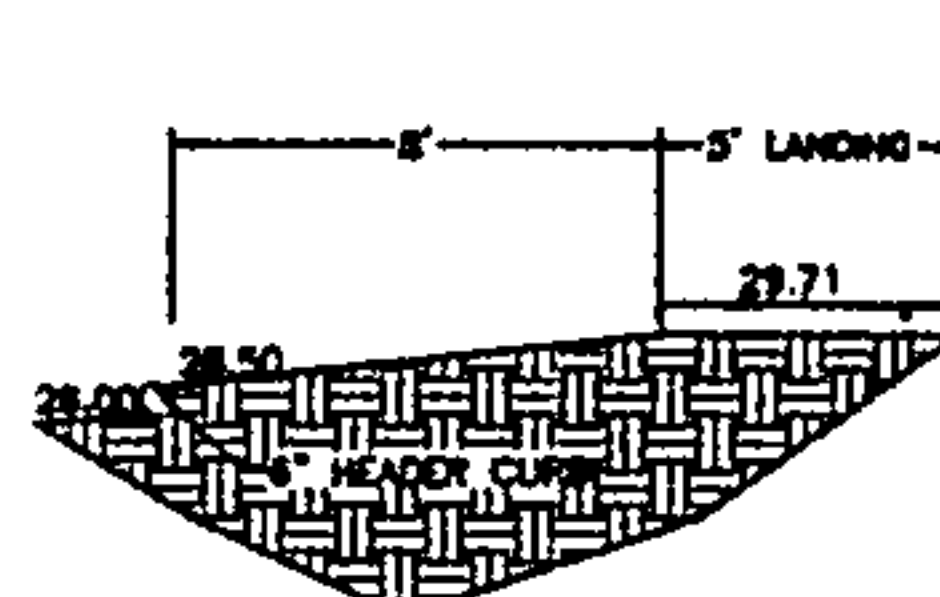
SECTION D-D
NTS



SECTION A-A
NTS

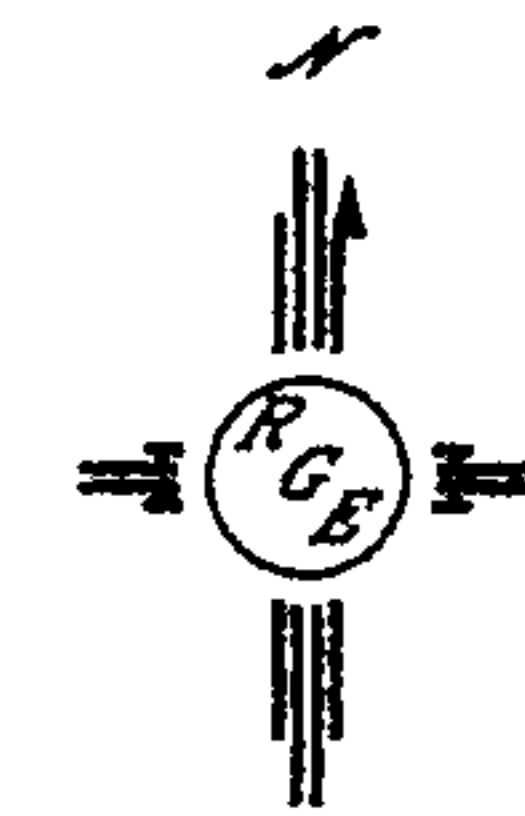


SECTION B-B
NTS

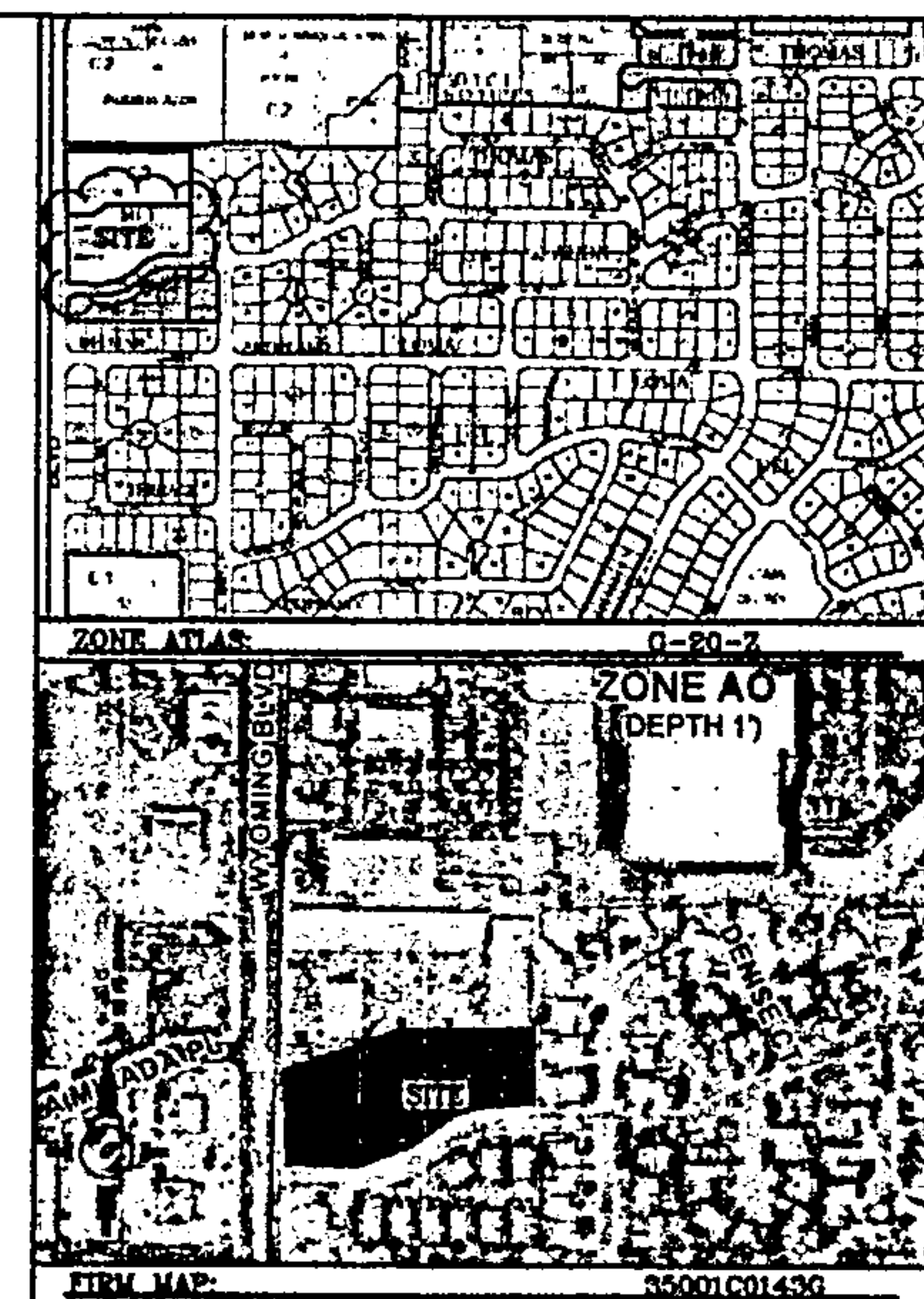


SECTION C-C
NTS

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



SCALE: 1"=20'



LEGAL DESCRIPTION:
LOT 1, SHEPHERD LUTHERAN CHURCH

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

- 5414 --- EXISTING CONTOUR
- 5415 --- EXISTING INDEX CONTOUR
- 5416 --- PROPOSED CONTOUR
- 5418 --- PROPOSED INDEX CONTOUR
- 5419 --- SLOPE TIE
- 5418.25 • EXISTING SPOT ELEVATION
- 5418.25 • PROPOSED SPOT ELEVATION
- BOUNDARY
- LOT LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB
- EXISTING BUILDING
- EXISTING FENCE
- ROCK PAVING
- PROPOSED SIDEWALK
- EXISTING SIDEWALK

	SHEPHERD LUTHERAN CHURCH 3900 WYOMING BOULEVARD GRADING AND DRAINAGE PLAN		DRAWN BY WCHW DATE 02-13
			JOB # 21325

Weighted E Method

											100-Year, 6-hr.		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
EXISTING	90177.00	2.070	0%	0	20%	0.414	37%	0.76597	43%	0.890	1.676	0.289	8.19
PROPOSED A	12080.00	0.277	0%	0	18%	0.050	28%	0.07765	54%	0.150	1.801	0.042	1.15
PROPOSED B	7185.00	0.165	0%	0	3%	0.005	8%	0.0132	89%	0.147	2.231	0.031	0.80
PROPOSED C	6285.00	0.144	0%	0	0%	0.000	26%	0.03751	74%	0.107	2.082	0.025	0.67
PROPOSED D	64627.00	1.484	0%	0	18%	0.267	24%	0.35607	58%	0.861	1.844	0.228	6.24
TOTAL PROPOSED	90177.00	2.070				0.322		0.484		1.264			8.85

change	0.000		0.000		-0.092		-0.282		0.374				0.66
--------	-------	--	-------	--	--------	--	--------	--	-------	--	--	--	------

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm

Ea= 0.66	Qa= 1.87
Eb= 0.92	Qb= 2.6
Ec= 1.29	Qc= 3.45
Ed= 2.36	Qd= 5.02

FLOW RATE LEAVING SITE

8.85 CFS

WATER HARVEST

1/4 INCH PER FOOT
PROVIDED

1879 cubic feet
1816 cubic feet

existing total discharge	0.289
proposed discharge without harvest	0.325
proposed discharge after harvest	0.28

Curb Opening

Weir Equation:

$$Q=C_LH^{3/2}$$

$Q=8.85$ cfs

$C=2.95$

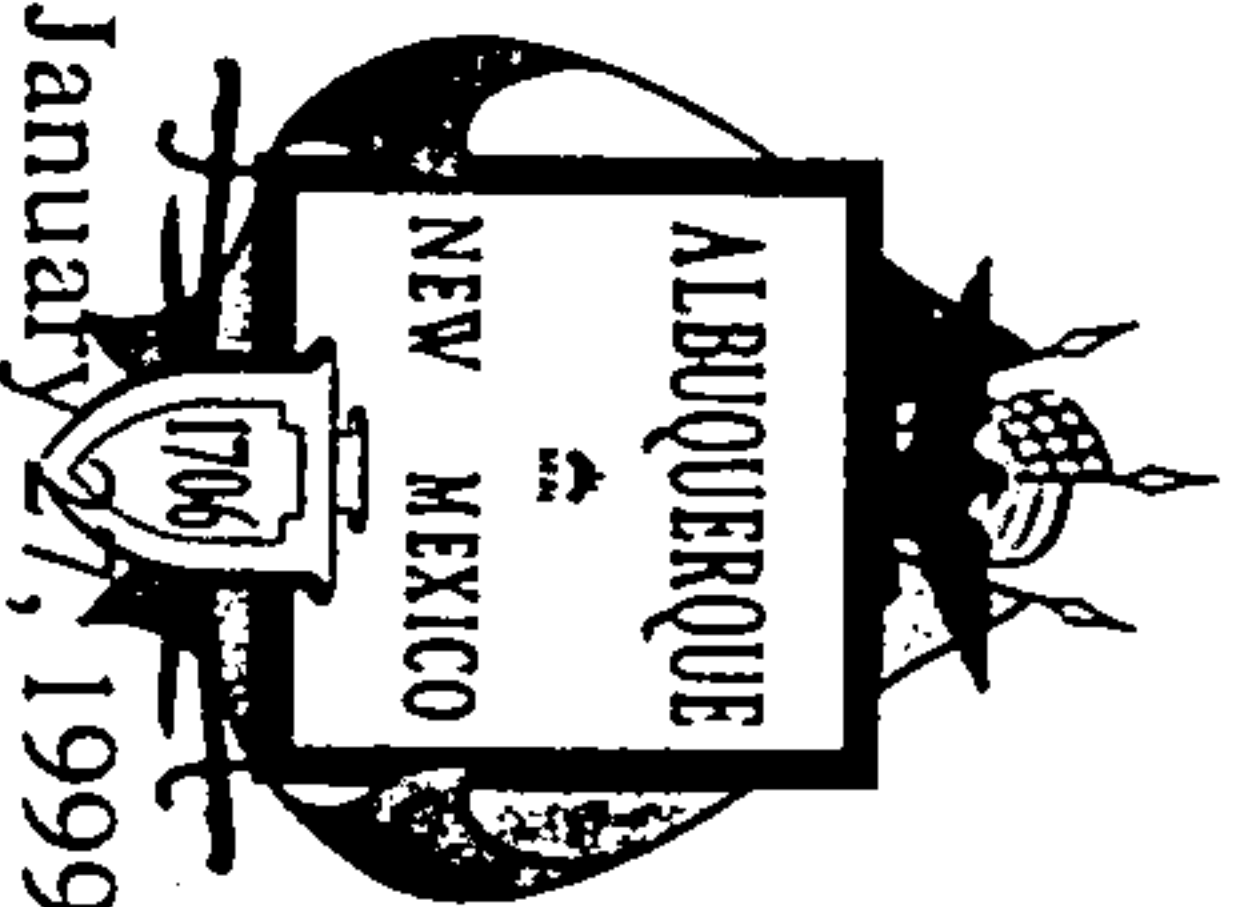
$H=0.5$ ft

L = Length of weir

$$L=\frac{8.85}{2.95(0.5)^{3/2}}$$

$L=8.5$ ft

Use 9 feet for length of weir



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Mark Holstad
5971 Jefferson NE Suite 101
Albuquerque, NM 87109

RE: ENGINEER CERTIFICATION FOR CERTIFICATE OF OCCUPANCY FOR
SHEPHERD LUTHERAN CHURCH (G20-D36)
Certification Dated 12-15-98

Dear Mr. Holstad:

