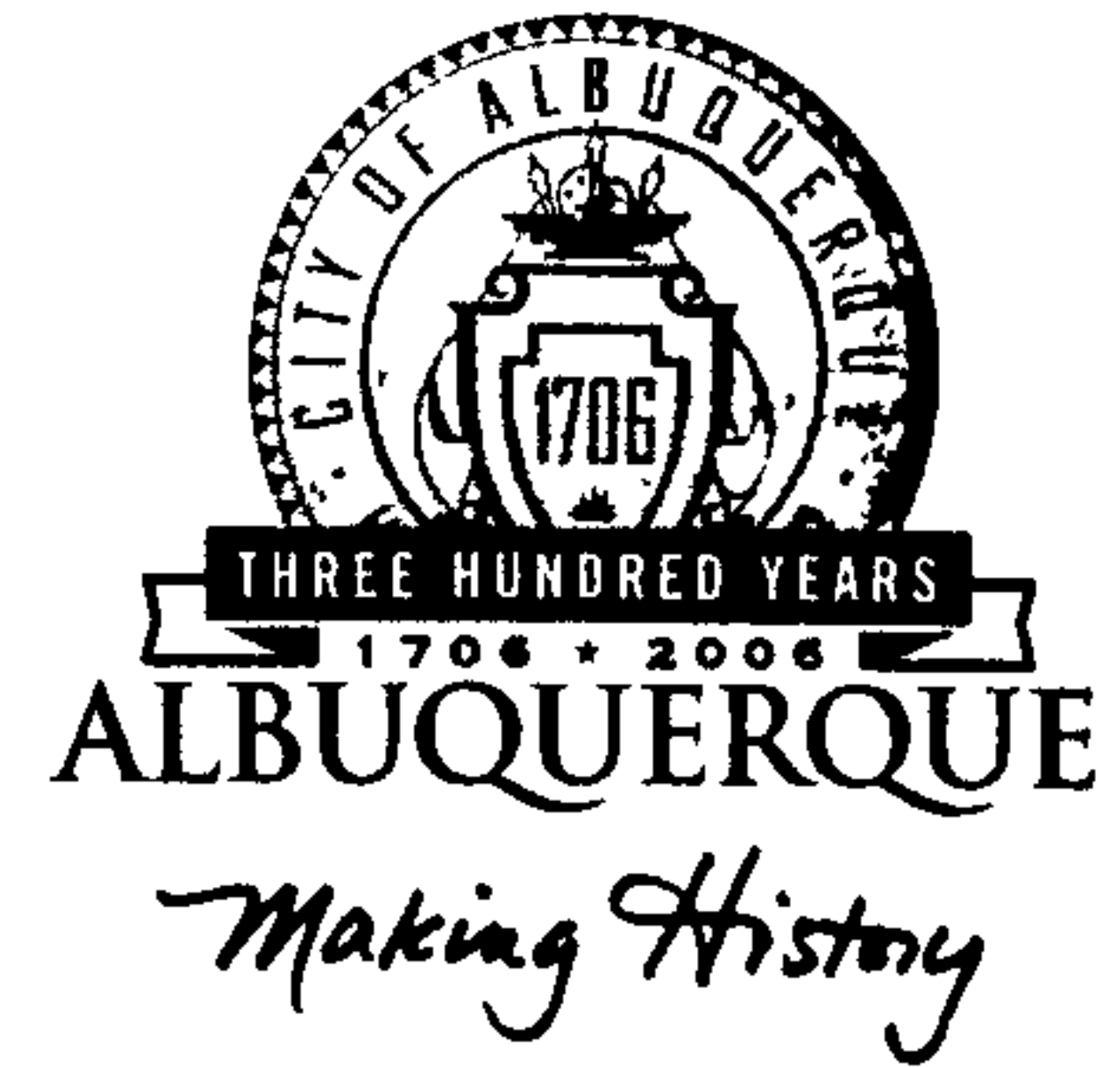


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

November 29, 2005

Robert Calvani, RA  
**NCA ARCHITECTS-PLANNERS-AIA**  
1306 Rio Grande Blvd. NW  
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certificate of Occupancy for  
**NEW MEXICO BANK & TRUST, [G-20/D44]**  
9500 Montgomery Blvd. NE  
Architect's Stamp Dated 11/23/2005

P.O. Box 1293

Dear Mr. Calvani:

Albuquerque

The TCL / Letter of Certification submitted on November 28, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

New Mexico 87103

Phillip J. Lovato  
Engineering Associate  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
Hydrology file  
CO Clerk

9500 MONTGOMERY  
NM BANK & TRUST  
SCOTT McFEE / INTERIOR &  
RENEWAL  
345-2854  
DUN

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 06/22/2005)

G-20/D44

PROJECT TITLE: NMB + T - EMBANK + MONTGOM. ZONE MAP/DRG. FILE # 620.2  
DRB#: 1000990 EPC#: 04EPC 01207 WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
CITY ADDRESS: 9500 MONTGOMERY HE

ENGINEERING FIRM: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: JOHN LAYMAN  
PHONE: 255-6400  
ZIP CODE: 87104

OWNER: NMB + T  
ADDRESS: 301 GOLD AVE. SW  
CITY, STATE: ALBQ., NM 87104

CONTACT: GREG LEYENBEKEN  
PHONE: 830-8100  
ZIP CODE: 87104

ARCHITECT: NCA ARCHITECTS  
ADDRESS: 1306 N 10th AVE NW  
CITY, STATE: ALBQ., NM 87104

CONTACT: JOHN LAYMAN  
PHONE: 255-6400  
ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: WILGEN CONSTRUCTION  
ADDRESS: 425 EDMOND AVE  
CITY, STATE: ALBQ., NM

CONTACT: JOHN WILGEN  
PHONE: 345-2854  
ZIP CODE: 87107

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

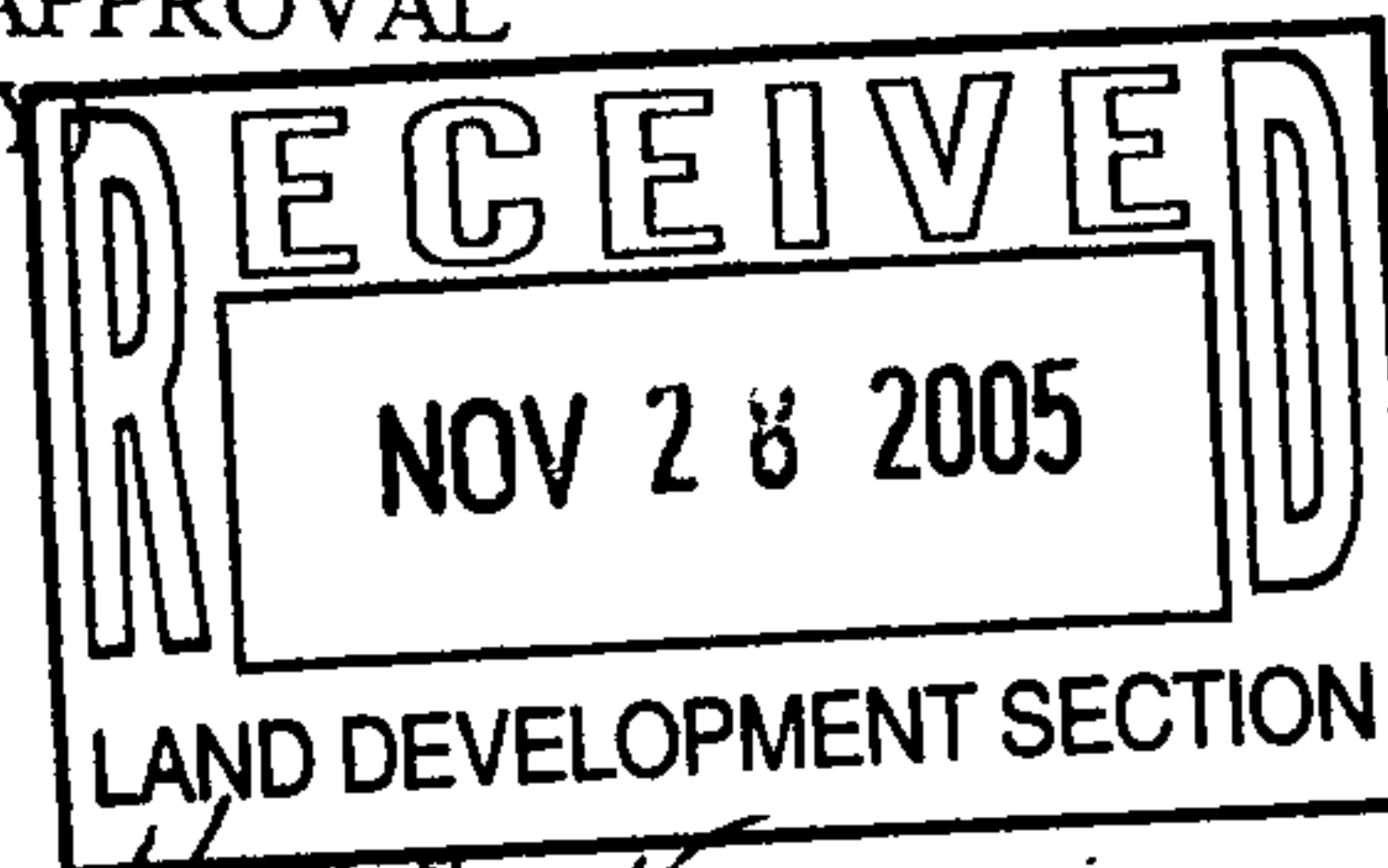
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY \_\_\_\_\_)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

SUBMITTED BY: John Layman DATE: 11.28.05



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Robert M. Calvani  
John C. Layman  
Myron A. Saldyt  
Thomas Wilber

November 23, 2005

Traffic Engineering  
Planning Department  
Building & Safety Division  
City of Albuquerque

Re: New Mexico Bank & Trust  
Sierra Vista Shopping Center Branch  
Eubank and Montgomery

To Whom It May Concern:

