



- EXISTING WALL
- PROPOSED RETAINING WALL

PROPOSED FINISH GRADES SHOWN ARE TO EARTH SURFACES AND DO NOT REPRESENT FINISH MATERIALS.

PROPOSED CONTOURS SHOWN ARE FOR FINAL SURFACE PREPARATION AND INDICATION OF FLOW ROUTING.

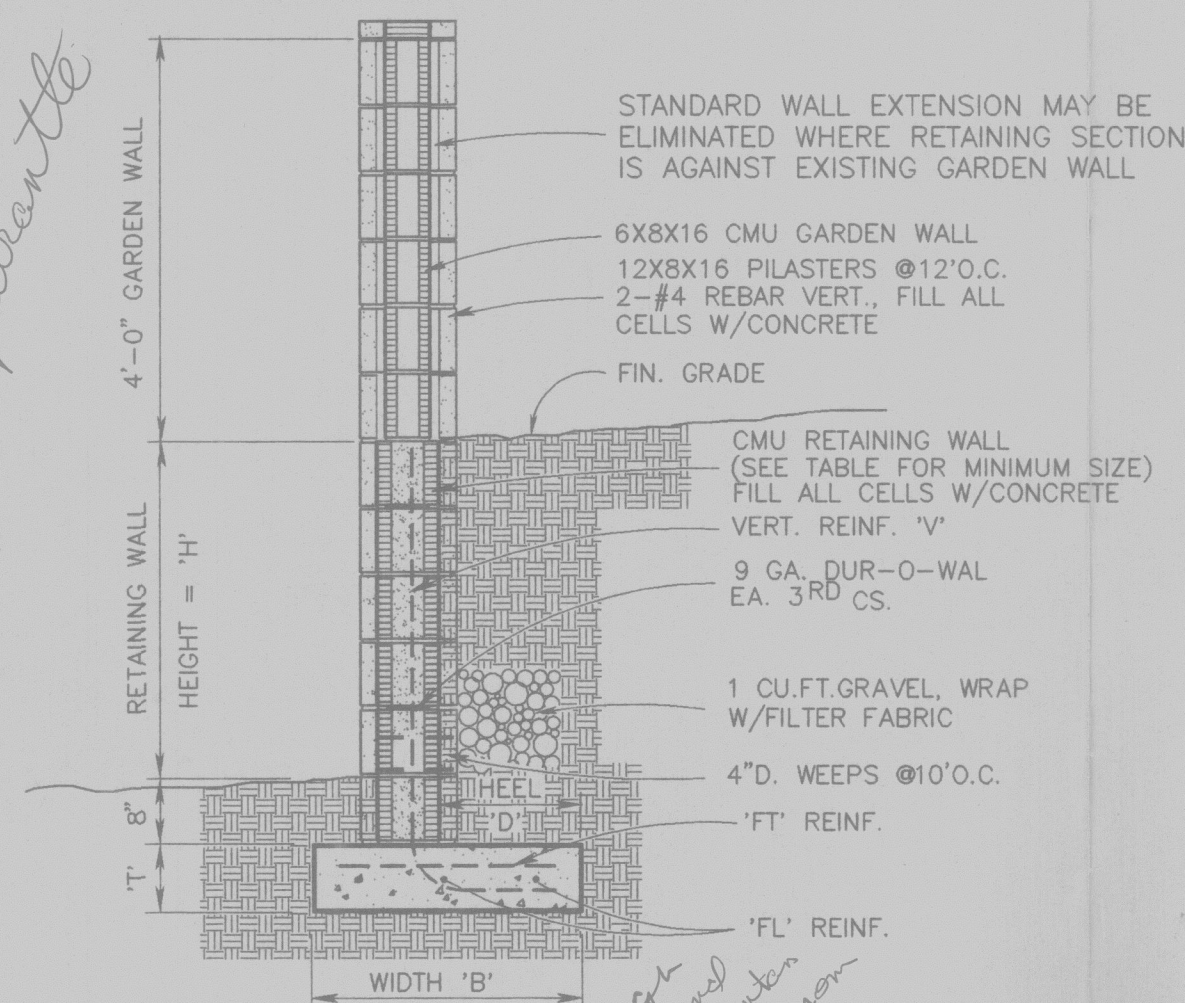
CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO ANY GRADING OR CONSTRUCTION.