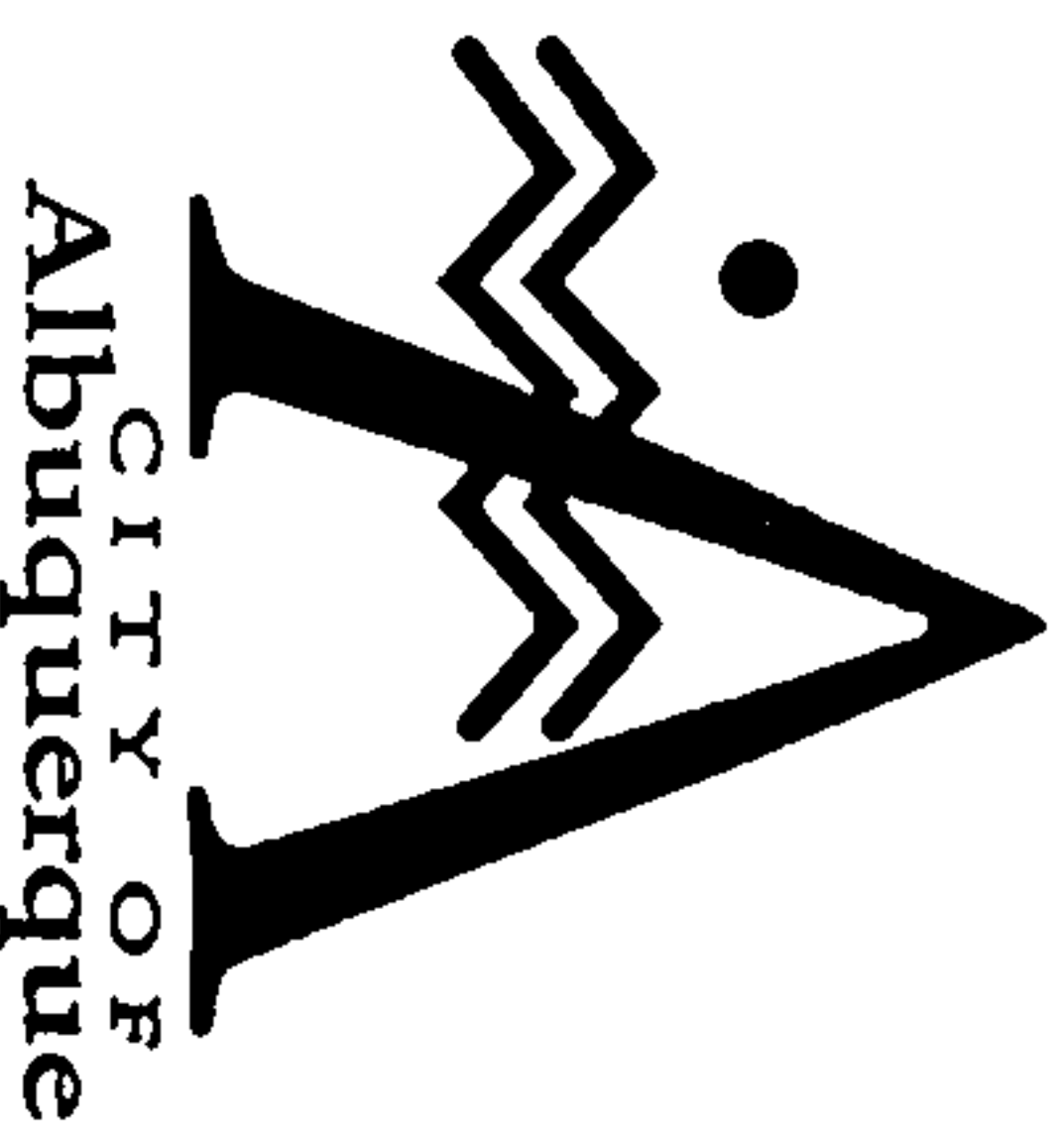
Based upon the information provided on your 12-15-98 submittal, the above referenced project is approved for Certification of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3986.

Sincerely,

Scott Davis
PWD Hydrology Div.

c: Andrew Garcia
file



October 5, 1998

Mark Holstad
5971 Jefferson NE Suite 101
Albuquerque, New Mexico 87109

RE: ROUGH GRADING PLAN FOR SHEPHERD LUTHERAN CHURCH (G20-D36)
ENGINEER'S STAMP DATED 9/2/98

Dear Mr. Holstad:

Based on the information provided on your September 3, 1998 submittal, the above referenced site is approved for rough grading.

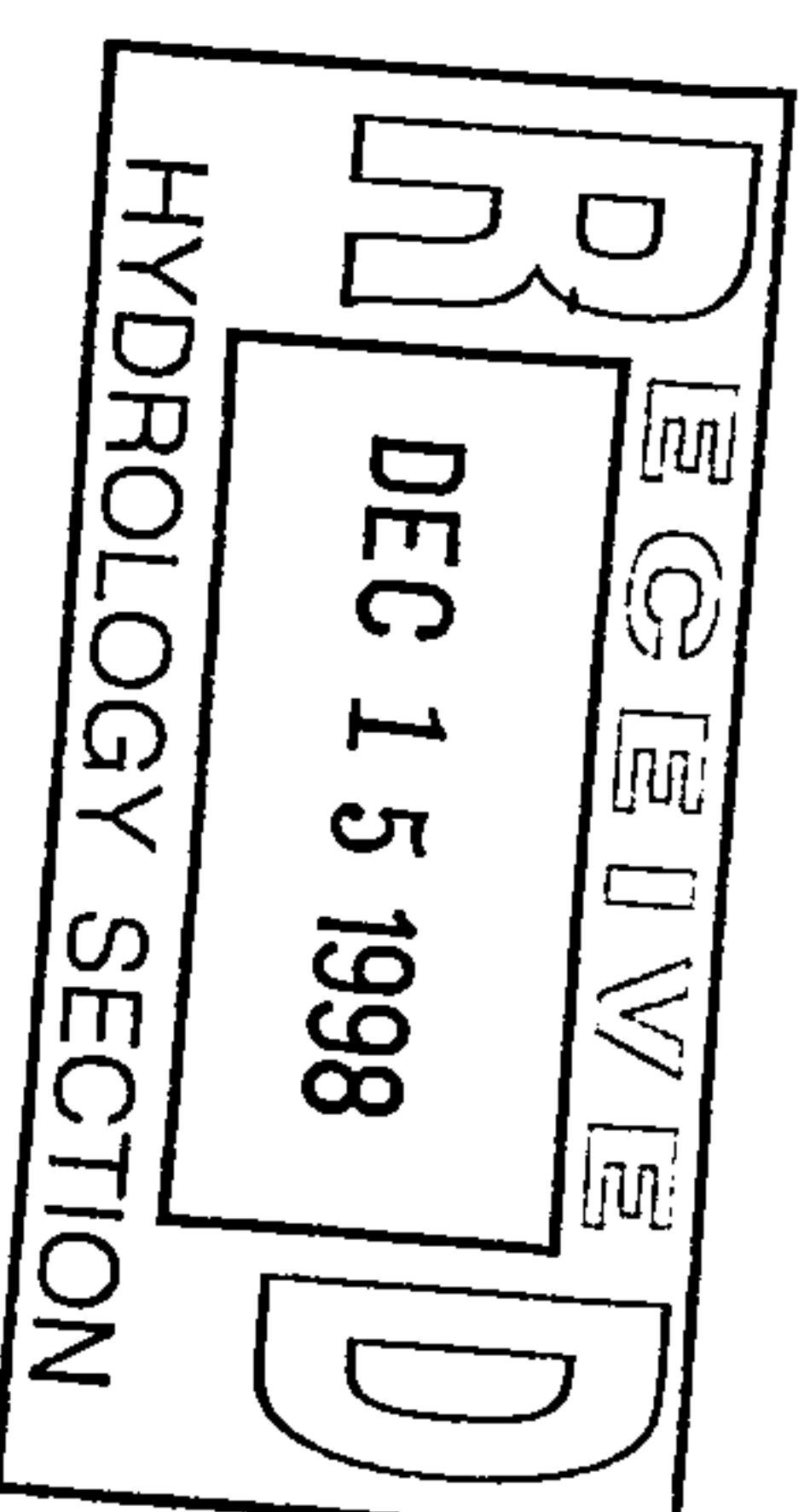
Prior to any Building or Paving, a revised drainage plan will be required for our review and approval.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia
File

Sincerely

Bernie J. Montoya CE
Associate Engineer



Good for You. Albuquerque!



DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: Shepherd Lumberman ZONE ATLAS/DRNG. FILE #: E-20-236

DRB #: 2-69-64-1 EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 1816, 1890 Lot 890 to 1111, 1111 to 1111, 1111 to 1111, 1111 to 1111

CITY ADDRESS: 3900 Wyoming NE 82111

ENGINEERING FIRM: _____ CONTACT: Mark Holstad

ADDRESS: 5921 Jefferson NE Suite 101 PHONE: 345-3999 (work)

OWNER: Shepherd Lumberman CONTACT: Dave Kaiser

ADDRESS: 3900 Wyoming NE PHONE: 247-7318

ARCHITECT: Rick Bennett CONTACT: Rick Bennett

ADDRESS: 1118 Fort Ave SW PHONE: 242-1859

SURVEYOR: Doug Smith CONTACT: Doug Smith

ADDRESS: 2121 San Mateo NE PHONE: 255-5577

CONTRACTOR: Center Block CONTACT: Don Williams

ADDRESS: 533 Virginia SE PHONE: 232-2310

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION

☐ OTHER _____

PRE-DESIGN MEETING:

☒ YES - Bernie Monroy

☐ NO

☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D APPROVAL

☒ S. DEV PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY APPROVAL

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

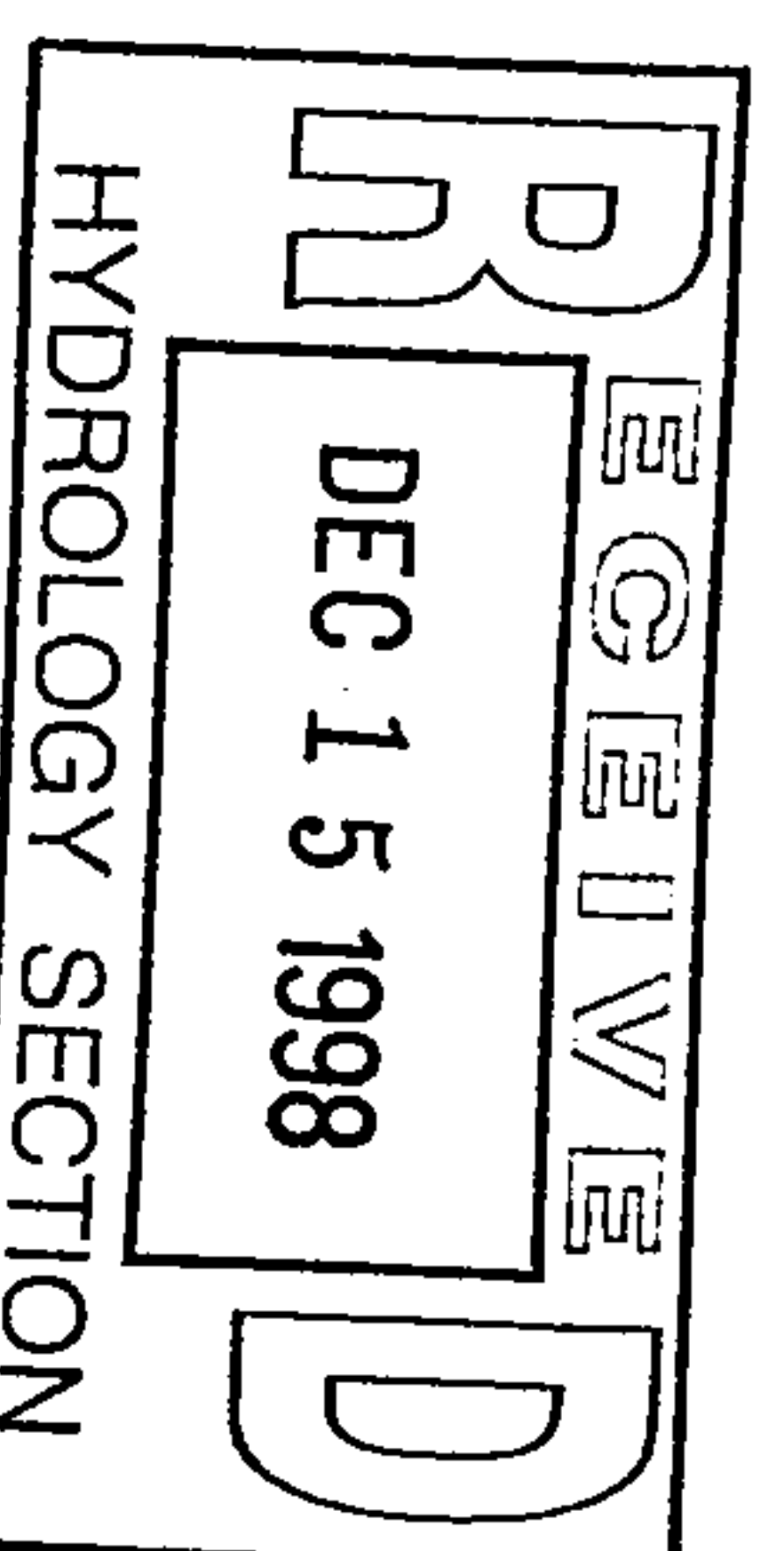
☐ SUBDIVISION CERTIFICATION

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 12/15/98

BY: [Signature]

Revised 02/98



DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: Shepherd, Aaron ZONE ATLAS/DRNG. FILE #: E-20-2036

1 } #: 93-203
1 } EPC #: 2-69-64-
WORK ORDER #:

LEGAL DESCRIPTION: Lot 1, Block 1 of the Rep lot of the Rep lot of W.I.I. and W.I.I. on Sec 1

CITY ADDRESS: 3300 Wyomings NE 87111

ENGINEERING FIRM: _____

CONTACT: *Mark H. 1.4.1*

ADDRESS: 5971 Jefferson NE Suite 101 PHONE: 345-3999

OWNER: Shepherd Lu Weyan

CONTACT: Dave Kaiser

ADDRESS: 3500 Wyomissing M/E

PHONE: 298-3659

ARCHITECT: Pick Bennett Architects CONTACT: Pick Bennett

ADDRESS: 1118 Park Avenue SW
PHONE: 242-1859

SURVEYOR: Doyle H. Smith CONTACT: Doyle Smith

ADDRESS: 2121 San Mateo Ave PHONE: 255-5522

CONTRACTOR: Century 6 Development Co CONTACT: Dan Serrano

ADDRESS: 533 Virginia St

PHONE: 232-2310

TYPE OF SUBMITTAL:

DRAINAGE REPORT

DRAINAGE PLAN

CONCEPTUAL GRADING & DRAINAGE PLAN

GRADING PLAN

EROSION CONTROL PLAN

ENGINEER'S CERTIFICATION

OTHER

PRE-DESIGN MEETING:

YES

10

✓ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

SKETCH PLAT APPROVAL.