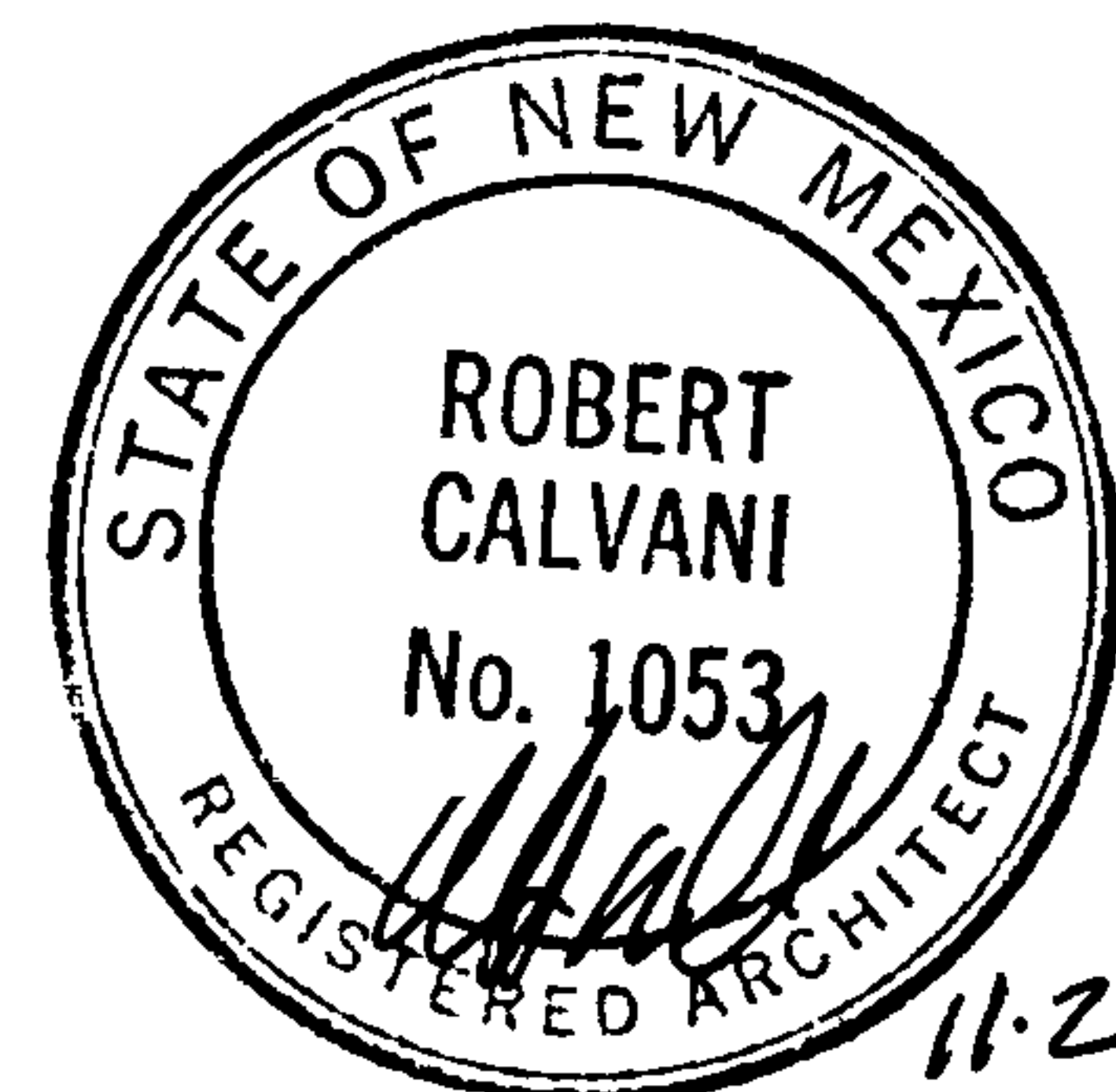
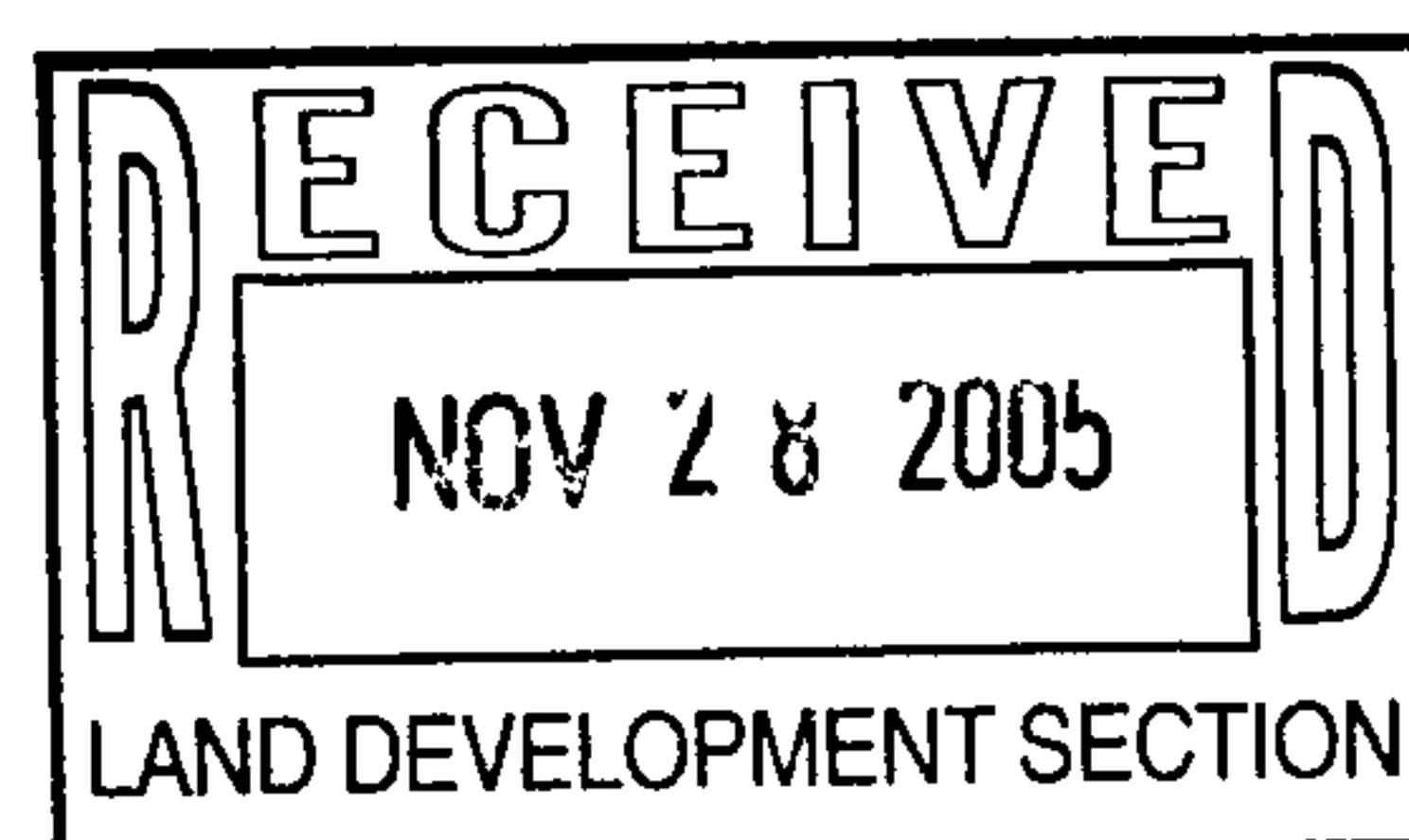
I, Robert M. Calvani, NMRA 1053, of the firm NCA Architects, hereby certify that the project is in substantial compliance with and in accordance to the plan dated October, 2004 and as amended per the planning department. John Layman of the firm NCA Architects has obtained the record information, edited onto the original design document. All parking and curbing indicated as well as landscape requirements have been installed per our design planning department requirements.

I further certify that I have personally visited the project site on November 22, 2005 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Building Certificate of Occupancy.

Should you have any questions please do not hesitate to contact me at 255-6400.

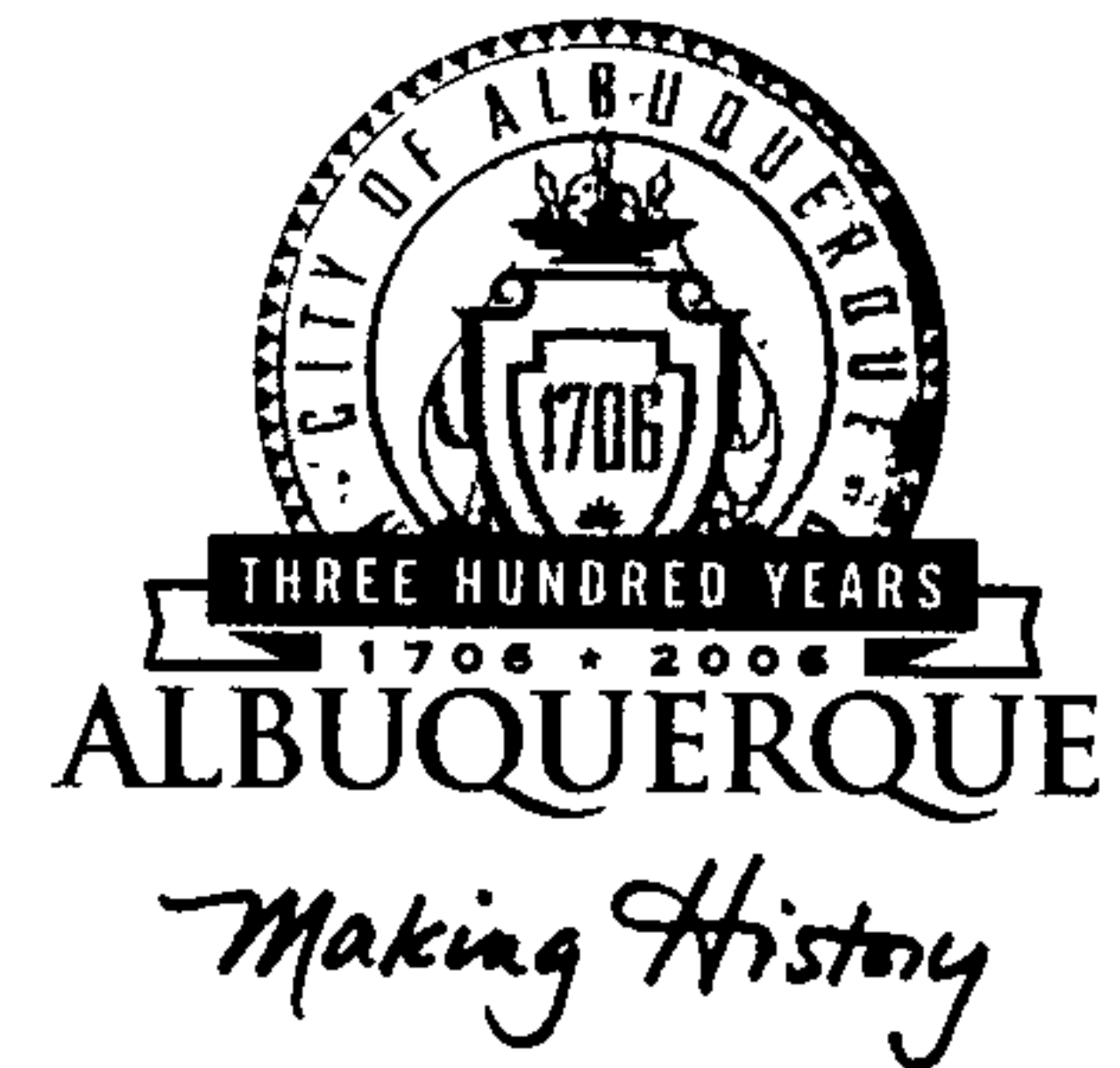
Sincerely,

Robert Calvani,  
NCA Architects





# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

October 7, 2005

Robert Calvani, Registered Architect  
NCA Architects & Planners  
1306 Rio Grande Blvd NW  
Albuquerque, NM 87104