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS AMENDED THROUGH UPDATE #5.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
5. BACKFILL AND COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE..
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.

Prelimi
 & final plan
 need to certify
 grading for
 financial guarantee
 + ~~need~~



WALL HEIGHT 'H'	MIN. BLOCK	FOOTING WIDTH 'B'	HEEL 'D'	FTG. THK. 'T'	VERTICAL REINF. 'V'	TRANSVERSE REINF. 'FT'	CONTINUOUS REINF. 'FL'
1'-4"	6"	1'-4"	8"	8"	#3@ 24" O.C.	—	2-#3 CONT.
2'-0"	6"	1'-10"	10"	8"	#3@ 24" O.C.	—	2-#3 CONT.
2'-8"	6"	2'-4"	1'-2"	8"	#4@ 24" O.C.	—	2-#4 CONT.
3'-4"	8"	2'-8"	1'-4"	8"	#4@ 24" O.C.	#3@ 24" O.C.	2-#4 CONT.
4'-0"	8"	3'-0"	1'-7"	8"	#4@ 16" O.C.	#3@ 16" O.C.	3-#4 CONT.

1. NO SOILS TESTS WERE PERFORMED
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE PREPARATION INCLUDING EXCAVATION
COMPACTION AND BACKFILL
3. REINFORCING BARS SHALL HAVE STANDARD DEFORMATIONS AND A YIELD STRENGTH
OF 40,000 PSI
4. CONCRETE STRENGTH (f'_c) 2500 PSI @ 30 DAYS
5. ALTERNATE VERTICAL REINFORCING BARS MAY BE TERMINATED AT MID-HEIGHT OF
RETAINER AS MEASURED FROM LOWER FINISH GRADE.



EXISTING ON-SITE CONDITIONS

THIS DEVELOPMENT SITE CONSISTS OF THREE UNIMPROVED, SUBDIVIDED LOTS. TOTAL AREA OF SITE IS .64 ACRE. VEGETATIVE COVER IS LIMITED TO LOW ANNUAL AND PERENNIAL GROWTH. THERE ARE NO EXISTING IMPIROVISED AREAS. SLOPE VARIES BETWEEN TWO AND THREE PER CENT. ON THE NORTH, THIS SITE IS BOUNDED BY A SIX-FOOT HIGH CONCRETE BLOCK WALL. THE NORTHERLY 100 FEET OF THE EAST LINE IS BOUNDED BY A WALL WITH THE REMAINDER OF THE ADJOINING LAND TO THE EAST BEING GRADED TO A 1% SLOPE TO THE SOUTH AND WEST LINES ABT STREET RIGHTS-OF-WAY. NO OFFSITE FLOWS IMPACT THIS SITE.

THE PURPOSE OF THIS SITE IS COMPACTED FROM HUMAN ACTIVITY. THE NORTHEAST PORTION OF IT HAS APPARENTLY BEEN USED FOR MATERIAL STORAGE. FOR THE PURPOSE OF DRAINAGE CALCULATIONS, SURFACE TREATMENT TYPE USED IS "C".