PRELIMINARY PLAT APPROVAL

— S. DEV. PLAN FOR SUB'D APPROVAL.

S. DEV PLAN FOR BLDG. PERMIT APPROVAL

SECTOR PLAN APPROVAL

FINAL PLAT APPROVAL

FOUNDATION PERMIT APPROVAL

BUILDING PERMIT APPROVAL.

CERTIFICATE OF OCCUPANCY APPROVAL.

— GRADING PERMIT APPROVAL.

— PAVING PERMIT APPROVAL

S.A.D. DRAINAGE REPORT

DRAINAGE REQUIREMENTS

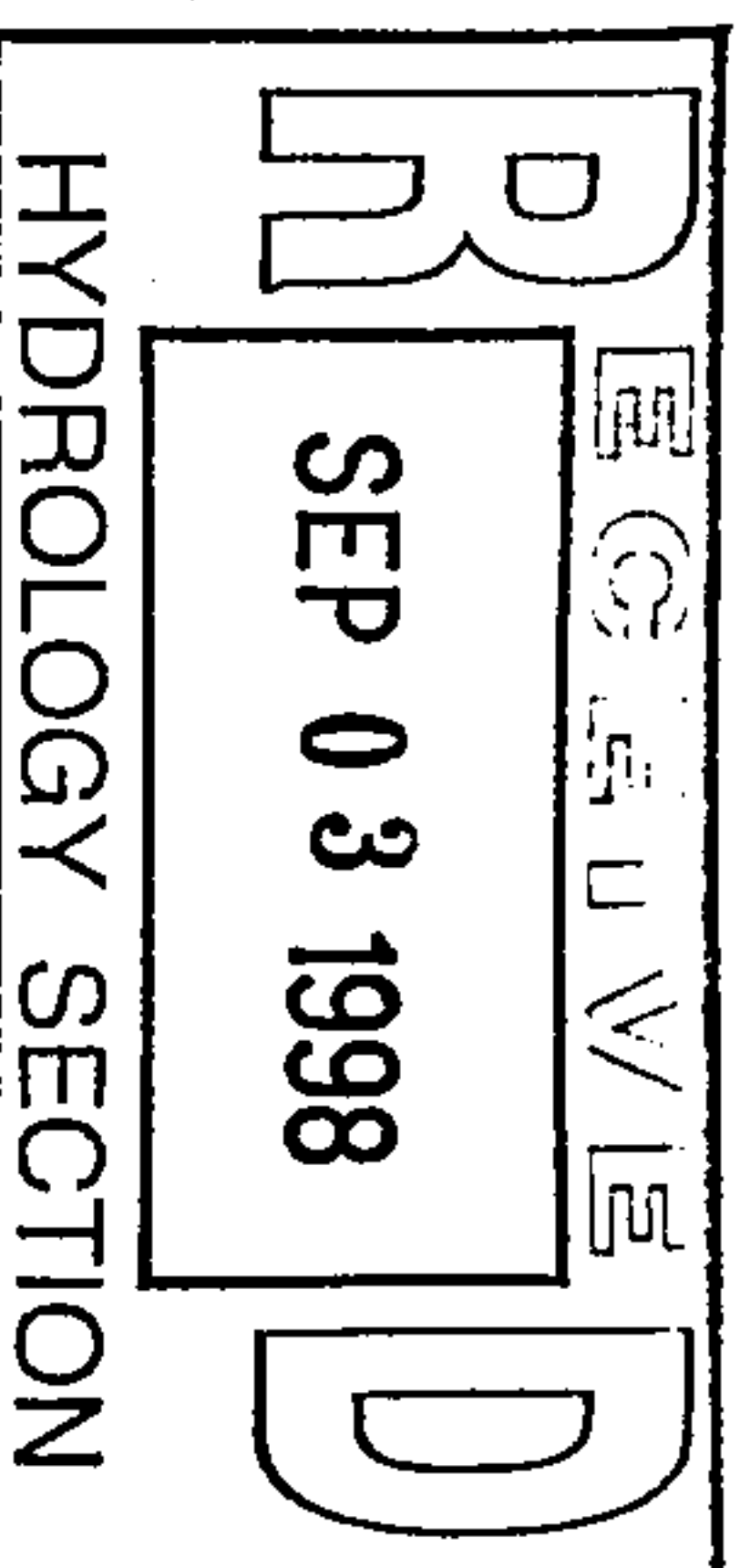
SUBDIVISION CERTIFICATION

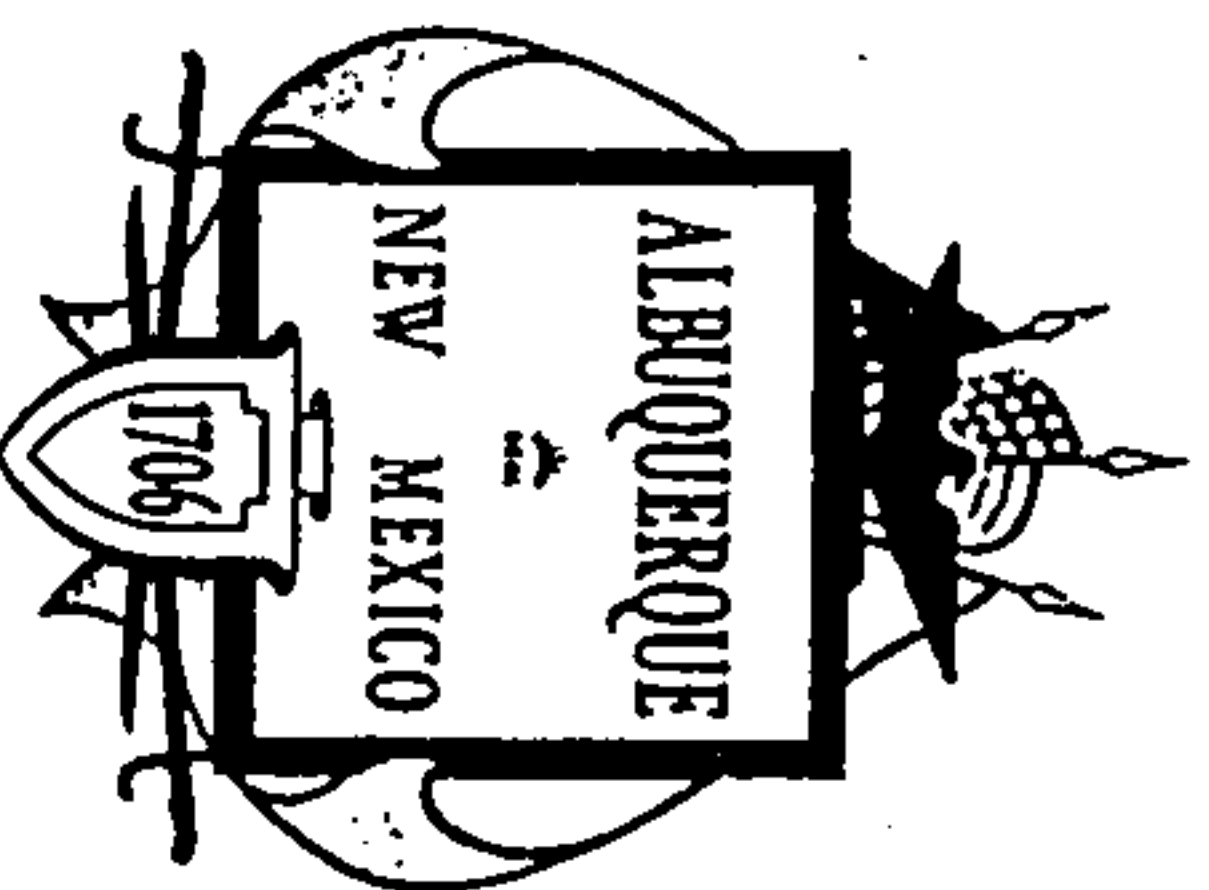
OTHER ~~cases~~ standing (SPECIFY)

DATE SUBMITTED: 5/2/98

BY: Mark Husted

Revised 02/98





City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

RECEIVED

September 15, 1993

SEP 21 1993

GREINER

Mark Holstad
5971 Jefferson NE Suite 101
Albuquerque, NM 87109

RE: REVISED DRAINAGE PLAN FOR PHASE I SHEPHERD LUTHERAN CHURCH (G20-D36)
REVISION DATED 8/27/93.

Dear Mr. Holstad:

Based on the information provided on your August 27, 1993 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, a separate submittal must be submitted for construction on the remaining phases.

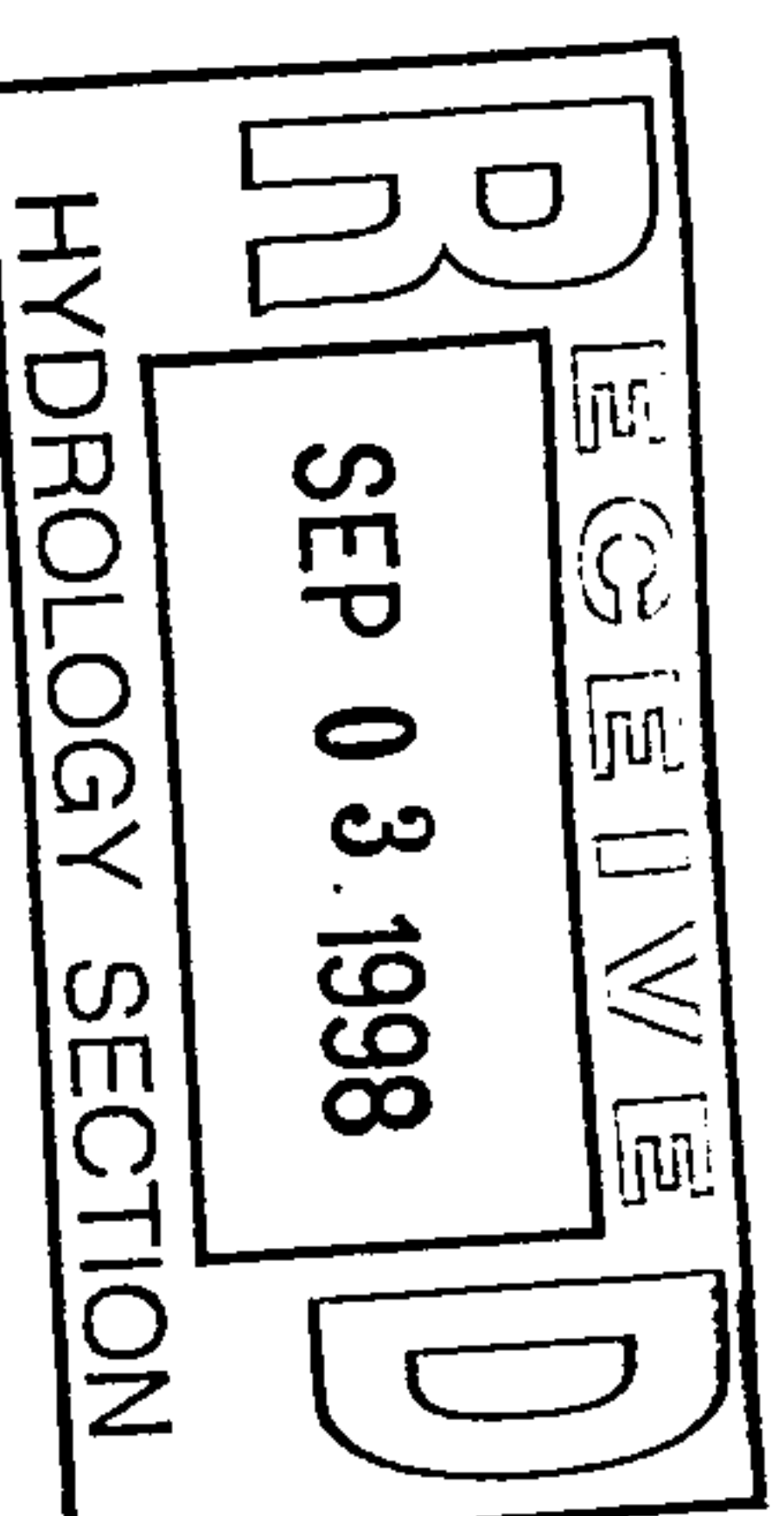
If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,


Bernie J. Montoya, CE
Engineer Associate

BJM/d1/WPHYD/3773

xc: Alan Martinez
File



PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: G20 -

DATE:

EPC NO.:

DRB NO.:

ZONE:

SUBJECT:

Satphed Lutheran Church

10/28/92
SV-1

STREET ADDRESS:

LEGAL DESCRIPTION:

N.E. Corner of Wyoming & Alton

APPROVAL REQUESTED:

PRELIMINARY PLAT

FINAL PLAT

☒

SITE DEVELOPMENT PLAN

BUILDING PERMIT

☐

GRADING/PAVING PERMIT

OTHER

ATTENDANCE:

Mark Horstod,
Fred J. Aguilar

WHO REPRESENTING
Consultant for Church
City

FINDINGS:

1. An approved conceptual grading & drainage plan
required for site approval.

- Free Discharge is appropriate, however, you must
bury downstream property with the AMDS.
Additionally, free discharge would be appropriate
give that this is an in-fill site.
- Need to address an adequate method of discharging
additional developed flow over the sidewalk.
~~Free~~ Discharge over a driveway is acceptable.
• Certification by the developer's engineer for
certification of occupancy sign-off will be required.
- For building permit approval an approved
drawings plan is required.