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
New Mexico Bank & Trust, [G-20 / D44]  
9500 Montgomery NE  
Architect's Stamp Dated 10/05/05

Dear Mr. Calvani:

Based on the information provided on your submittal dated October 6, 2005, the above referenced project is approved for a 30-day Temporary C.O.

P.O. Box 1293

Albuquerque

A Temporary C.O. has been issued allowing the outstanding pavement seal coat and striping for parking area issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 06/22/2005)

PROJECT TITLE: NEW MEXICO BANK + TRUST ZONE MAP/DRG. FILE # G-20/D44  
DRB#: \_\_\_\_\_ EPC#: 04 EPC 01207 WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
CITY ADDRESS: 9500 MONTGOMERY NE.

ENGINEERING FIRM: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: NMB + T  
ADDRESS: 310 GOLD AVE NW.  
CITY, STATE: ALBQ., NM 87104  
CONTACT: STEVE MONTUZA  
PHONE: 505-811-0110  
ZIP CODE: \_\_\_\_\_

ARCHITECT: NCA ARCHITECTS  
ADDRESS: 1306 RIO GRANDE NW  
CITY, STATE: ALBQ., NM 87104  
CONTACT: JOHN LAYMAN  
PHONE: 505-811-0110  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: WILGEN CONSTRUCTION  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_  
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☒ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

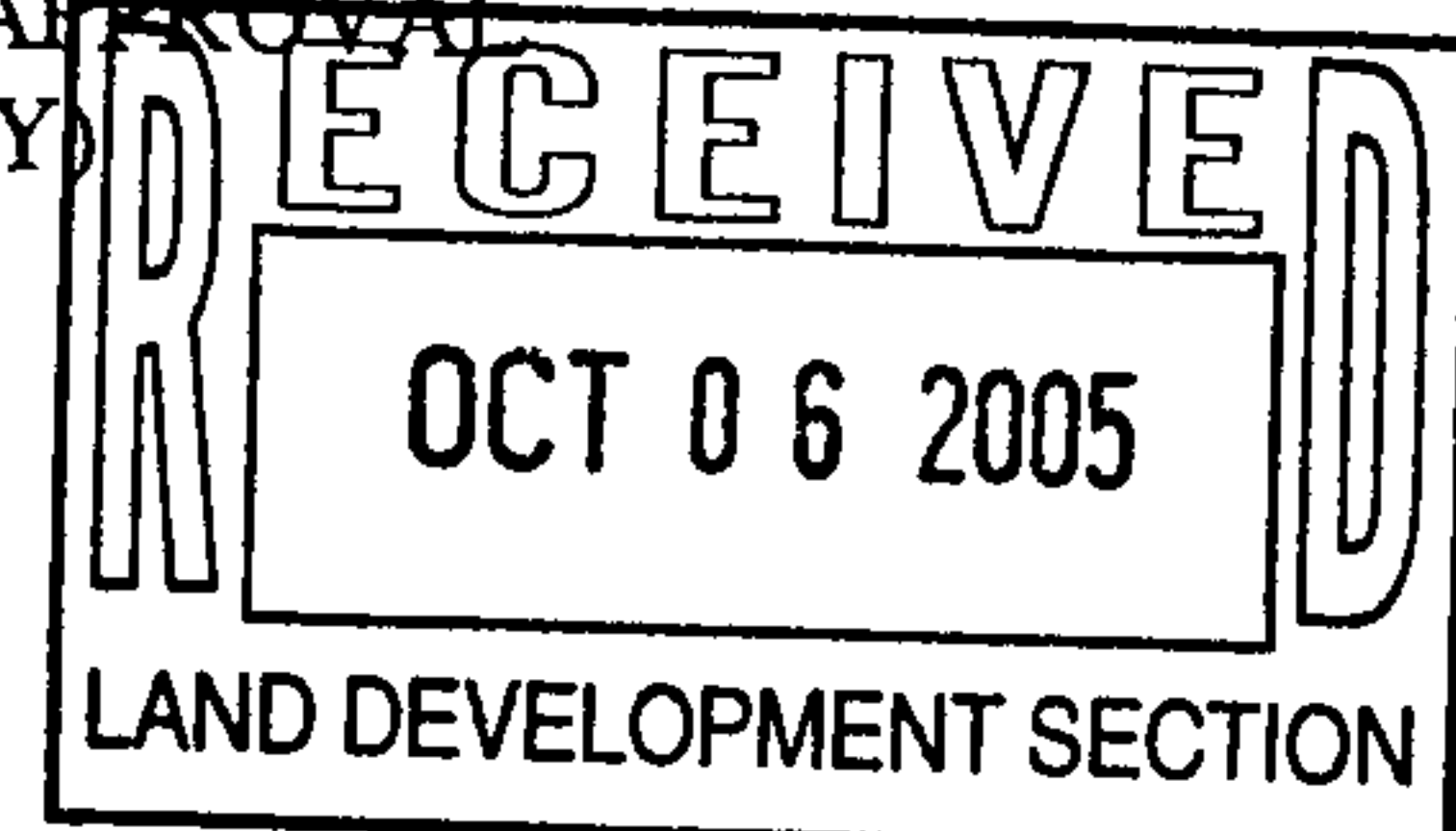
CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☒ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: [Signature] DATE: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



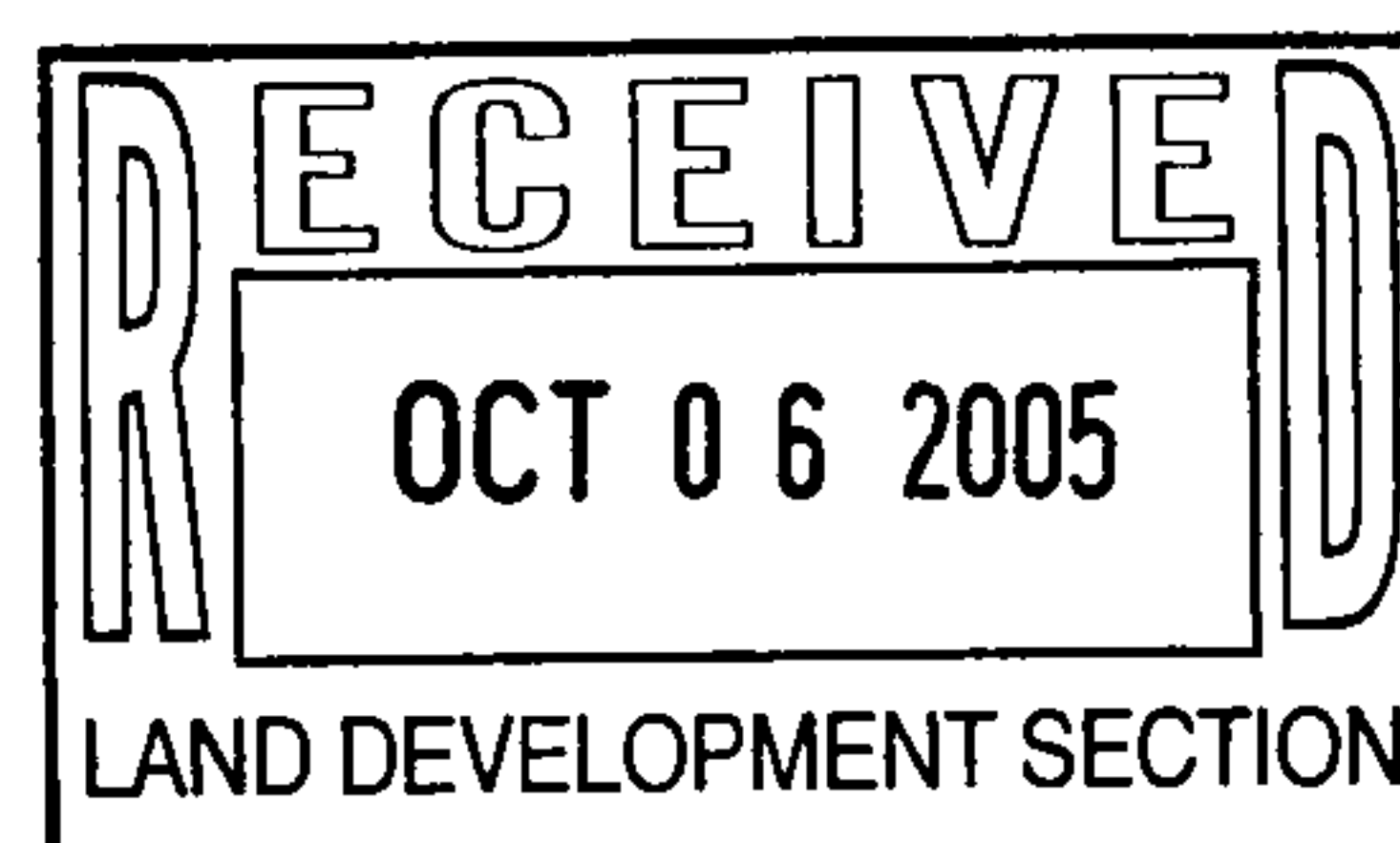


Robert M. Calvani  
John C. Layman  
Myron A. Saldyt  
Thomas Wilber

October 5, 2005

Traffic Engineering  
Planning Department  
Building & Safety Division  
City of Albuquerque

Re: New Mexico Bank & Trust  
Sierra Vista Shopping Center Branch  
Eubank and Montgomery



To Whom It May Concern:

I, Robert M. Calvani, NMRA 1053, of the firm NCA Architects, hereby certify that the project is in substantial compliance with and in accordance to the plan dated October, 2004 and as amended per the planning department. John Layman of the firm NCA Architects has obtained the record information, edited onto the original design document. The parking area east of the bank building outside of New Mexico Bank & Trust's property line will be seal-coated and striped by the Owner of the shopping Center, Shore to Shore Properties. All curbing indicated and landscape requirements have been installed per planning department requirements.