PROPOSED DEVELOPMENT

EIGHT SINGLE-FAMILY TOWNHOUSES ARE TO BE CONSTRUCTED ON REDIVIDED LOTS. ADDITIONAL CONSTRUCTION WILL INCLUDE 18'-WIDE DRIVEWAYS, WALKS, PATIO AREAS AND LOW RETAINING WALLS WHERE REQUIRED FOR INTERIOR GRADE SEPARATION. DISCHARGE ROUTING FROM THIS SITE IS NOT TO BE ALTERED. CURRENTLY, FLOWS EXIT TO THE WEST. THIS IS AN INFILL SITE SURROUNDED BY DEVELOPED LAND AND STREETS. NO ON-SITE DETENTION FACILITIES ARE LANNED. DISCHARGE FLOWS VIA WESTERFIELD DRIVE AND CONCRETE DRIVEWAY TO LEVARD WHERE FLOWS ARE INTERCEPTED BY A STORM DRAIN THAT DISCHARGES INTO THE HAHN ARROYO. ALL DOWNSTREAM SURFACES ARE ASPHALT PAVEMENT OR CONCRETE LINING.

DEVELOPED IMPERVIOUS COVERAGE PER PROPOSED LOT INCLUDES 1758 S.F. OF ROOF AND 800 S.F. CONCRETE DRIVE, PATIO AND WALK.

DRAINAGE DATA

THIS SITE LIES WITHIN PRECIPITATION ZONE 3.

CONDITION	STORM RETURN PERIOD (TABLE 4)	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIP. (TAB.A-8) INCHES	PEAK RUNOFF (TAB.A-9) CFS/AC	RUNOFF VOLUME CU.FT.	RUNOFF RATE CFS
EXISTING	100	A B C D	27447	0.66 0.92 1.29 2.36	1.87 2.60 3.45 5.02	2950	2.17
EXISTING	10	A B C D	27447	0.19 0.36 0.62 1.50	0.58 1.19 2.00 3.39	1418	1.26
EXISTING	100	A B C D	6983 20464	0.66 0.92 1.29 2.36	1.87 2.60 3.45 5.02	535 4024	1.34 2.36
EXISTING	10	A B C D	6983 20464	0.19 0.36 0.62 1.50	0.58 1.19 2.00 3.39	209 2558	0.19 1.59
TOTALS	100 10		27447			4559 2767	3.70 1.78

FLOW RATE INCREASES OF 1.53 CFS AND 0.52 CFS FOR THE 100-YEAR AND 10-YEAR, STORMS MAY BE EXPECTED. THE 6-HOUR RUNOFF VOLUMES WILL INCREASE BY 1609 CUBIC FEET FOR THE 100-YEAR STORM AND 1349 CUBIC FEET FOR THE 10-YEAR STORM

BENCH MARK

STA 9+G12 STANDARD ACS BRASS CAP SET IN TOP OF CONCRETE CURB IN EAST
MEDIAN AT THE INTERSECTION OF COMANCHE ROAD AND EUBANK BOULEVARD, NE.
ELEV. 5536.00

T.B.M.