The undersigned agrees that the above findings are summarized accurately and are only
subject to change if further investigation reveals that they are not reasonable or that
they are based on inaccurate information.

SIGNED:

[Signature]

SIGNED:

[Signature]

TITLE:

TITLE:

DATE:

10/28/92

DATE:

10/28/92

NOTE

PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Shepherd Lathram ZONE ATLAS/DRNG. FILE #: 620/536

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 1, Block 1 of the Rep lot of the Report of the

CITY ADDRESS: 3900 Wyoming NE, 82111 William Wilson Subdivision

ENGINEERING FIRM: _____ CONTACT: Mark Holstad

ADDRESS: 5971 Jefferson NE Suite 101 PHONE: 345-3998 (work)

OWNER: Shepherd Lathram CONTACT: Darryl Ruckh (President)

ADDRESS: 3900 Wyoming NE PHONE: 889-0030 (work)

ARCHITECT: Mahlon Smith CONTACT: Christina Miles

ADDRESS: 414 1/2 Central SE PHONE: 243-0101

SURVEYOR: Douglas H. Smith Land Surveying CONTACT: Doug Smith

ADDRESS: 2130 San Mateo NE Suite E PHONE: 255-5577

CONTRACTOR: ND CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

____ DRAINAGE REPORT

____ DRAINAGE PLAN

☒ CONCEPTUAL GRADING & DRAINAGE PLAN

____ GRADING PLAN

____ EROSION CONTROL PLAN

____ ENGINEER'S CERTIFICATION

____ OTHER

NOV - 9 1992

HYDROLOGY DIVISION

CHECK TYPE OF APPROVAL SOUGHT:

____ SKETCH PLAT APPROVAL

____ PRELIMINARY PLAT APPROVAL

____ S. DEV. PLAN FOR SUB'D. APPROVAL

☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

____ SECTOR PLAN APPROVAL

____ FINAL PLAT APPROVAL

____ FOUNDATION PERMIT APPROVAL

____ BUILDING PERMIT APPROVAL

____ CERTIFICATE OF OCCUPANCY APPROVAL

____ GRADING PERMIT APPROVAL

____ PAVING PERMIT APPROVAL

____ S.A.D. DRAINAGE REPORT

____ DRAINAGE REQUIREMENTS

____ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

☒ YES

____ NO

☒ COPY PROVIDED

DATE SUBMITTED: 11-6-92

BY: [Signature]

Dan Gear 265-8461

3900 Wyoming NE

Shepard Lutheran Church

Inspection

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE NOV - 9

DRAINAGE FILE/ZONE ATLAS PAGE NO.: G20 -

EPC NO.:

DRB NO.:

DATE: 10/28/92
HYDROLOGY DIVISION
ZONE: SV-1

SUBJECT: St. Philip Lutheran Church

STREET ADDRESS:

LEGAL DESCRIPTION: N.E. Corner of Wyoming & Alameda

APPROVAL REQUESTED:

PRELIMINARY PLAT

FINAL PLAT

☒

SITE DEVELOPMENT PLAN

BUILDING PERMIT

☐

GRADING/PAVING PERMIT

OTHER

ATTENDANCE:

WHO
Mark Horstod,
Fred J. Aguirre

REPRESENTING
Consultant for Church
City

FINDINGS:

An approved conceptual grading & drainage plan
required for site plan approval.

Free Discharge is appropriate; however, you must
justify downstream capacity using the RMD's.
Additionally, Free Discharge would be appropriate
given that this is an in-fill site.

Need to address an adequate method of discharge
Additional Developed flow over the sidewalk,
~~Free~~ Discharge over a driveway is acceptable
Certification of the Developer's engineer for
Certificate of Occupancy sign-off will be required

For building permit approval an approved
Drainage plan is required.

The undersigned agrees that the above findings are summarized accurately and are only
subject to change if further investigation reveals that they are not reasonable or that
they are based on inaccurate information.

SIGNED:

[Signature]

SIGNED:

[Signature]

TITLE:

TITLE:

DATE:

DATE:

10/28/92

10/28/92



Shoehorn Expansion

11-5-92

msc

Problem

Provide additional analysis to supplement the data in the "Conceptual Grading & Drainage Plan".

Issues to be addressed are:

- section at critical locations, check capacity vs. Q₁₀₀,
- determine required volume for present increased runoff from north basin (All) under a 2 yr storm,

Given

"Conceptual Grading & Drainage Plan", dated 11-5-92,

DPM procedures,

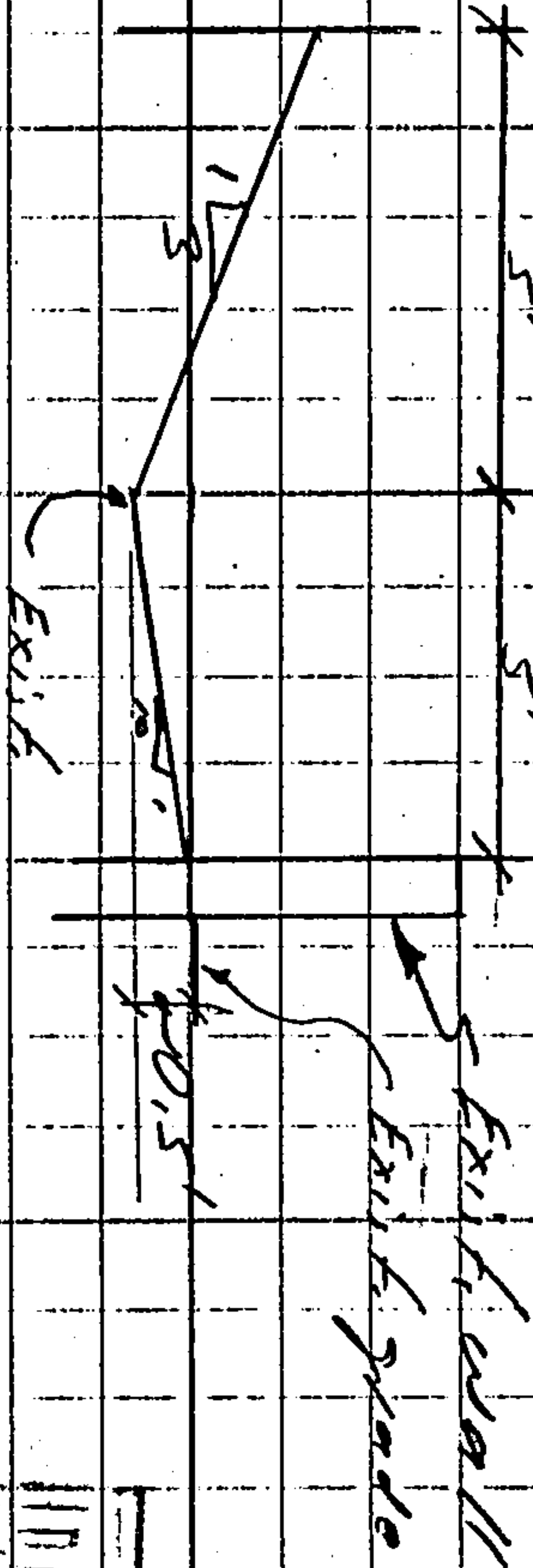
RECEIVED
NOV - 9 1992

HYDROLOGY DIVISION



Analysis - sections
A critical location is the north side of the fellowship building (known as "Kitchen" and "multipurpose room" on drainage plan). This will minimize debris drain collector after Phase II $\Rightarrow Q_{100} = 6.42 \text{ cfs}$.

Critical section is



Exit
ground
beneath to
keep exits
clear

$$A_{left} = \frac{1}{2} D^2 = 1.5 D^2 \text{ to } 1.67'$$

$$A_{right} = \frac{1}{2} D^2 = 5 D^2 \text{ to } 0.5' \\ = 1.25 + 5(0.5) \text{ over } 0.5'$$

$$\Rightarrow A = 1.5 D^2 + 5 D^2 = 6.5 D^2 \text{ to } 0.5' \\ = 1.5 D^2 + 1.25 + 5(0.5) \text{ over } 0.5'$$

Say $D = 10'$

There will be land scaping \Rightarrow say $n = 0.05$ to account for the obstructions.

$S = 1\%$ (friction slope of water surface).

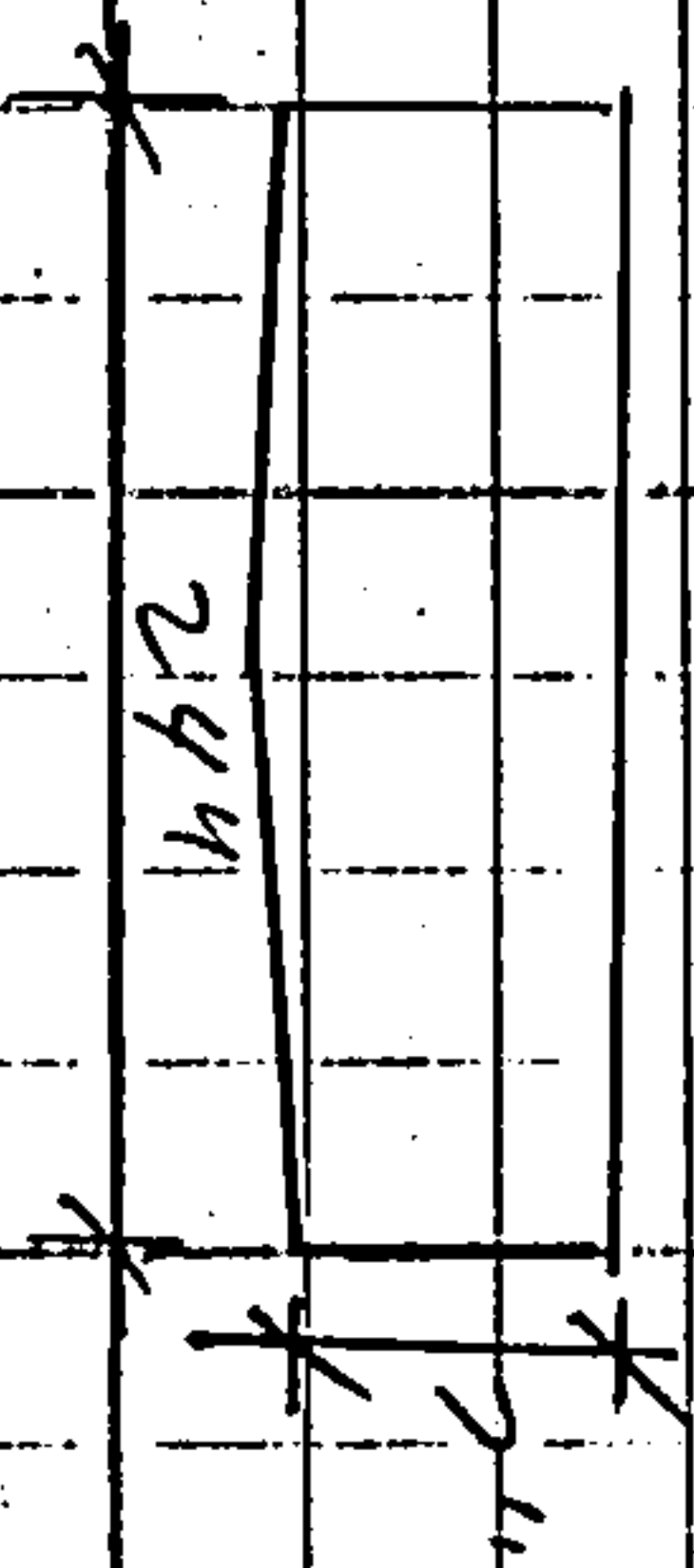
$$V = \frac{1.486}{n} \left(\frac{A}{10} \right)^{2/3} \sqrt{S} = \frac{1.486}{0.05} \left(\frac{A}{10} \right)^{2/3} \sqrt{0.01} \\ = 0.640 A^{2/3}$$

$D(A)$	$A(S)$	$V(A)$	$Q(A)$
1	5.25	1.93	10.1
0.5	1.63	0.88	1.44
0.8	3.21	1.53	5.69
0.9	4.47	1.74	7.75 > 6.42 : OK

$$\Rightarrow Q_{100} = 0.91$$



Section between Township building & school wing.
Rain ch. $\Rightarrow Q_{100} = 4.48 \text{ cfs}$
Sidecut calc'd per Std. Aug 2236
or equiv.



$S = 19\%$ or more.

$n = 0.013$

$$A = 2 \times \frac{7^2}{2} = 1.175 \text{ ft}^2$$

$$P = 2(2 \times \frac{7}{2}) = 5.174 \text{ ft}$$

$$V = \frac{1.488}{0.013} \left(\frac{1.17}{5.17} \right)^{2/3} \sqrt{0.01} = 4.24 \text{ fps}$$

$$Cap = V A = 4.24 (1.17) = 4.97 \text{ cfs}$$

$Q_{100} = 4.48 \text{ cfs} \therefore$ provide single culvert.

Consider providing two culverts.

NOV - 9

NOV - 9



4/4

Catamount volume,
Phase 1 building area

$$= 52.54 \text{ SF (school)} + 3410 \text{ SF (Hallway)} \\ = 8664 \text{ SF} = 0.20 \text{ Ac.}$$

Evaluate increase in runoff due to Ph. 1.

Ph. 1 inches conversion of existing

LT-B to LT-D.

Per Table 8, excess precipitation for 2 yr storm in Zone 3 is:

$$LT-B = 0.06"$$

$$LT-C = 0.20"$$

$$LT-D = 0.89"$$

$$1 V = 8664 \text{ SF} (0.89" - 0.06") \frac{1}{12} = 599 \text{ CF}$$

There are 11 Arizona Cypress and Common
Junipers. Provide avg. 55 CF of Catamount
volume at each location. Approx. 7 1/2' dia
by 1' deep, \Rightarrow possible.