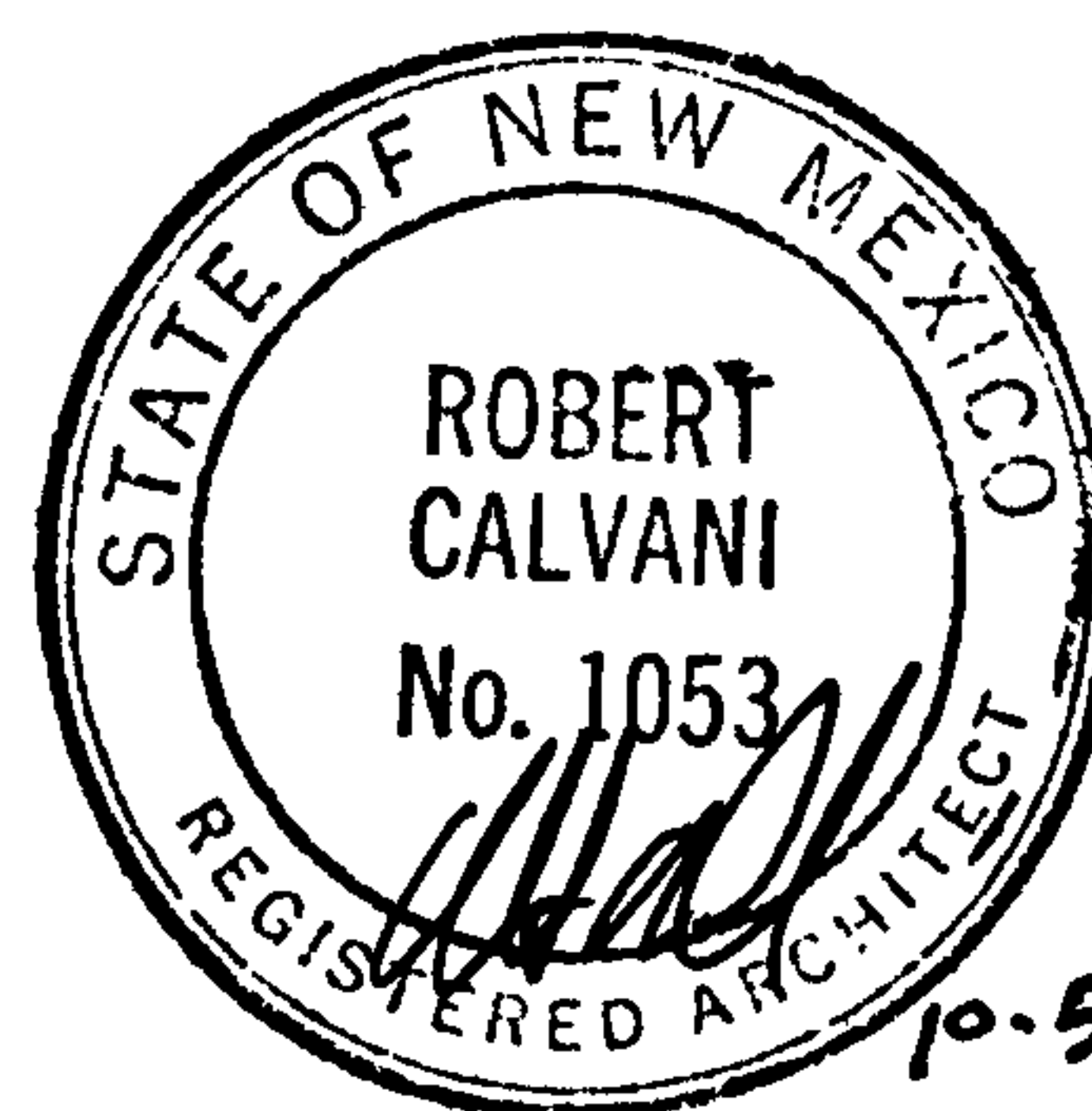
I further certify that I have personally visited the project site on October 4, 2005 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Building Certificate of Occupancy.

Should you have any questions please do not hesitate to contact me at 255-6400.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert Calvani".

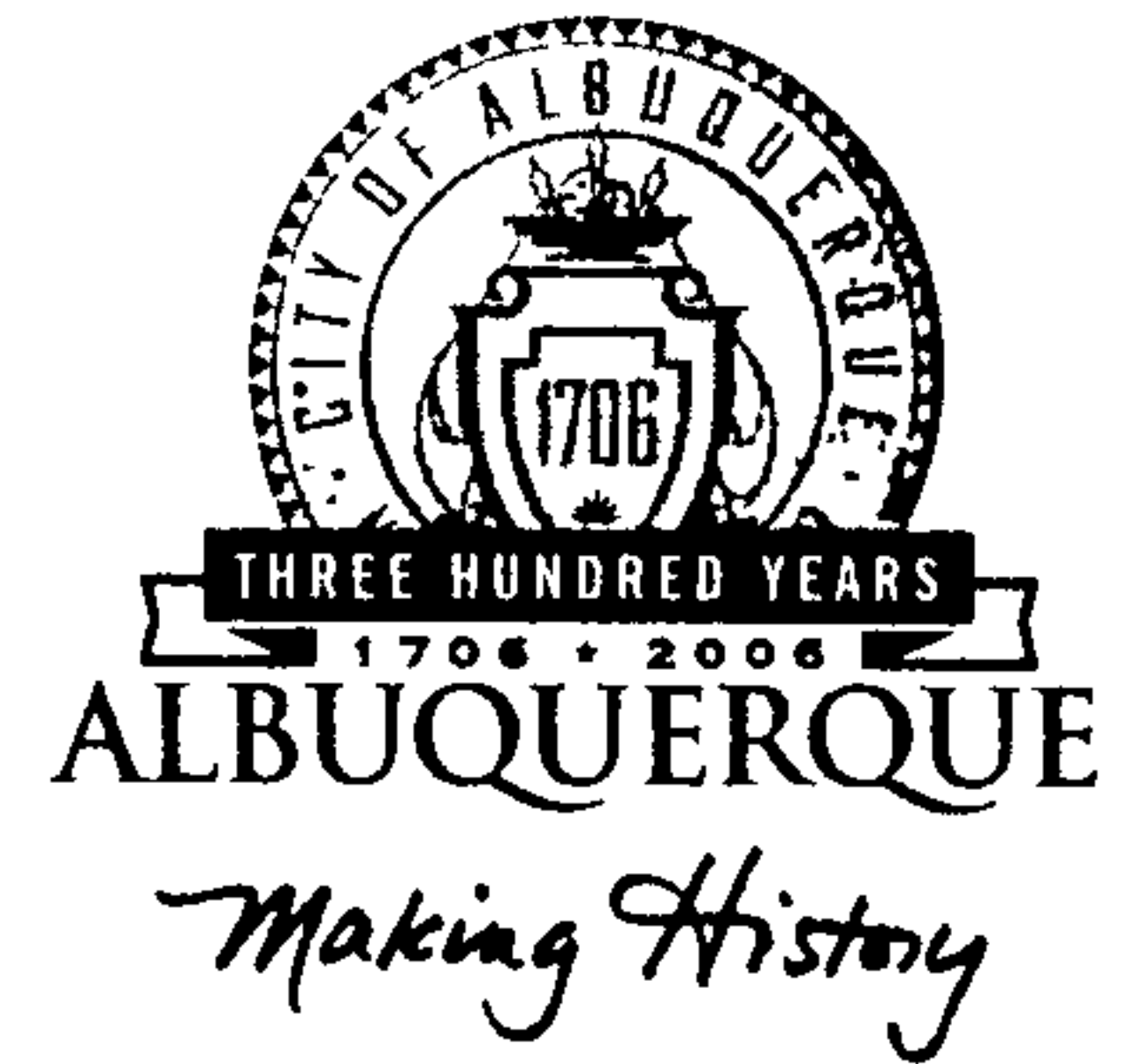
Robert Calvani,  
NCA Architects



10.5.05



# CITY OF ALBUQUERQUE



October 18, 2005

Mr. Scott McGee, P.E.  
**ISAACSON & ARFMAN, PA**  
128 Monroe Street NE  
Albuquerque, NM 87108

**Re: NEW MEXICO BANK & TRUST**  
**9500 Montgomery Blvd. NE**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 11/09//2004 (G-20/D44)**  
**Certification dated 10/06/2005**

Dear Scott:

P.O. Box 1293

Based upon the information provided in your submittal received 10/18/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: Phyllis Villanueva  
File

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/28/2003rd)

PROJECT TITLE: NEW MEXICO BANK & TRUST ZONE MAP/DRG. FILE #: G-20/D44  
DRB #: 1000980 EPC#: \_\_\_\_\_ WORK ORDER#: 758281

LEGAL DESCRIPTION: TR. A-3-B SIERRA VISTA SHOPPING CENTER  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Isaacson & Arfman, P.A.  
ADDRESS: 128 Monroe Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: SCOTT MCGEE  
PHONE: (505) 268-8828  
ZIP CODE: 87108