TOP OF CURB AT THE ENE RETURN, INTERSECTION OF PALO DURO DRIVE WITH
WESTERFELD DRIVE, NE
ELEV. 5534.33

DESCRIPTION OF PROPERTY


LOTS 6, 7 & 8
BLOCK 1
PIERMONT HEIGHTS
ALBUQUERQUE, NEW MEXICO

GRADING AND DRAINAGE PLAN

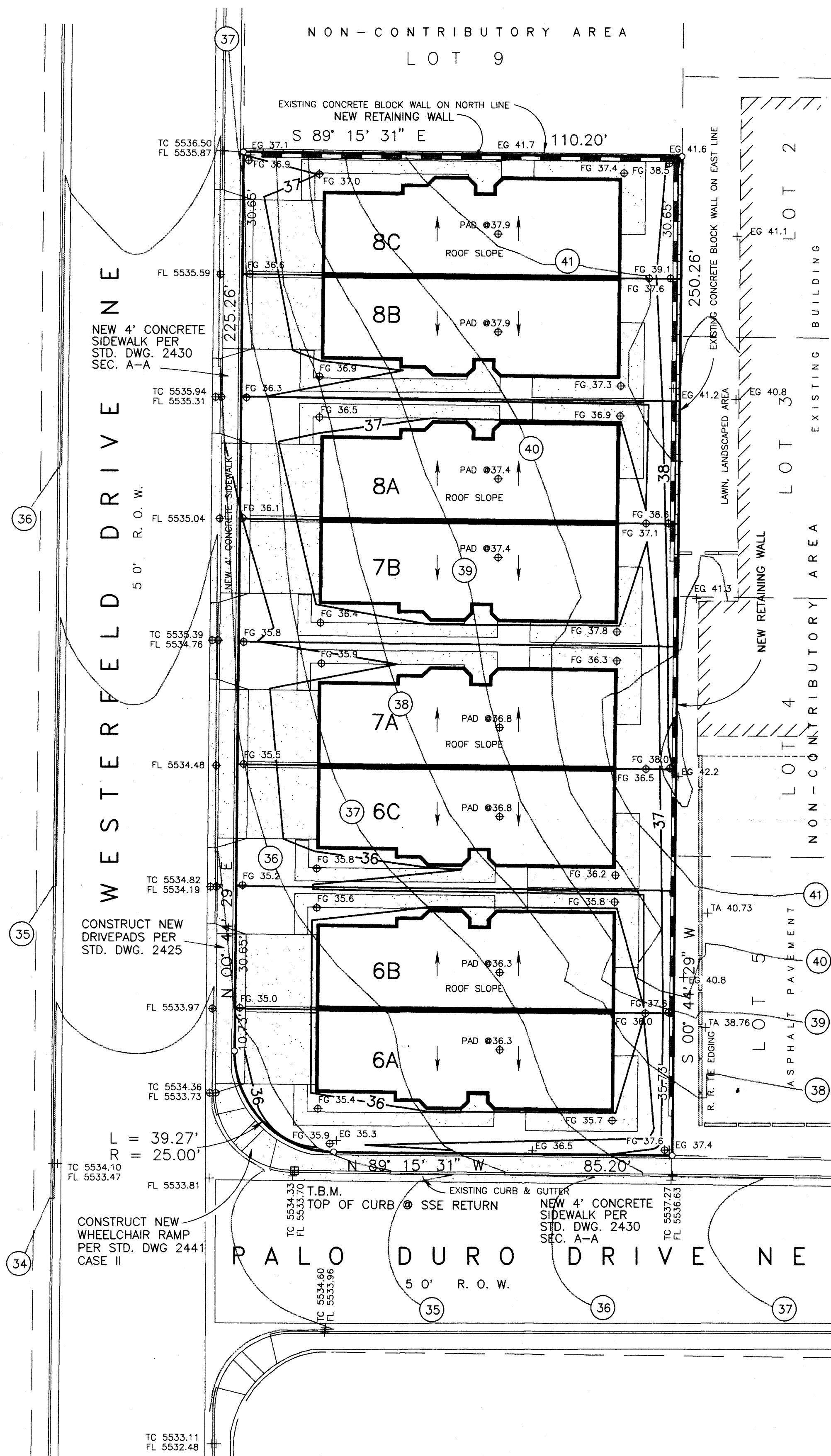
WITHIN BLOCK I, PIERMONT HEIGHTS

ALBUQUERQUE, NEW MEXICO

HELMICK HOMES



HALL ENGINEERING COMPANY INC.
ENGINEERING • SURVEYING • PLANNING • CONSTRUCTION
6840 2ND ST., NW, SUITE 306 • ALBUQUERQUE, NEW MEXICO 87107
PHONE (505) 345-1064 FAX (505) 344-5404



LEGEND

- 58 — EXISTING CONTOURS @ 1.0' INTERVALS
- 56 — PROPOSED CONTOURS @ 1.0' INTERVALS
- + 58.0 — EXISTING SPOT ELEVATION
- 58.0 — PROPOSED SPOT ELEVATION
- FL — FLOW LINE
- TC — TOP OF CURB
- PROPOSED CONCRETE SURFACING
- PROPOSED BUILDING FOOTPRINTS
- EXISTING WALL
- PROPOSED RETAINING WALL