11/1 E R R R R R R R R R R R R

1/3

11/11 NOV - 9

1/7

1/1

1/1

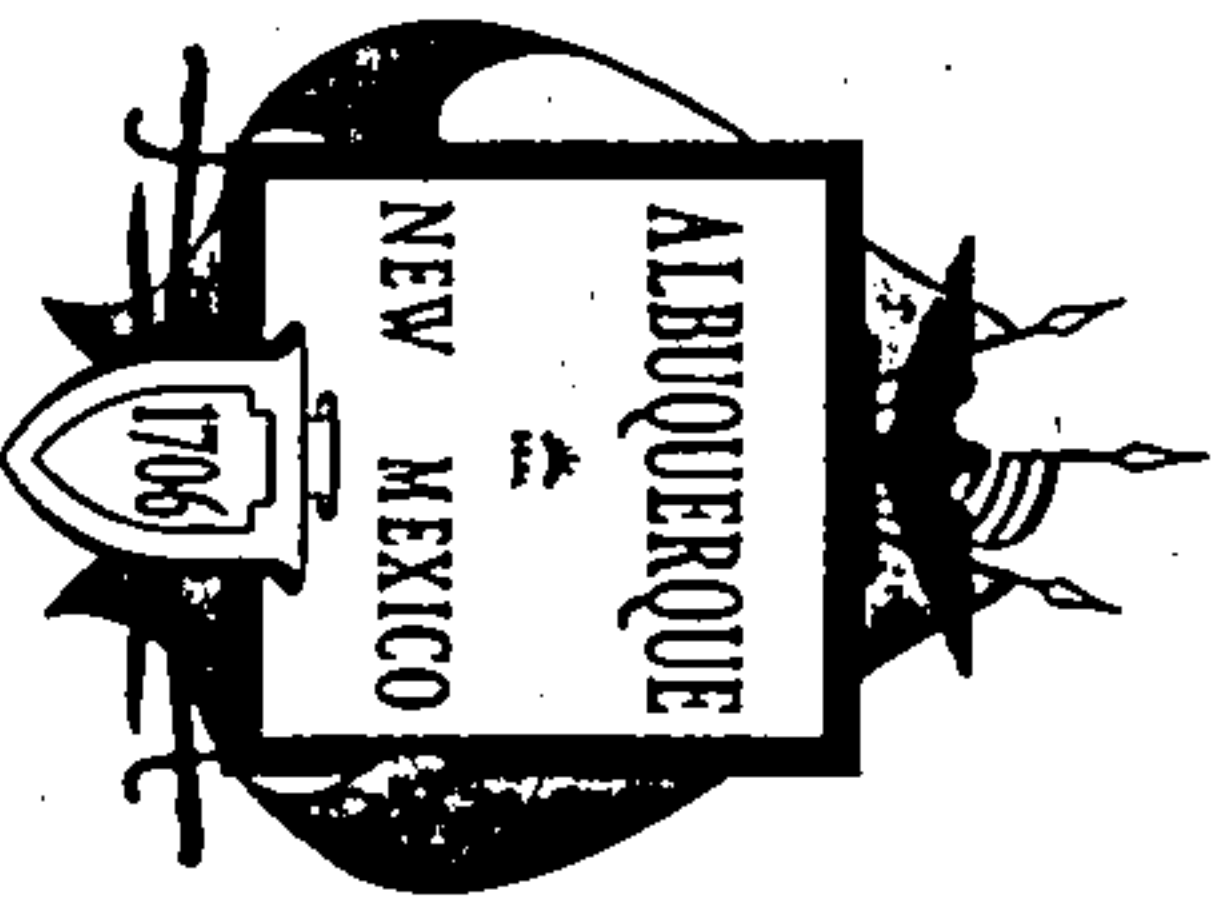
1/1

1/1

1/1

1/1

1/1



City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 15, 1993

Mark Goodwin
D. Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

RE: CONCEPTUAL DRAINAGE PLAN FOR UNION BANK @ LOT 5-B RENAISSANCE
(F16-D5E) ENGINEER'S STAMP DATED 8/24/93.

Dear Mr. Goodwin:

Based on the information provided on your August 25, 1993 submittal, site plan approval is acceptable at this time prior to Building Permit release, the following must be addressed:

1. More top of curb and flowline elevation on Merchantile Ave.
2. T.B.M. permanently established within the building site area.
3. Hydraulics for the proposed inlets and pipes and also the orifice control.
4. 100-year water surface elevation within the ponding area.
5. Recommend that the roof leader be extended under the sidewalk and away from the landscaped areas.
6. Location of the emergency spillway.
7. Under Notes: No. 10 should read Lot 5-B.
8. Two copies of plan with resubmittal.

If I can be of further assistance, please feel free to call me at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineer Associate

BJM/dl/WPHYD/7976

xc: File

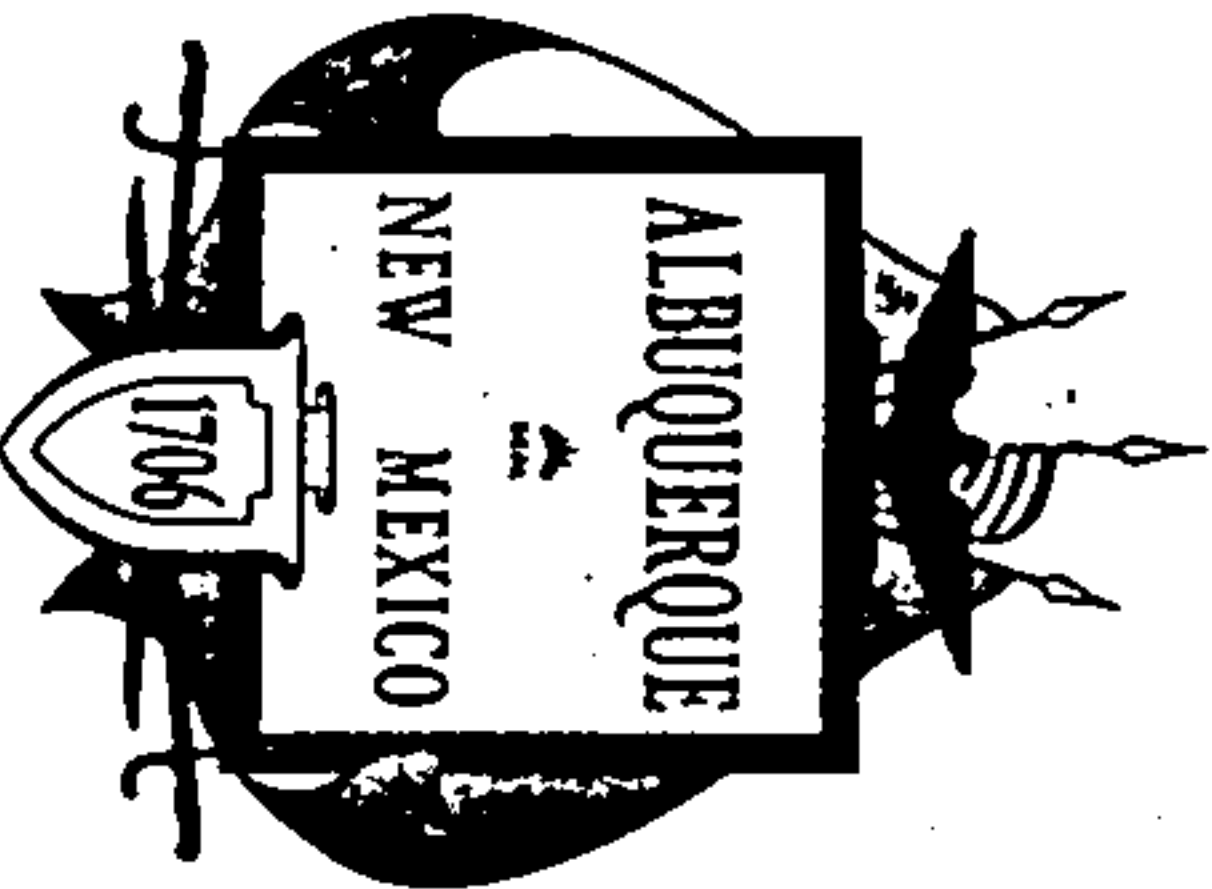
PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.

Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 14, 1993

Jeff Mortensen
Jeff Mortensen & Associates
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

RE: TEMPORARY CERTIFICATE OF OCCUPANCY FOR NEW PAJARITO SCHOOL (R10-D4C)
CERTIFICATION STATEMENT DATE 8/13/93.

Dear Mr. Mortensen:

Based on the information provided on your August 17, 1993 submittal, a 30-day temporary Certificate of Occupancy may be issued at this time.

Please be advised that the permanent Certificate of Occupancy will not be issued until the final Engineer Certification is submitted for review and approval.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie-J. Montoya, CE
Engineer Associate

BJM/dl/WPHYD/7978

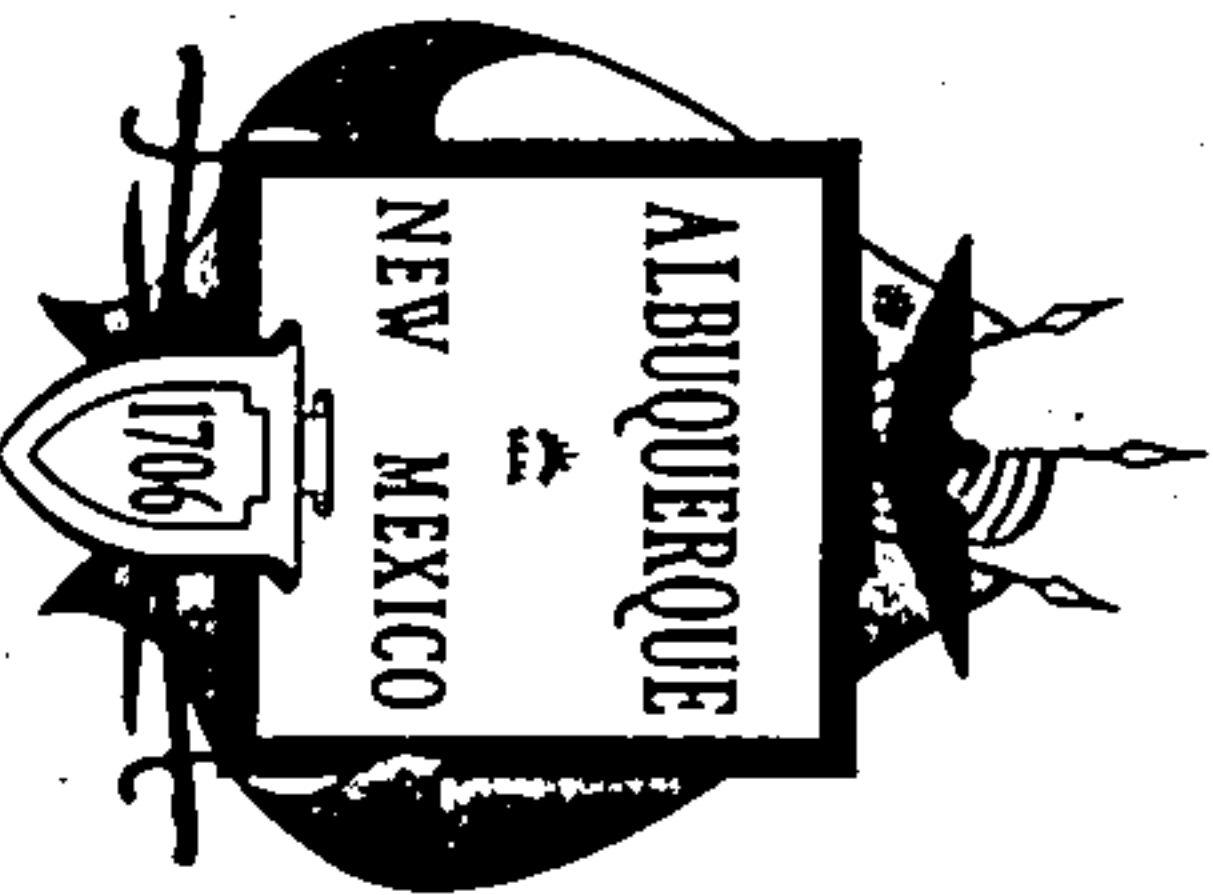
xc: Alan Martinez
File

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 14, 1993

George Rodriguez
Rodriguez & Associates
12800 San Juan NE
Albuquerque, NM 87123

RE: GRADING/PAVING PLAN FOR CHAVES PARKING (J14-D105) ENGINEER'S
STAMP DATED 9/8/93.

Dear Mr. Martinez:

Based on the information provided on your September 10, 1993 submittal, the above referenced site is approved for Grading/Paving.