OWNER: NM BANK & TRUST  
ADDRESS: 320 GOLD SW  
CITY, STATE: ABQ NM

CONTACT: GREG LEYENDECKER  
PHONE: 830.8100  
ZIP CODE: 87102

ARCHITECT: NCA  
ADDRESS: 1306 RIO GRANDE BLVD  
CITY, STATE: ABQ NM

CONTACT: JOHN LAYMAN  
PHONE: 255-6400  
ZIP CODE: 87104

SURVEYOR: TYREE SURVEYING  
ADDRESS: PO BOX 2434  
CITY, STATE: TIJERAS NM

CONTACT: RON TYREE  
PHONE: 281-0100  
ZIP CODE: 87057

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

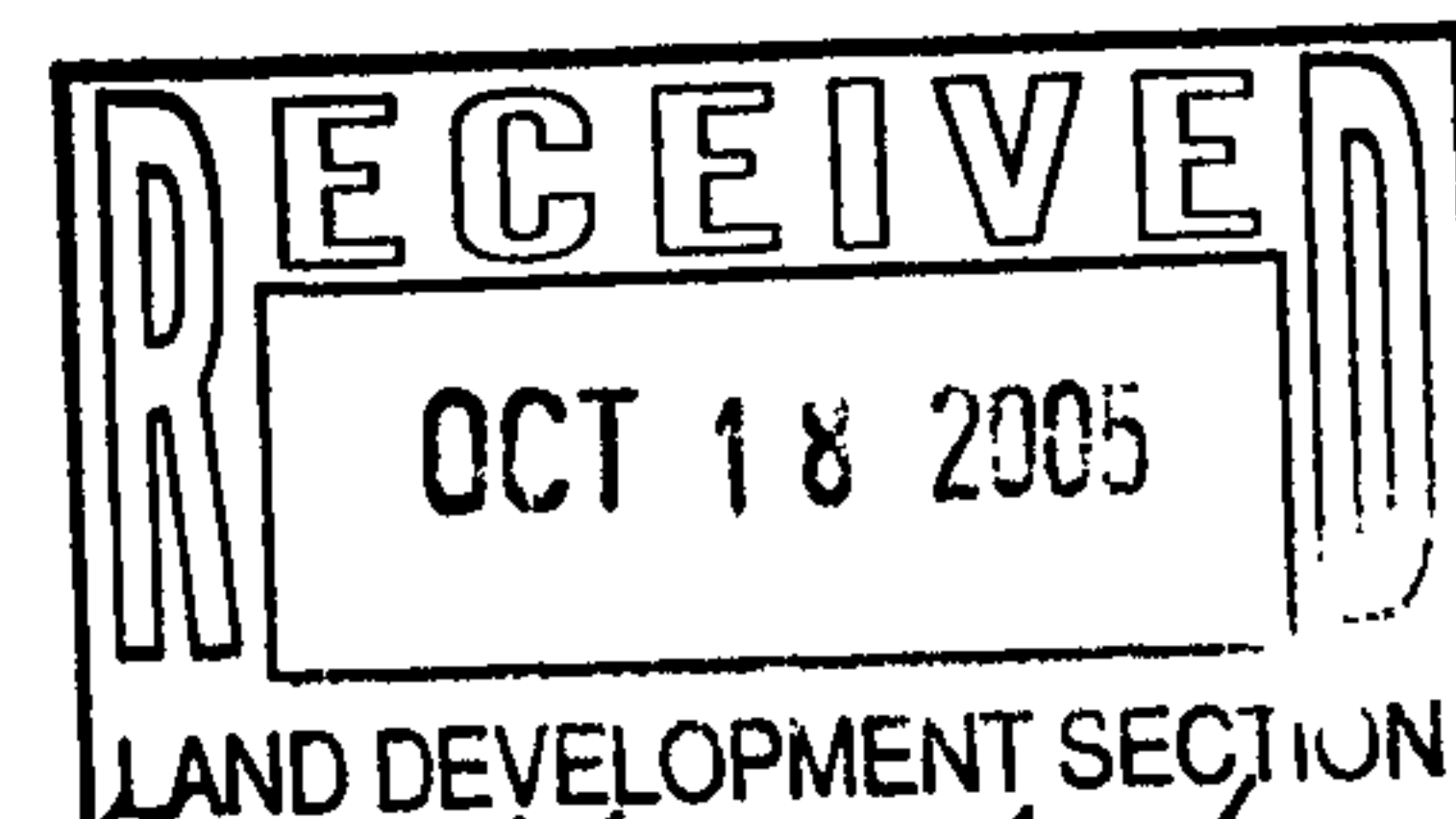
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
- \_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ ENGINEERS CERTIFICATION (TCL)
- \_\_\_\_\_ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- \_\_\_\_\_ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- \_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP.)
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- \_\_\_\_\_ YES
- ☒ NO
- \_\_\_\_\_ COPY PROVIDED



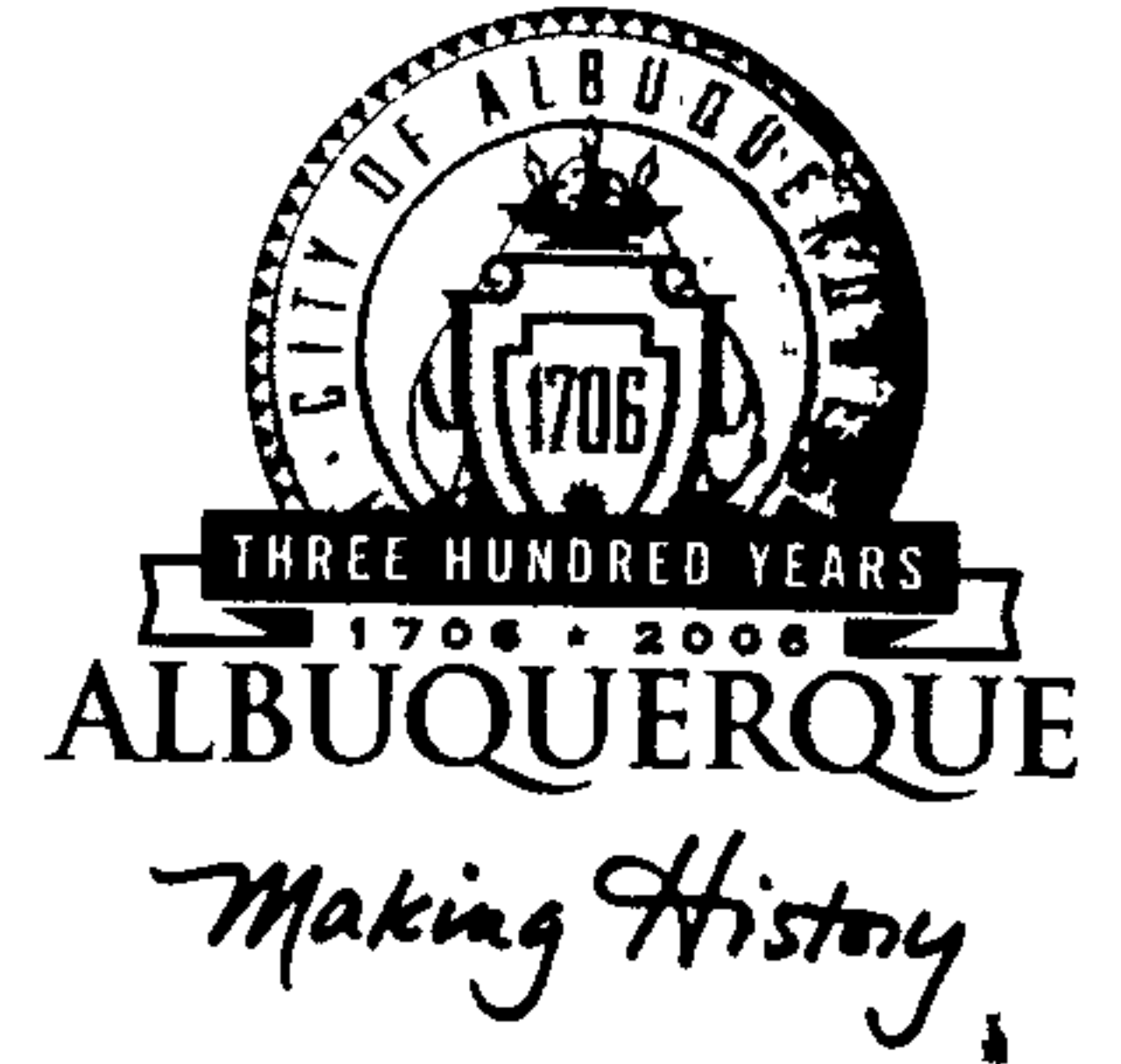
DATE SUBMITTED: 10/6/05 BY: Scott M McGee

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



November 18, 2004

Scott McGee, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: New Mexico Bank and Trust, Grading and Drainage Plan  
Engineer's Stamp dated 11-09-04 (G20-D44)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 11-09-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

C: File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: NEW MEXICO BANK & TRUST ZONE MAP/DRG. FILE #: G-20/D44  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TR. A-3-B SIERRA VISTA SHOPPING CENTER  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Isaacson & Arfman, P.A.  
 ADDRESS: 128 Monroe Street NE  
 CITY, STATE: Albuquerque, NM