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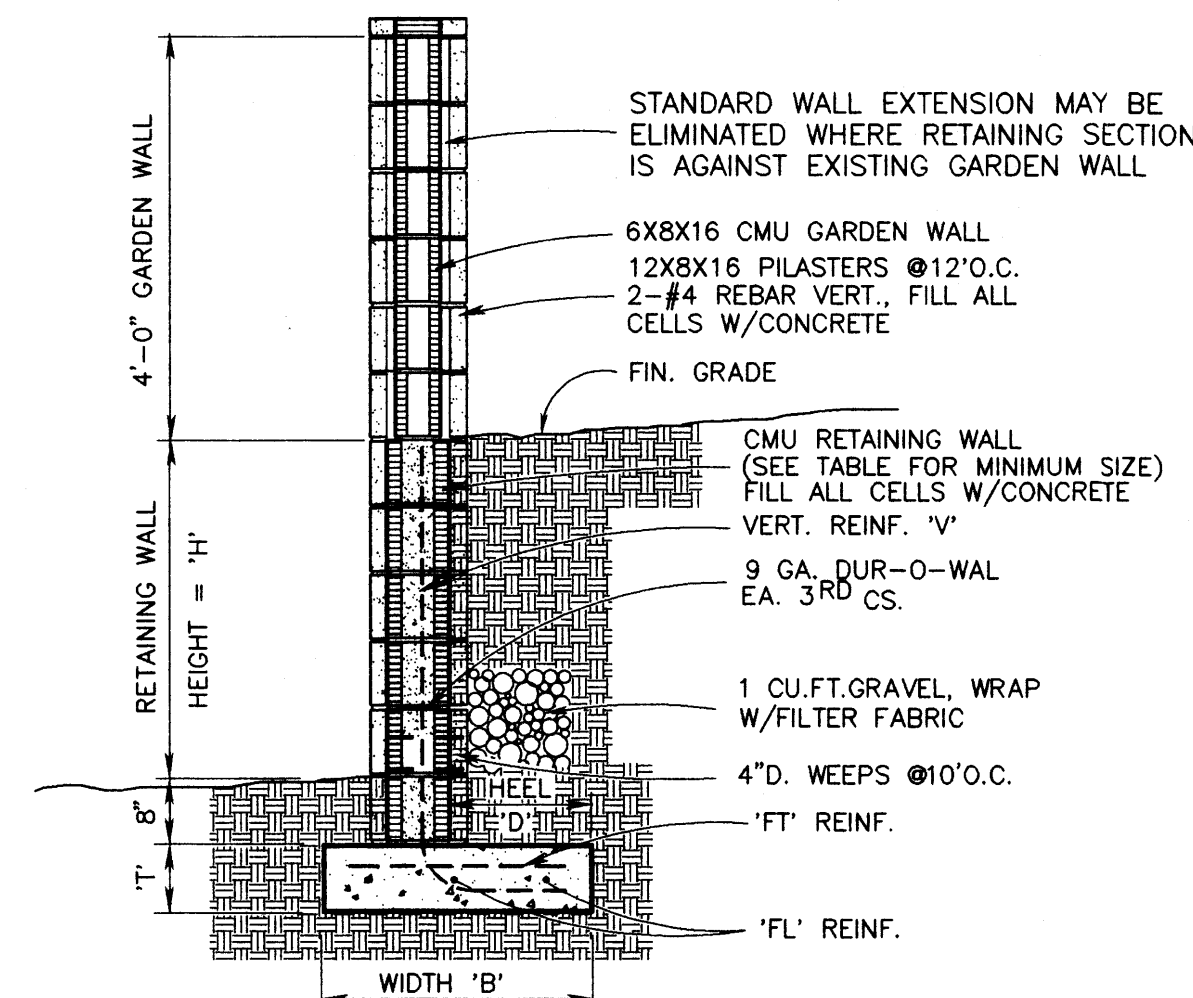
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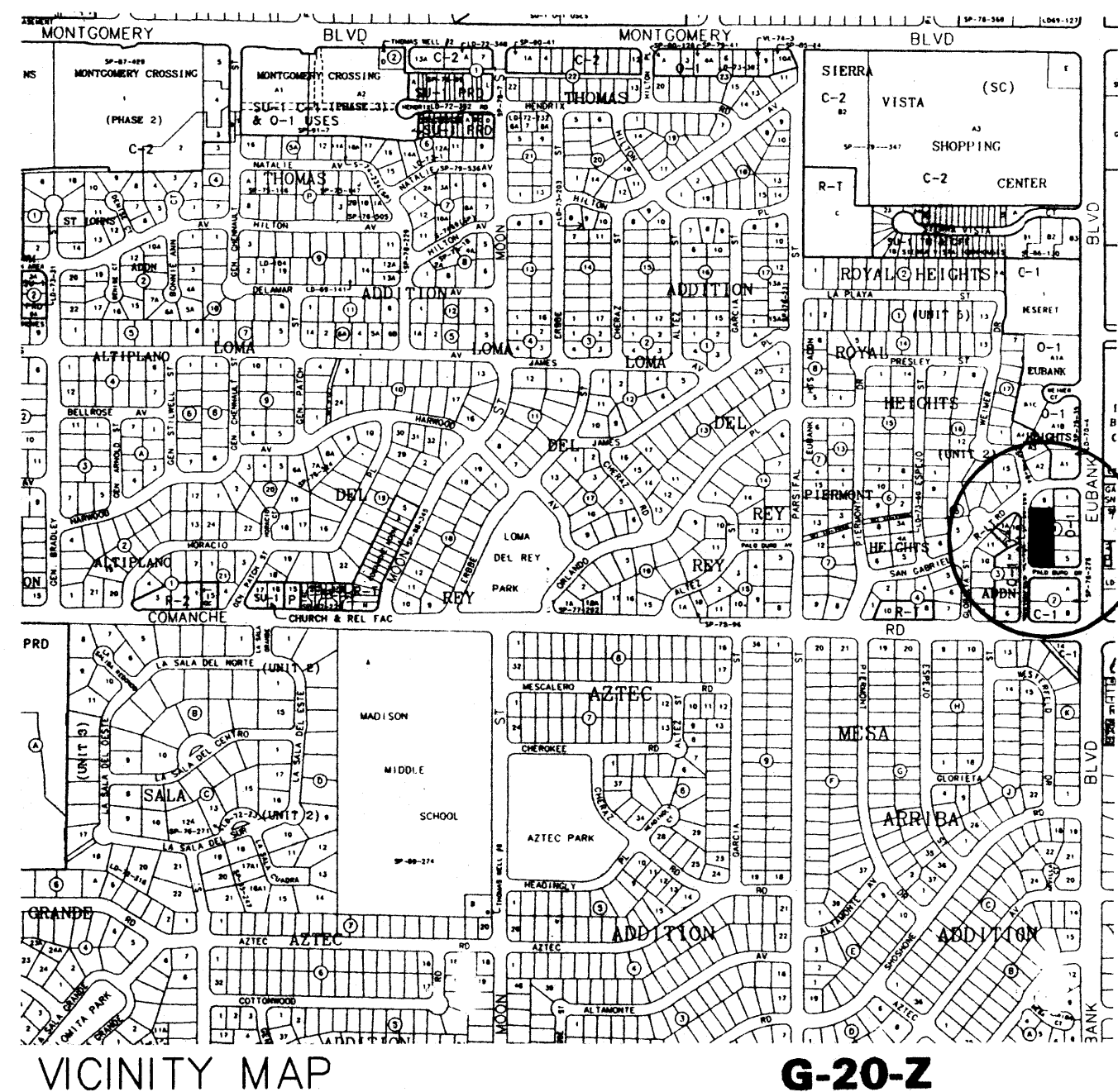
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APPROVALS	NAME	DATE	PERMIT NO.	MAP NO.
TRAFFIC				
INSPECTOR				
A.C.E./FIELD			SHEET OF	



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