Please be advised that a field inspection must be conducted after construction is completed.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE,
Engineer Associate

BJM/dl/WPHYD/7979

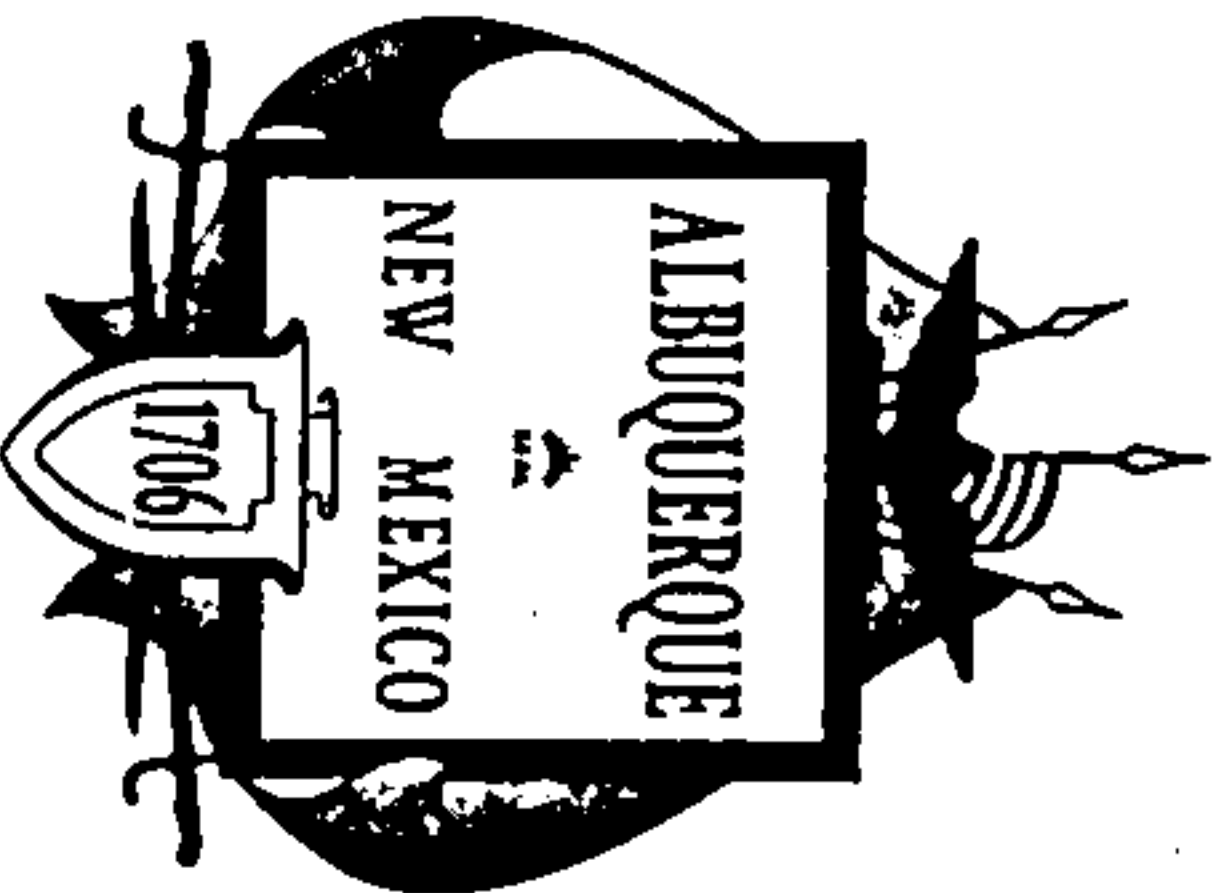
xc: Alan Martinez
File

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500



City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 16, 1993

Mark Holstad
5971 Jefferson NE Suite 102
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR PHASE I SHEPHERD LUTHERAN CHURCH (G20-D36)
ENGINEER'S STAMP DATED 5/23/93.


Dear Mr. Holstad:

Based on the information provided on your May 25, 1993 submittal, the above referenced site is approved for Site Development. Prior to Building Permit release, the following must be addressed.

1. Finish floor elevations must be to full mean sea level designation.
2. Bench Mark - location, description and elevation of the:
 - a. Albuquerque Control Survey vertical datum used to establish the T.B.M.
 - b. T.B.M. must be permanently marked.
3. Typical swale detail that will be constructed alongside the existing wall on the north side of the site.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,


Bernie J. Montoya, CE
Engineer Associate

BJM/d1/WPHYD3773

xc: File

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Shepherd Lutheran Zone Atlas/DRNG. FILE #: E20-D36
DRB #: 93-203 EPC #: E-69-64-1 WORK ORDER #: _____
LEGAL DESCRIPTION: Lot 1 Block 1 of the Replat of the Replat
CITY ADDRESS: 3900 Wyoming Ave SE 87111 William A. Ison Subdivision
ENGINEERING FIRM: _____ CONTACT: Mark H. Ison
ADDRESS: 5971 Jefferson Ave SE 101 PHONE: 345-3999
OWNER: Shepherd Lutheran CONTACT: Darryl Ison
ADDRESS: 3900 Wyoming Ave PHONE: 344-7445
ARCHITECT: Matheson M.I./S CONTACT: Christina M.I./S
ADDRESS: 414 E Central SE PHONE: 343-0101
SURVEYOR: Boyer Smith Land Surveying CONTACT: Boyer Smith
ADDRESS: 2121 San Mateo NE PHONE: 255-5577
CONTRACTOR: Leopold CONTACT: Dan Geier
ADDRESS: _____ PHONE: 265-8461

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☐ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ S. DEV. PLAN FOR SUB'D. APPROVAL☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL☐ SECTOR PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ FOUNDATION PERMIT APPROVAL☒ BUILDING PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ GRADING PERMIT APPROVAL☐ PAVING PERMIT APPROVAL☐ S.A.D. DRAINAGE REPORT☐ DRAINAGE REQUIREMENTS☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

☒ YES☐ NO☐ COPY PROVIDED

AUG 27 1993

DATE SUBMITTED:

8/27/93

BY:

[Signature]



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 16, 1993

Mark Holstad
5971 Jefferson NE Suite 101
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR PHASE I SHEPHERD LUTHERAN CHURCH (G20-D36)
ENGINEER'S STAMP DATED 5/23/93.


Dear Mr. Holstad:

Based on the information provided on your May 25, 1993 submittal, the above referenced site is approved for Site Development. Prior to Building Permit release, the following must be addressed.

1. Finish floor elevations must be to full mean sea level designation.
2. Bench Mark - location, description and elevation of the:
 - a. Albuquerque Control Survey vertical datum used to establish the T.B.M.
 - b. T.B.M. must be permanently marked.
3. Typical swale detail that will be constructed alongside the existing wall on the north side of the site.

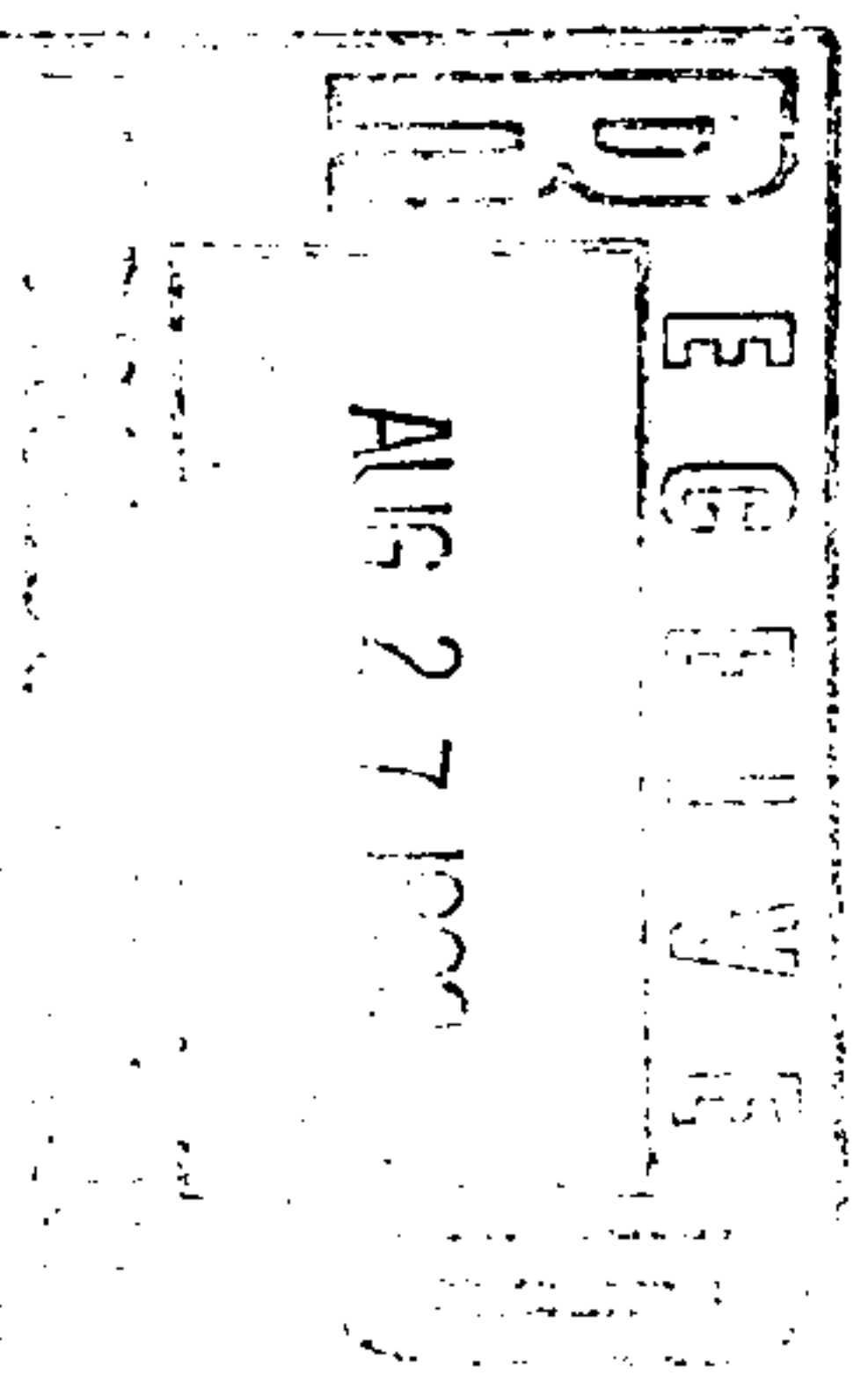
If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,


Bernie J. Mentoya, CE
Engineer Associate

BJM/dl/WPHYD3773

xc: File



PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Shepherd Lutheran ZONE ATLAS/DRNG. FILE #: 620-036

RB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 1, Block 1 of the Parcel of the Parcel of the
CITY ADDRESS: 3900 Wyoming NE, #2111 William Wilson Subdivision

ENGINEERING FIRM: _____ CONTACT: Mark Holstad

ADDRESS: 5921 Jefferson NE Suite 101 PHONE: 345-3999 (work)

OWNER: Shepherd Lutheran CONTACT: Darryl Reeb

ADDRESS: 3900 Wyoming NE PHONE: 344-2445 (work)

ARCHITECT: Mahlan Miles CONTACT: Christina Miles

ADDRESS: 414 E Central SE PHONE: 243-0101

SURVEYOR: Douglas H. Smith Land Surveying CONTACT: Doug Smith

ADDRESS: 2121 San Mateo NE PHONE: 255-5577

CONTRACTOR: NA CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☒ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

☐ DRAINAGE REQUIREMENTS

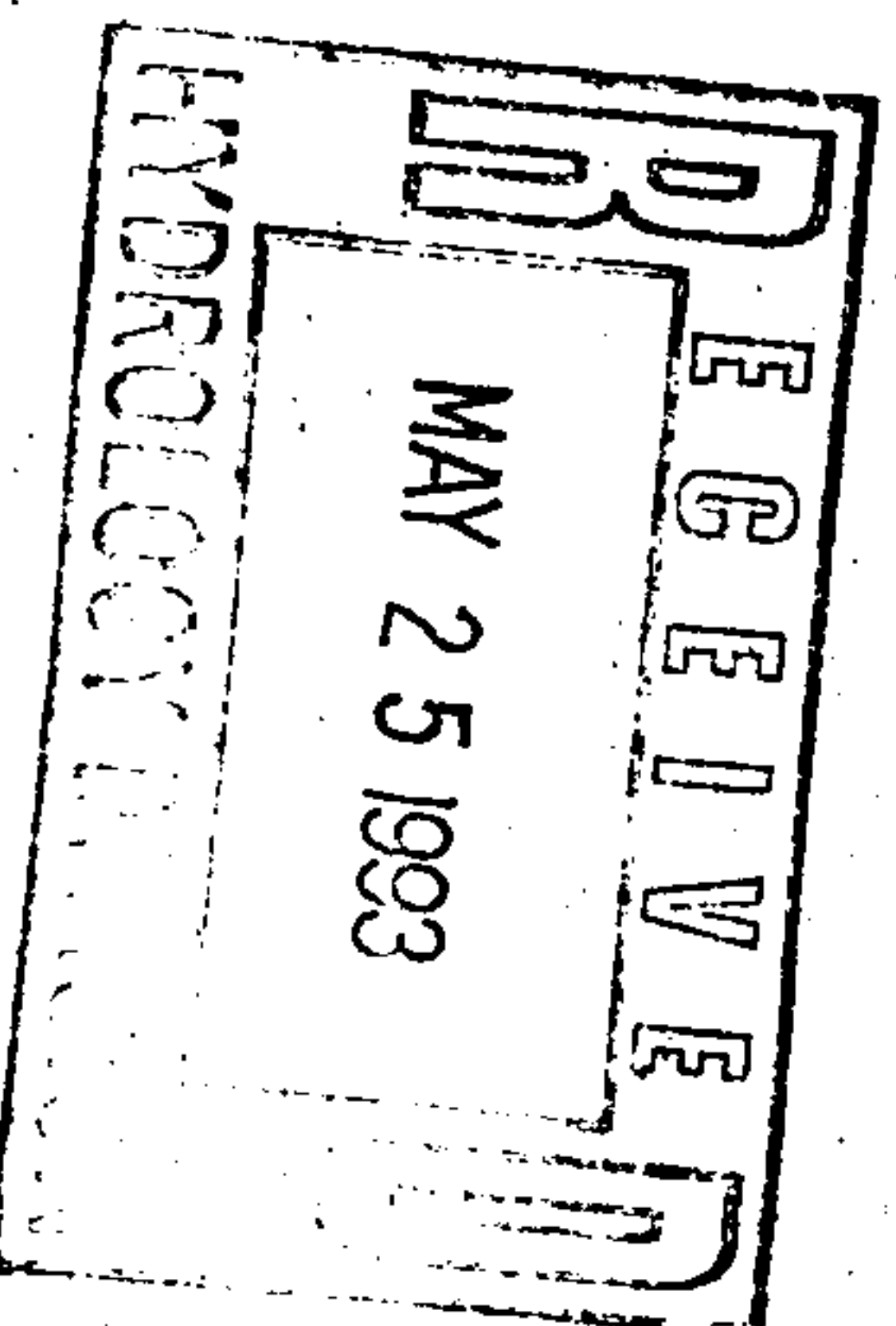
☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY PROVIDED



DATE SUBMITTED: 5/25/93

BY: Mark A. Smith

May 25, 1993

Mr. Bernie J. Montoya, CE
Public Works Department, Engineering Group
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87112

RE: DRAINAGE PLAN FOR SHEPHERD LUTHERAN CHURCH (G20-D36)
3900 WYOMING NE

Dear Bernie:

Attached is a revised Grading & Drainage Plan for Shepherd Lutheran Church. This plan shows drainage calculations and grading for the immediate construction (Phase I) and the proposed ultimate development (Phase II). Modifications have been made in consideration of comments in your letter of November 13, 1992. Also attached, primarily for information only I believe, is the plan sheet for Phase I only which is to be included in the construction plan set.