CONTACT: SCOTT MCGEE  
 PHONE: (505) 268-8828  
 ZIP CODE: 87108

OWNER: NM BANK & TRUST  
 ADDRESS: 320 GOLD SW  
 CITY, STATE: ABQ NM

CONTACT: GREG LEYENDECKER  
 PHONE: 830.8100  
 ZIP CODE: 87102

ARCHITECT: NCA  
 ADDRESS: 1306 RIO GRANDE BLVD  
 CITY, STATE: ABQ NM

CONTACT: JOHN LAYMAN  
 PHONE: 255-6400  
 ZIP CODE: 87104

SURVEYOR: TYREE SURVEYING  
 ADDRESS: PO BOX 2434  
 CITY, STATE: TIJERAS NM

CONTACT: RON TYREE  
 PHONE: 281-0100  
 ZIP CODE: 87059

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

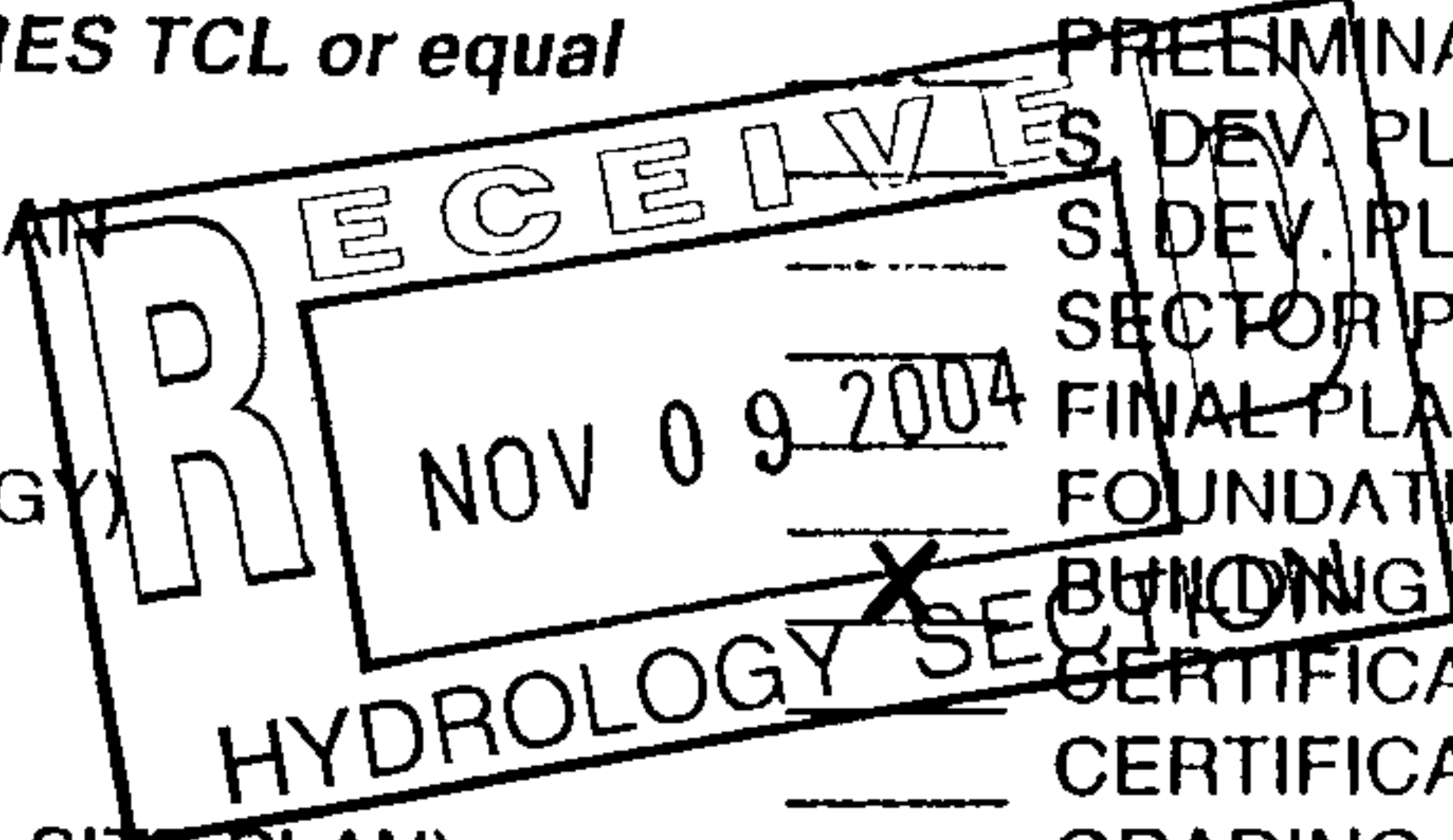
CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
- \_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- \_\_\_\_\_ EROSION CONTROL PLAN
- \_\_\_\_\_ ENGINEER'S CERTIFICATION (HYDROLOGY)
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ ENGINEERS CERTIFICATION (TCL)
- \_\_\_\_\_ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- \_\_\_\_\_ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- \_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM.)
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP.)
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ OTHER (SPECIFY)



RESUBMITTAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

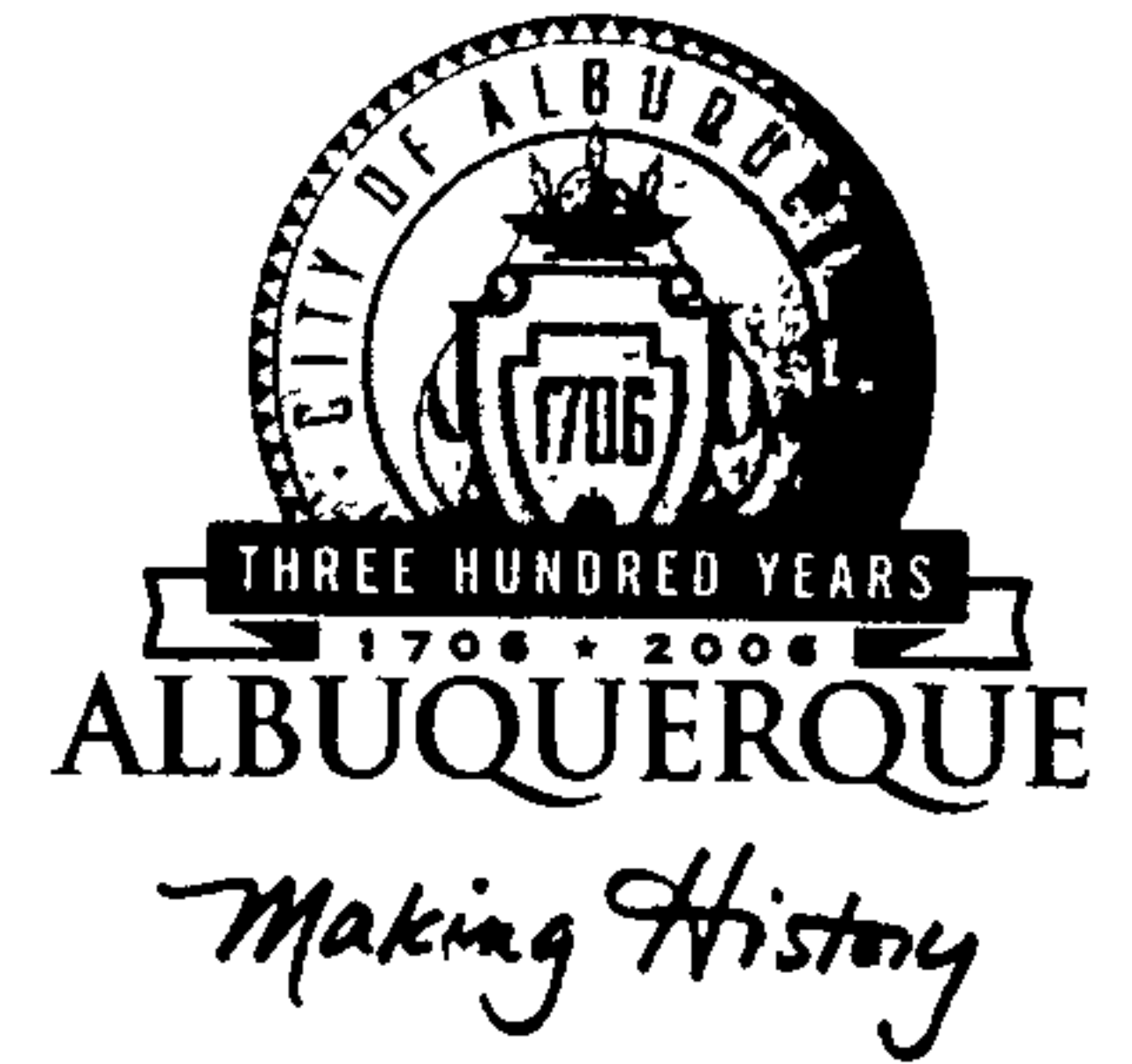
- ☒ YES
- ☒ NO
- \_\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: 11/19/04 BY: Scott M McGee

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



August 19, 2004

Scott McGee, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: New Mexico Bank and Trust, Grading and Drainage Plan  
Engineer's Stamp dated 8-04-04 (G20-D44)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 8-04-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: File



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/28/2003rd)

PROJECT TITLE: NEW MEXICO BANK & TRUST ZONE MAP/DRG. FILE #: G-20/D44  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TR. A-3-B SIERRA VISTA SHOPPING CENTER  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Isaacson & Arfman, P.A.  
ADDRESS: 128 Monroe Street NE  
CITY, STATE: Albuquerque, NM

CONTACT: SCOTT MCGEE  
PHONE: (505) 268-8828  
ZIP CODE: 87108

OWNER: NM BANK & TRUST  
ADDRESS: 320 GOLD SW  
CITY, STATE: ABQ NM

CONTACT: GREG LEYENDECKER  
PHONE: 830.8100  
ZIP CODE: 87102

ARCHITECT: NCA  
ADDRESS: 1306 RIO GRANDE BLVD  
CITY, STATE: ABQ NM

CONTACT: JOHN LAYMAN  
PHONE: 255-6400  
ZIP CODE: 87104

SURVEYOR: TYREE SURVEYING  
ADDRESS: PO BOX 2434  
CITY, STATE: TIJERAS NM

CONTACT: RON TYREE  
PHONE: 281-0100  
ZIP CODE: 87059

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

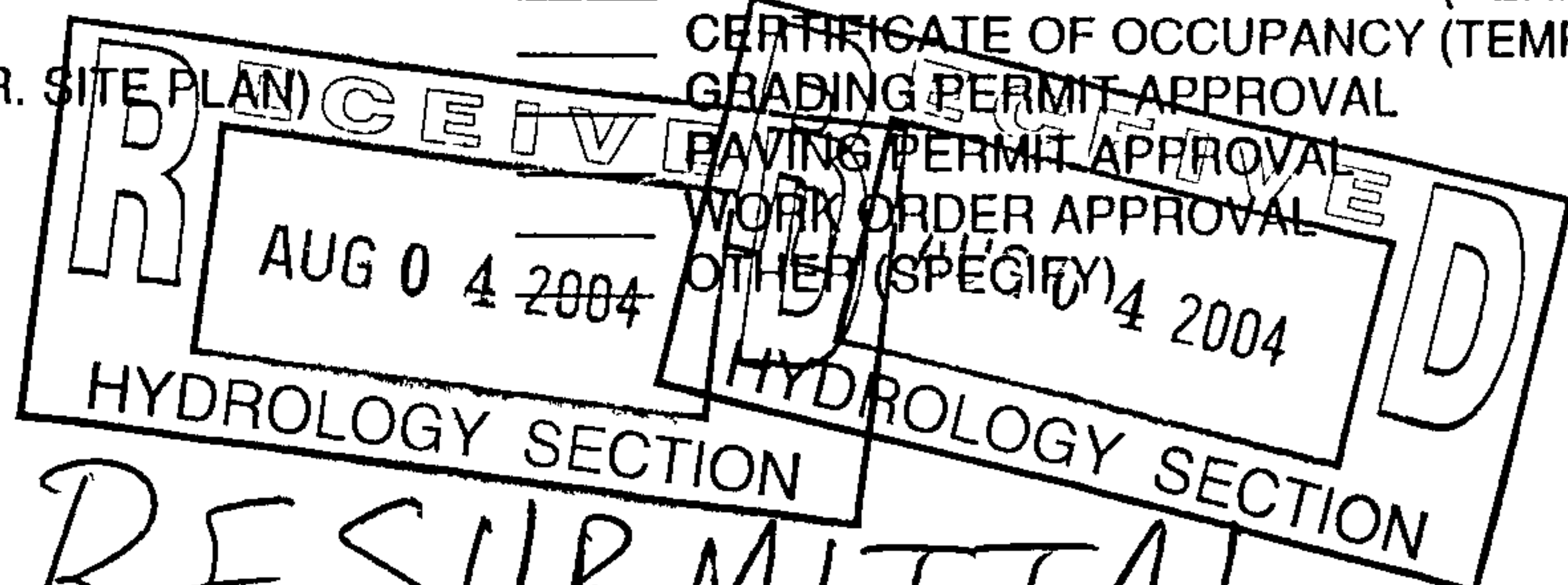
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*  
☒ DRAINAGE PLAN RESUBMITTAL  
☒ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☒ S. DEV. PLAN FOR SUB'D. APPROVAL  
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES  
☒ NO  
☐ COPY PROVIDED



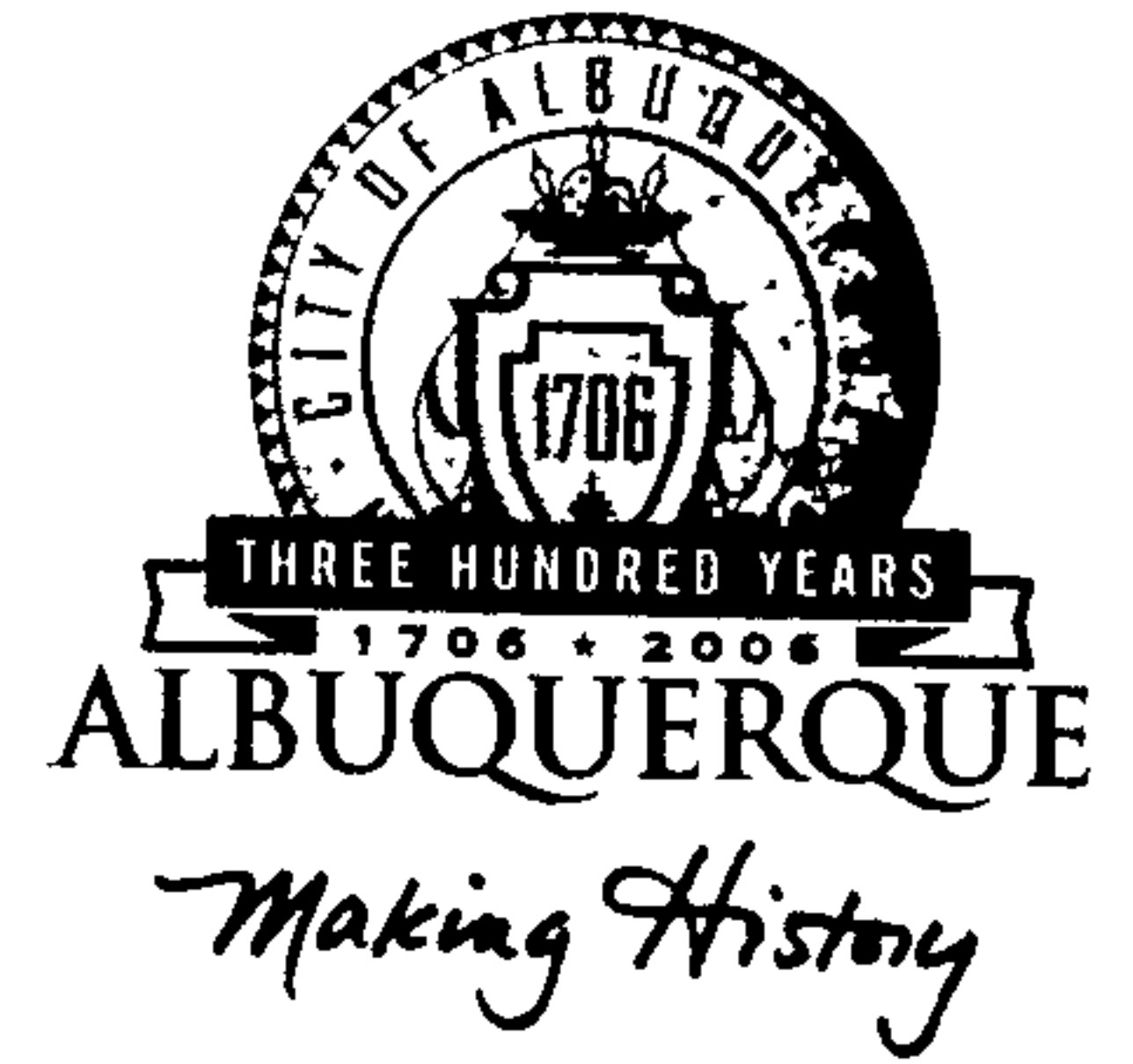
**RESUBMITTAL**

DATE SUBMITTED: 8/4/04 BY: Scott McGee

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



June 14, 2004

Scott McGee, PE  
Isaacson & Arfman  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: New Mexico Bank & Trust Grading and Drainage Plan  
Engineer's Stamp dated 10-29-04 (G20/D44)**

Dear Mr. McGee,

Based upon the information provided in your submittal dated 11-1-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: NEW MEXICO BANK & TRUST ZONE MAP/DRG. FILE #: G-20/D44  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TR. A-3-B SIERRA VISTA SHOPPING CENTER  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Isaacson & Arfman, P.A.  
 ADDRESS: 128 Monroe Street NE  
 CITY, STATE: Albuquerque, NM

CONTACT: SCOTT MCGEE  
 PHONE: (505) 268-8828  
 ZIP CODE: 87108

OWNER: NM BANK & TRUST  
 ADDRESS: 320 GOLD SW  
 CITY, STATE: ABQ NM

CONTACT: GREG LEYENDECKER  
 PHONE: 830.8100  
 ZIP CODE: 87102

ARCHITECT: NCA  
 ADDRESS: 1306 RIO GRANDE BLVD  
 CITY, STATE: ABQ NM

CONTACT: JOHN LAYMAN  
 PHONE: 255-6400  
 ZIP CODE: 87104

SURVEYOR: TYREE SURVEYING  
 ADDRESS: PO BOX 2434  
 CITY, STATE: TIJERAS NM

CONTACT: RON TYREE  
 PHONE: 281-0100  
 ZIP CODE: 87057

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

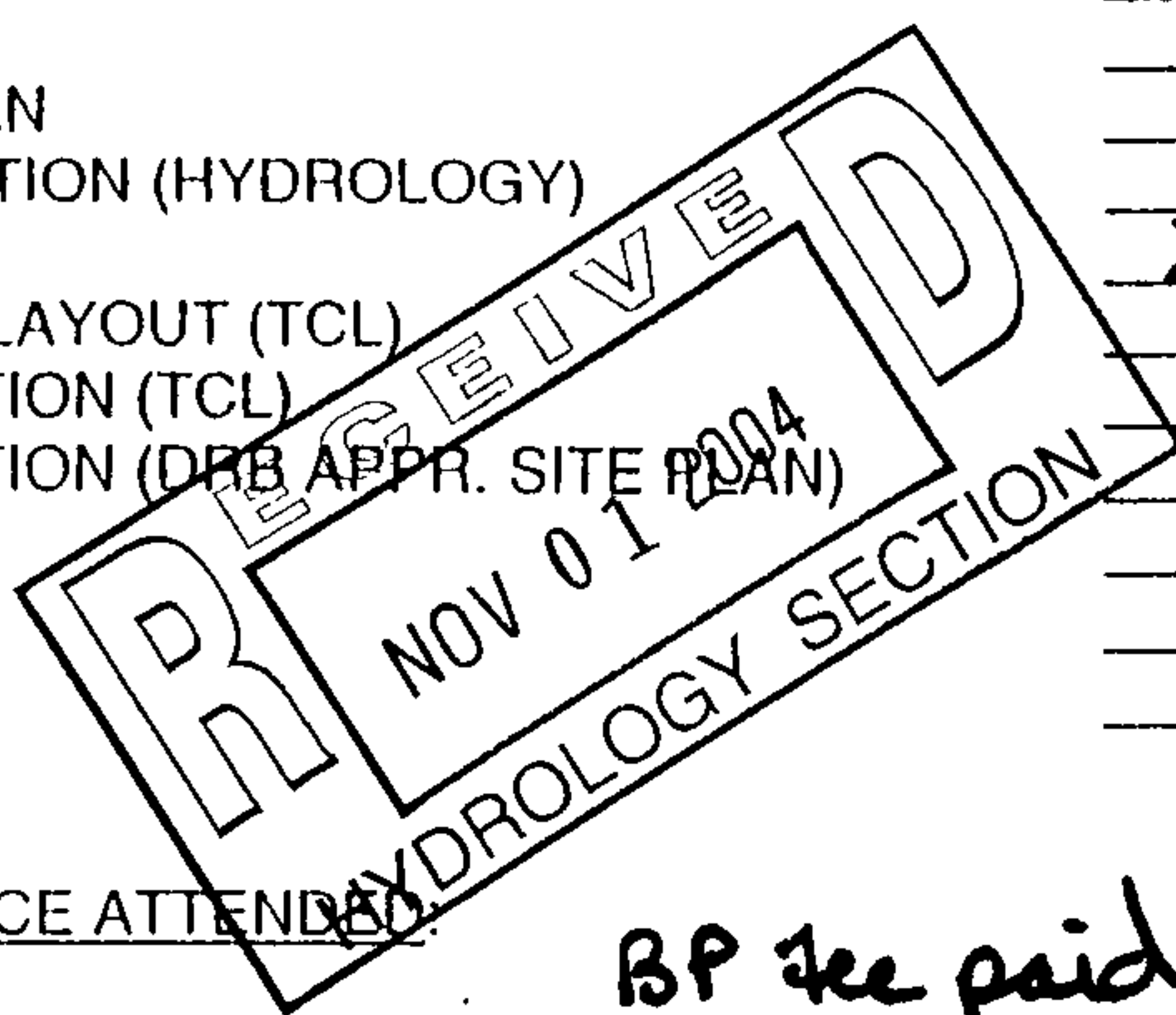
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
- \_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- \_\_\_\_\_ EROSION CONTROL PLAN
- \_\_\_\_\_ ENGINEER'S CERTIFICATION (HYDROLOGY)
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ ENGINEER'S CERTIFICATION (TCL)
- \_\_\_\_\_ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- \_\_\_\_\_ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- \_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM.)
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP.)
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☒ NO
- \_\_\_\_\_ COPY PROVIDED