The following responses are offered to your comments of November 13, 1992:

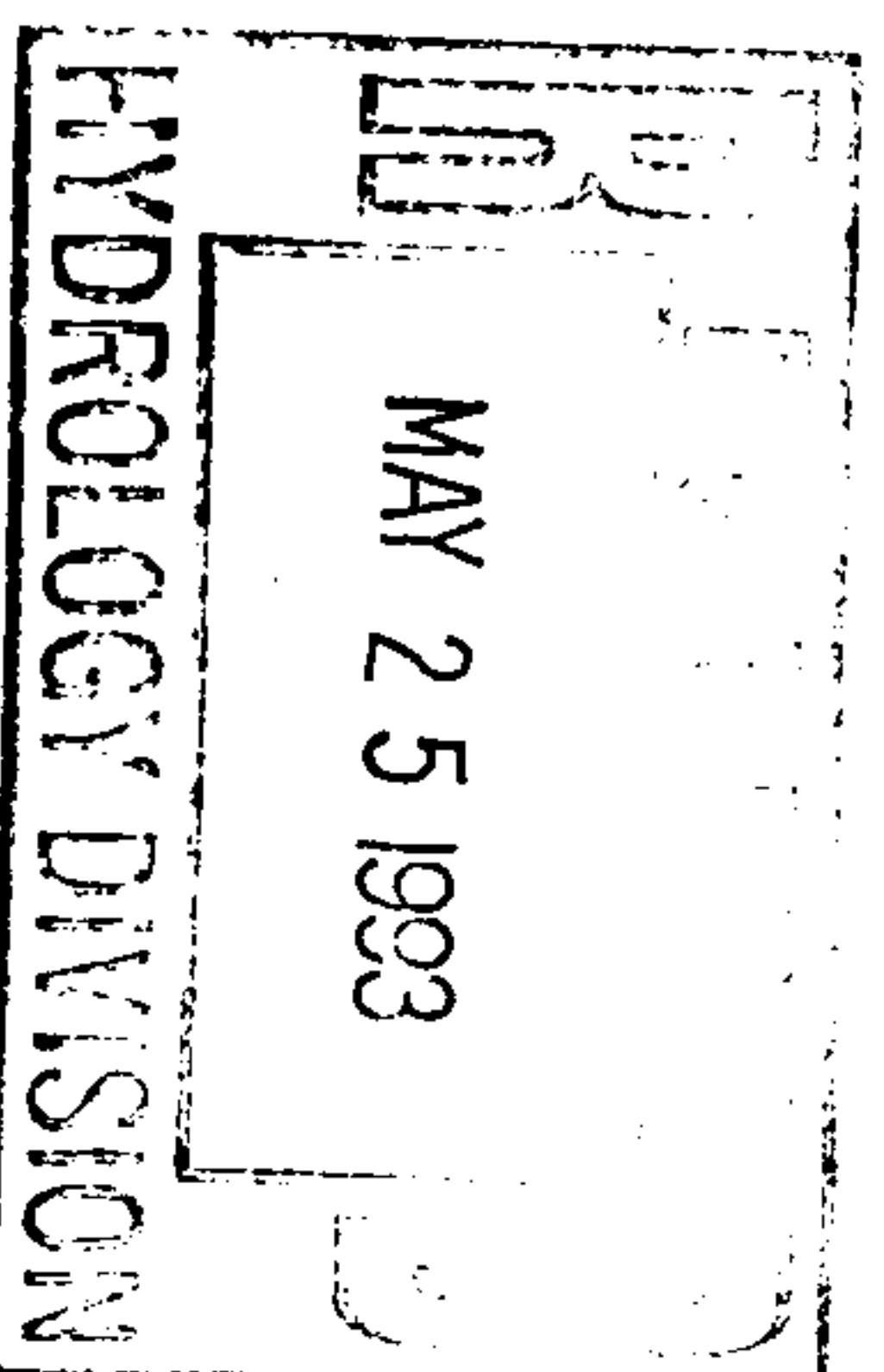
1. Done.
2. Flow direction arrows added. Sidewalk culvert is only a Phase II improvement. Only proposed basin C4 drains to the sidewalk culvert.
3. Existing solid block wall controls flow somewhat east of Wyoming. Near Wyoming I have called for the removal of a small section of curb outside the public ROW and regrading of existing landscaping to drain through the curb cut. This curb is entirely within our church's property at this time. Future sale of a portion of this land will retain a drainage easement. The attached photo shows the curb to be cut. The existing church structure is in the background. The photo is taken from the median in Wyoming and is looking to the southeast.
4. Done.
5. Done.
6. Clarified.
7. Done. Incidentally, not all new roofs will have roof drains. The pitched roofs will just sheet flow off. Flow directions are shown in all cases.
8. I believe each phase is capable of functioning by itself. Phase II flows are greater than Phase I. Essentially Phase I conditions were checked under Phase II flows.

I appreciate your review.

Sincerely,


Mark S. Holstad, PE
Shepherd Lutheran Planning Committee

SHEP7/MH3



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: G20 -

DATE: 10/28/92

EPC NO.:

DRB NO.:

ZONE: SV-1

SUBJECT: Satphed Lutheran Church

STREET ADDRESS:

LEGAL DESCRIPTION: N.E. Corner of Wyoming & Milbar

APPROVAL REQUESTED:

PRELIMINARY PLAT

FINAL PLAT

☒

SITE DEVELOPMENT PLAN

BUILDING PERMIT

GRADING/PAVING PERMIT

OTHER

ATTENDANCE: Mark Horstodl

WHO

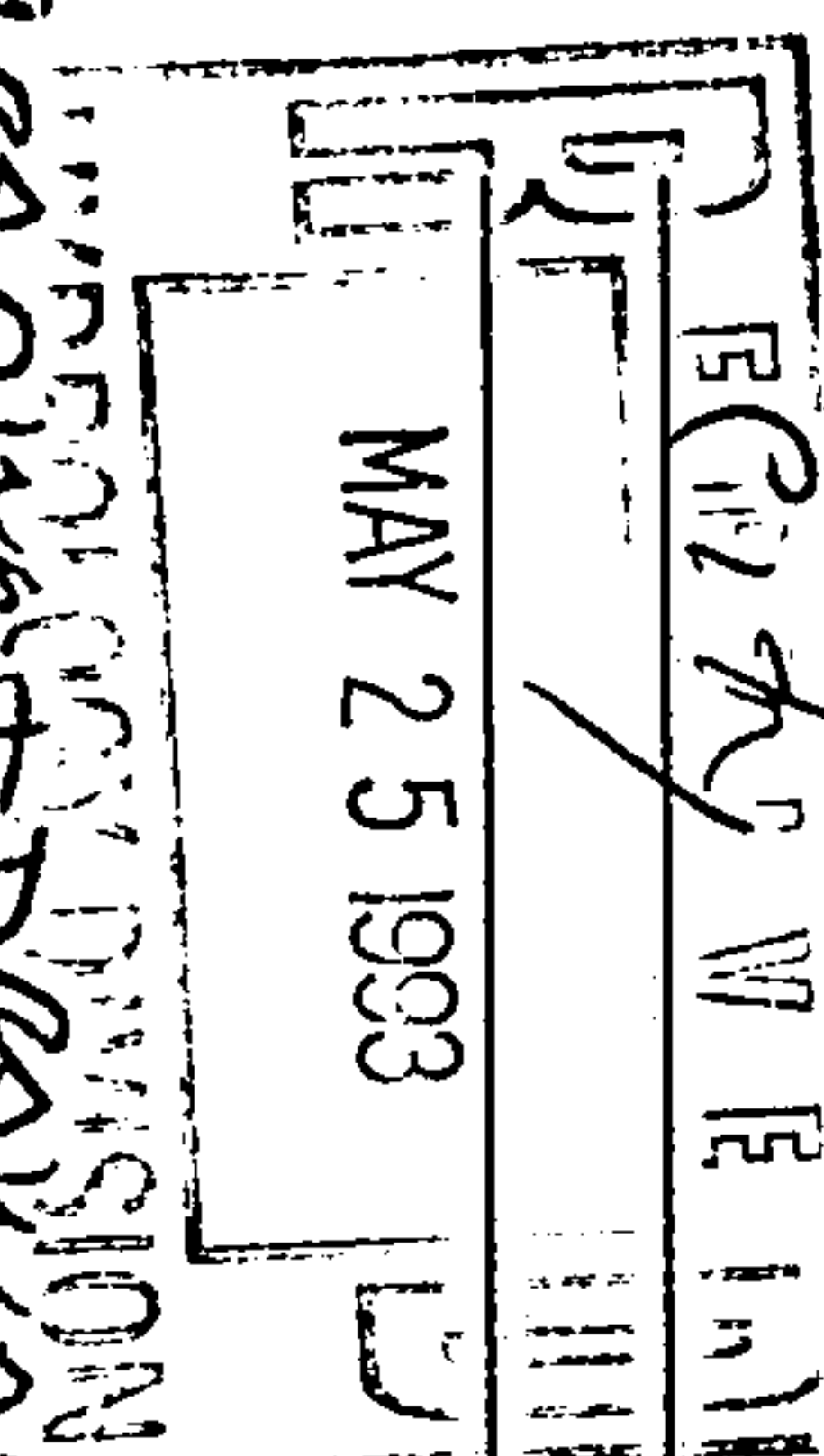
REPRESENTING

Mark Horstodl
Fred J. Aguirre

Consultant for Church

FINDINGS:

An approved conceptual grading & drainage plan
requires for site plan approval.



- Free Discharge is appropriate, however, you must verify downstream capacity using the AMDs. Additionally, free discharge would be appropriate since that this is an in-fill site.
- Need to address an adequate method of discharge. Additional disruption flows over the sidewalk.
- ~~Free~~ Discharge over a driveway is acceptable.
- Certification by the developer's engineer for Certificate of Occupancy sign-off will be required.
- For building permit approval an approved Drainage plan is required.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Paul J. Cuyler

SIGNED: Neil A. White

TITLE:

TITLE: Engineer

DATE: 10/28/92

DATE: 10/28/92

NOTE PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.



City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 13, 1992

Mark Holstead
5971 Jefferson NE Suite 102
Albuquerque, NM. 87109

RE: CONCEPTUAL DRAINAGE PLAN FOR SHEPHERD LUTHERAN CHURCH (G20-D36)
ENGINEER'S STAMP DATED 10/30/92.

Dear Mr. Holstead:

Based on the information provided on your November 9, 1992 submittal, listed are some concerns that will need to be addressed prior to final approval:

1. All designated finish floor elevations must be to full mean sea level designations. **NEED FOR B.P.**
2. Please identify which basins will be routed to the proposed sidewalk culvert.
3. How do you propose to convey the water along the north property line towards Wyoming blvd. and out onto the street? Recommend that a concrete channel be designed to convey the flows into a sidewalk culvert on Wyoming.
4. Too many erasures and overlapping lines on plan drawing, please clean up the resubmittal. **OK**
5. Please show top of curb and full line elevation on Hilton Ave. and Wyoming Blvd. **OK**
6. Please indicate and quantify off-site flows if any. **OK**

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP


Telephone (505) 768-2500

Mark Holstead
5971 Jefferson NE
Suite 102
Albuquerque, NM 87109
Page 2

7. Location and direction of roof drains on all proposed additions.
8. Please be advised that each phase must be capable of functioning by itself.

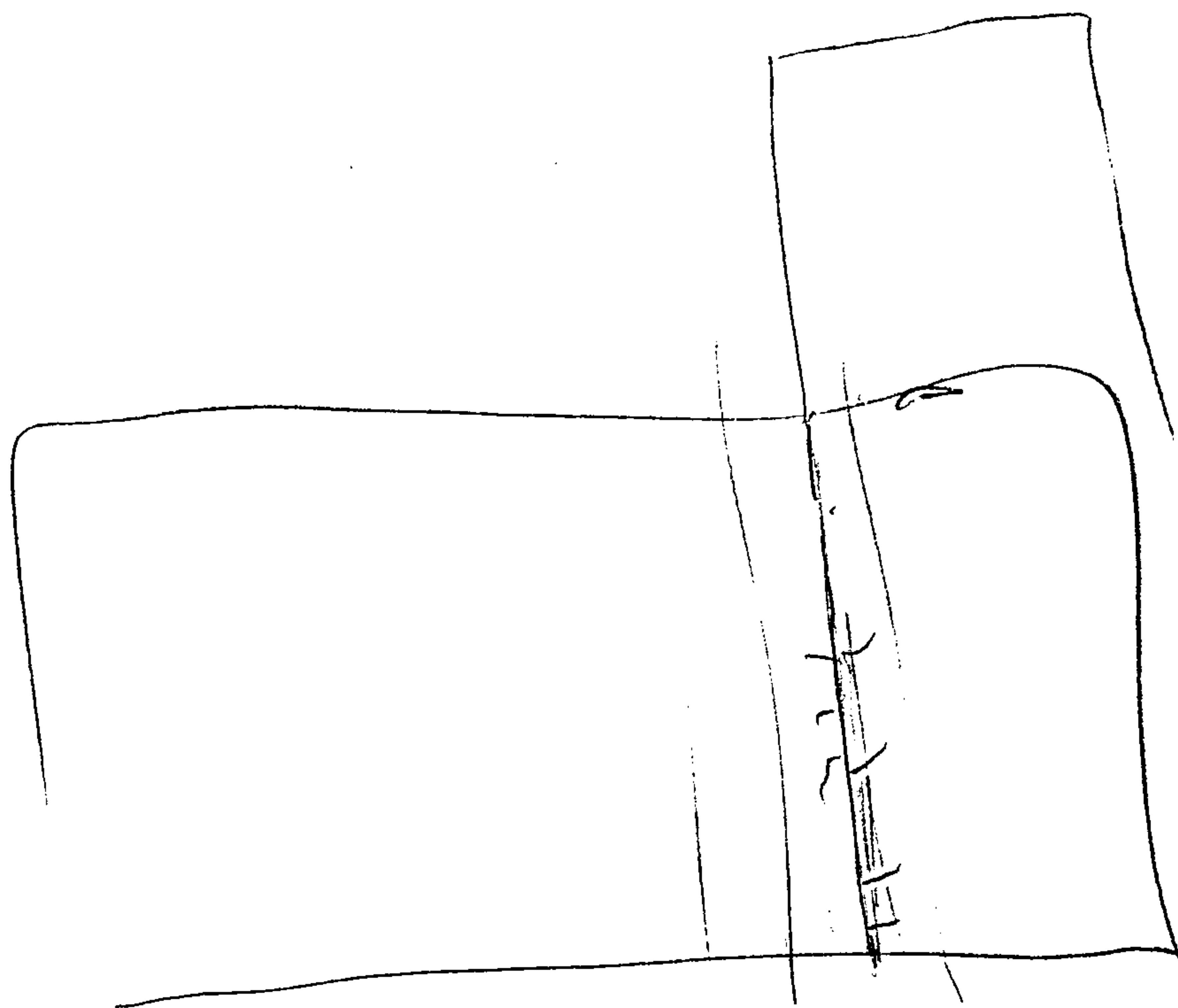
If I can be of further assistance, please feel free to contact me at 768-2667.

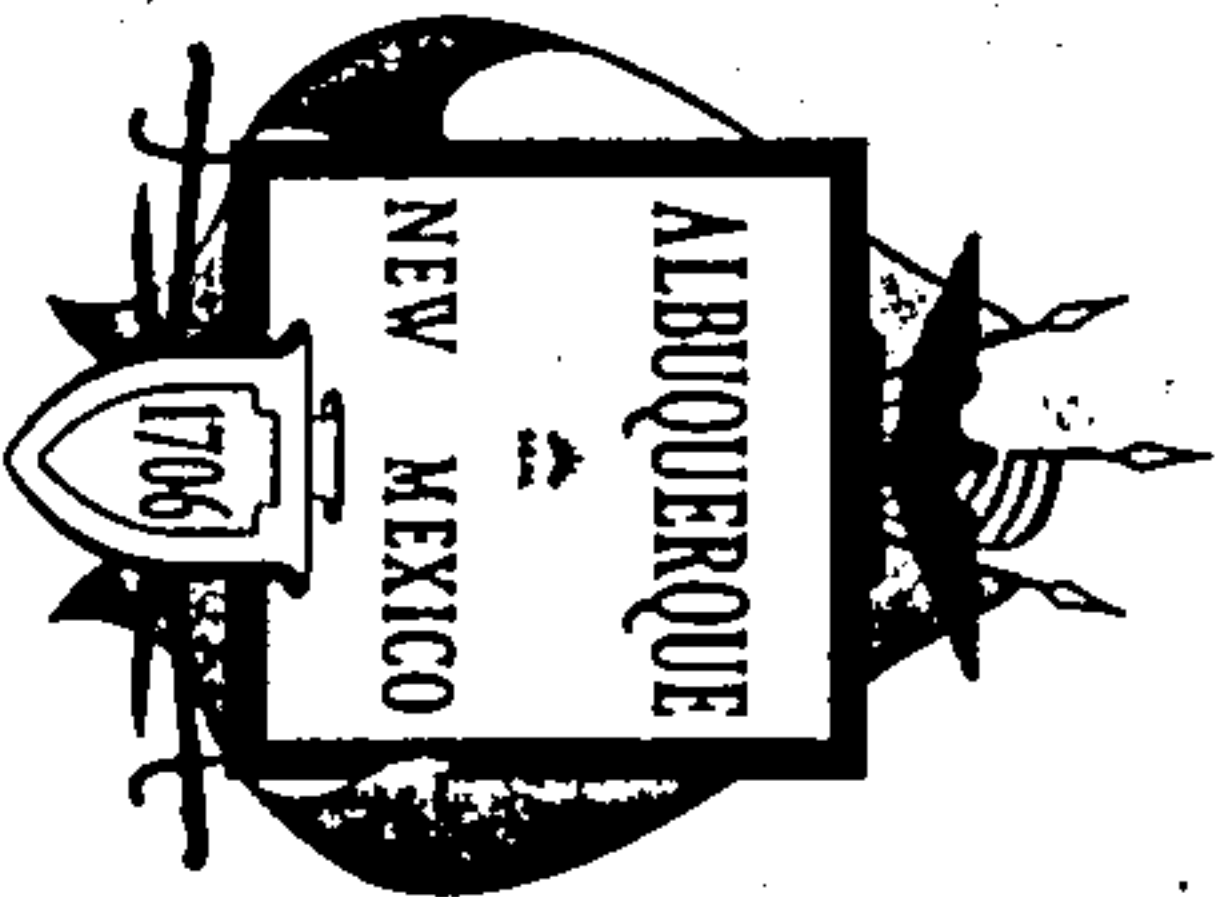
Sincerely,


Bernie J. Montoya, CE
Engineering Assistant

BJM/dl/WPHYD/3773

xc: 





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 15, 1993

Mark Holstad
5971 Jefferson NE Suite 101
Albuquerque, NM 87109

RE: REVISED DRAINAGE PLAN FOR PHASE I SHEPHERD LUTHERAN CHURCH (G20-D36)
REVISION DATED 8/27/93.

Dear Mr. Holstad:


Based on the information provided on your August 27, 1993 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.


Also, a separate submittal must be submitted for construction on the remaining phases.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,


Bernie J. Montoya, CE
Engineer Associate

BJM/d1/WPHYD/3773

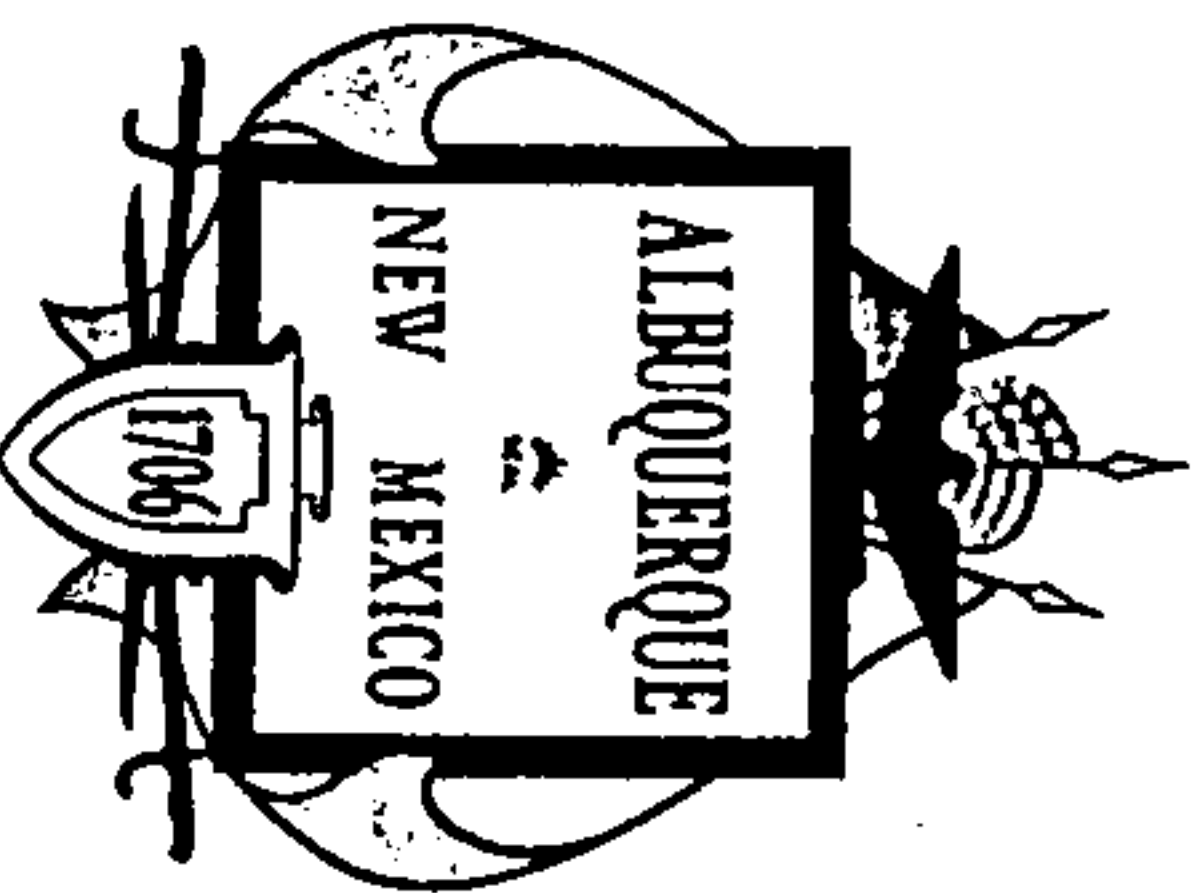
xc: Alan Martinez
File

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500



City of Albuquerque
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 16, 1993

Mark Holstad
5971 Jefferson NE Suite 101
Albuquerque, NM 87109

RE: DRAINAGE PLAN FOR PHASE I SHEPHERD LUTHERAN CHURCH (G20-D36)
ENGINEER'S STAMP DATED 5/23/93.


Dear Mr. Holstad:

Based on the information provided on your May 25, 1993 submittal, the above referenced site is approved for Site Development. Prior to Building Permit release, the following must be addressed.

1. Finish floor elevations must be to full mean sea level designation.
2. Bench Mark - location, description and elevation of the:
 - a. Albuquerque Control Survey vertical datum used to establish the T.B.M.
 - b. T.B.M. must be permanently marked.
3. Typical swale detail that will be constructed alongside the existing wall on the north side of the site.

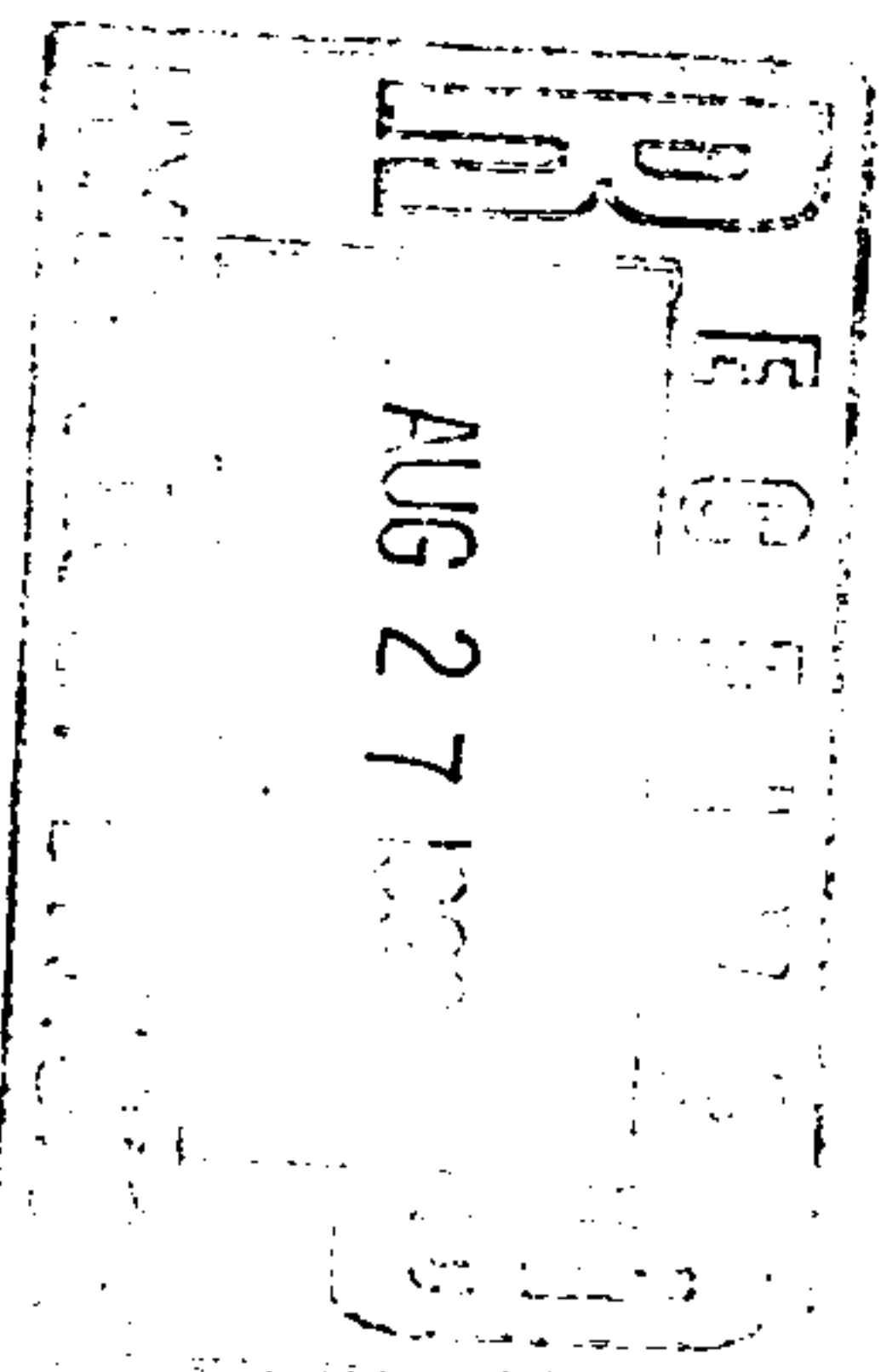
If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,


Bernie J. Montoya, CE
Engineer Associate

BJM/d1/WPHYD3773

xc: File



PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

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