*BP fee paid -*

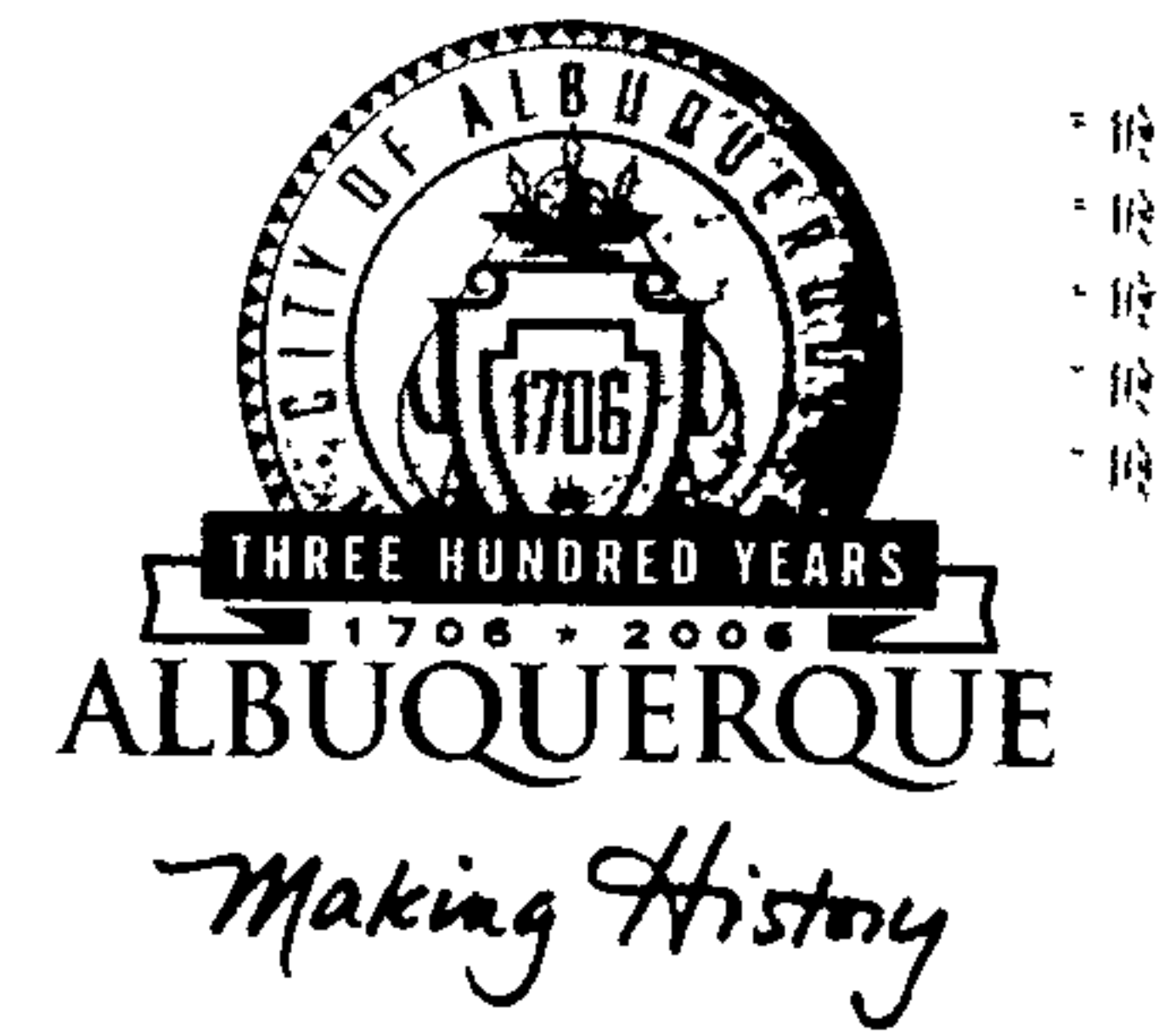
DATE SUBMITTED: 11/1/04 BY: Scott M McGee

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1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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# CITY OF ALBUQUERQUE



July 27, 2004

Scott McGee, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. NE  
Albuquerque, NM 87108

**Re: New Mexico Bank and Trust, Tract A-3-B Sierra Vista Shopping Center,  
Site Development Plan  
Engineer's Stamp dated 6-30-04 (G20-D44)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 6-30-04, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. However, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please include an executive summary on the grading and drainage plan (see the Development Process Manual for guidelines).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: NEW MEXICO BANK & TRUST ZONE MAP/DRG. FILE #: G-20/D044  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TR. A-3-B SIERRA VISTA SHOPPING CENTER  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Isaacson & Arfman, P.A.  
 ADDRESS: 128 Monroe Street NE  
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CONTACT: SCOTT MCGEE  
 PHONE: (505) 268-8828  
 ZIP CODE: 87108

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 ADDRESS: 320 GOLD SW  
 CITY, STATE: ABQ NM

CONTACT: GREG LEYENDECKER  
 PHONE: 830.8100  
 ZIP CODE: 87102

ARCHITECT: NCA  
 ADDRESS: 1306 RIO GRANDE BLVD  
 CITY, STATE: ABQ NM

CONTACT: JOHN LAYMAN  
 PHONE: 255-6400  
 ZIP CODE: 87104

SURVEYOR: TYREE SURVEYING  
 ADDRESS: PO BOX 2434  
 CITY, STATE: TIJERAS NM

CONTACT: RON TYREE  
 PHONE: 281-0100  
 ZIP CODE: 87059

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

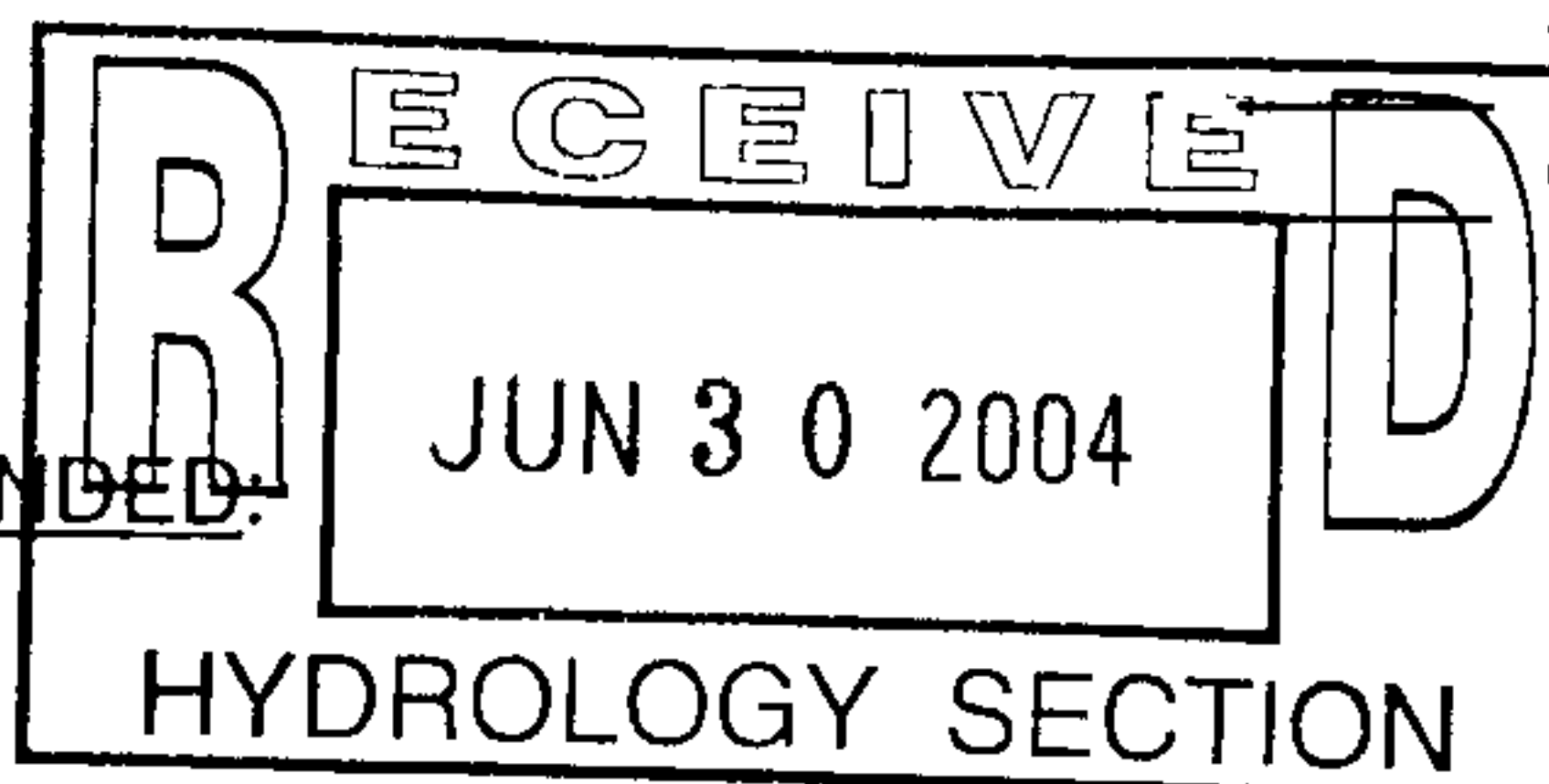
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- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
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- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
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**CHECK TYPE OF APPROVAL SOUGHT:**

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- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☒ YES  
☐ NO  
☐ COPY PROVIDED



*Need \$100.00 Fee  
 6/1/04 Arfman*

DATE SUBMITTED: 6/30/04 BY: Scott McGee

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