

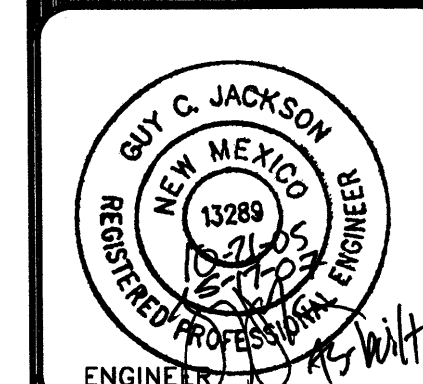
- A. See sheet CG.0 for complete list of general notes and symbol/linetype legend that apply to all sheets.
- B. Surface features associated with underground utilities are shown on paving plans for clarity. See applicable utility plans for construction notes and details.
- C. Contractor shall field verify site for existing conditions (spoils, borrow areas, etc.) prior to bidding earthwork quantities.
- D. Contractor to reference Architectural specifications and soils report for recommendations on building pad earthwork, concrete and asphalt sections.
- E. Contractor to reference C1.1 for site dimensions

The map displays the Sierra Vista Shopping Center area in Montclair, New Jersey. The main thoroughfare is Montclair Avenue, which runs horizontally across the top. To the left, Park Avenue runs vertically. The shopping center itself is a large, rectangular area in the upper right, labeled 'SIERRA VISTA SHOPPING CENTER'. Within this area, there are several smaller buildings and parking lots. To the right of the shopping center is a large, irregularly shaped area labeled 'C-2 (SC) CENTER'. Below the shopping center, there are several smaller commercial areas, including one labeled 'C-2 (SC) CENTER' and another labeled 'C-1 CENTER'. The map also shows several residential areas, including 'ADDM', 'LONA', and 'BCT'. A scale bar at the top indicates distances in feet (0 to 1000) and miles (0 to 1.0). A north arrow is located in the top left corner.

Lots numbered Eleven (11), Twelve (12), Thirteen (13), and Fourteen (14) in Block numbered Twenty-three (23) of the plat of Blocks 13 to 23 inclusive, of THOMAS ADDITION, an addition to the City of Albuquerque, New Mexico, as the same are shown and designated on the plat of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico on June 12, 1952 in Vol. C2, folio 98.

ACS BENCHMARK 12-F20-A, THE PUBLISHED ELEVATION OF WHICH IS 5524.981 , AND IS LOCATED IN THE CENTER MEDIAN OF MONTGOMERY BOULEVARD NE AT THE INTERSECTION WITH DONA MARGUERET AVENUE NE.

REV.	DESCRIPTION	DATE



ARCHITECT

RFB# 2005.03

DATE 9-6-05

GRADING PLAN

DRAWING NO.

C2.0



INDICATED BY THE AS-BUILT INFORMATION SHOWN HEREON, THIS PROJECT APPEARS TO HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN. HOWEVER, THE HILTON AVENUE LOFTS HOME OWNERS ASSOCIATION WILL COMPLETE FINAL LANDSCAPING CONSTRUCTION TO ADDRESS THE FOLLOWING ITEMS:

AREA A) OBTAIN & IMPLEMENT ADDITIONAL RECOMMENDATIONS FROM VINYARD AND ASSOCIATES TO ACCOMMODATE THE LANDSCAPING & IRRIGATION IN THE LANDSCAPED AREA ADJACENT TO AND NORTH OF BUILDING 8, OR REMOVE THE PLANT MATERIAL, IRRIGATION AND REPAVE THE PLANTER AREA.

AREA B) UPON INSTALLATION OF LANDSCAPING: STEEPEN THE SWALE BETWEEN LOTS 5/7 & 6 FROM THE MID POINT OF THE EAST PROPERTY LINE - SOUTH TO THE HILTON AVE. RIGHT-OF-WAY.

AREA C) THE NEWLY CONSTRUCTED CONCRETE SIDEWALK AT THE NORTH SIDE OF LOT 5 SHALL HAVE AN INVERTED SWALE CONSTRUCTED TO CONVEY SURFACE FLOWS TO THE "NOTCHED" AREA OF THE ADJACENT CONCRETE RUNDOWN. NO IRRIGATION OR PLANT MATERIAL SHOULD BE INSTALLED IN THIS AREA NORTH OF LOT 5 AND NORTHEAST OF LOT 4.

AREA D) UPON LANDSCAPING, STEEPEN THE SWALE ALONG THE LOWER FACE OF THE PLANTER WALL EAST OF THE BUILDING ON LOT 6 TO CONVEY SURFACE FLOWS AWAY FROM THE STRUCTURE AND THROUGH THE OPENING IN THE GARDEN WALL TO THE SOUTH.

LANDSCAPING AT ROOF DRAINS AND PLANTERS) ALL ROOF DRAINS AND PLANTER AREAS MUST COMPLY WITH WATER PROOFING AND LIMITED IRRIGATION RECOMMENDATIONS PER THE VINYARD & ASSOCIATES SOILS REPORT -DATED 9/9/05 OR OBTAIN & IMPLEMENT ADDITIONAL RECOMMENDATIONS FROM VINYARD AND ASSOCIATES.

IT IS BASED UPON THE EVALUATION OF AS-CONSTRUCTED CONDITIONS THAT ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO) IS HEREBY RECOMMENDED. COLLECTION OF THE AS-BUILT INFORMATION WAS PERFORMED BY SURVEYS SOUTHWEST ON 1/17/07, 4/12/07, & 4/13/07. THIS INFORMATION IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS OR EVALUATE ADA ACCESSIBILITY ISSUES OR COMPLIANCE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

NOTICE TO CONTRACTORS

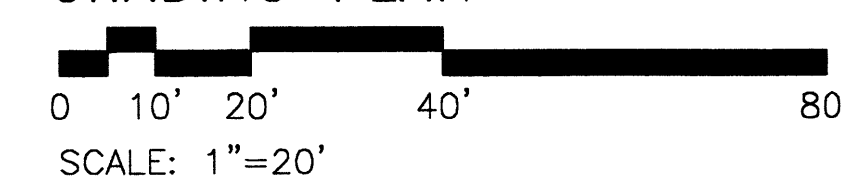
1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985, UPDATE 7
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET CLASSIFICATION USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

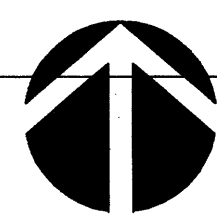
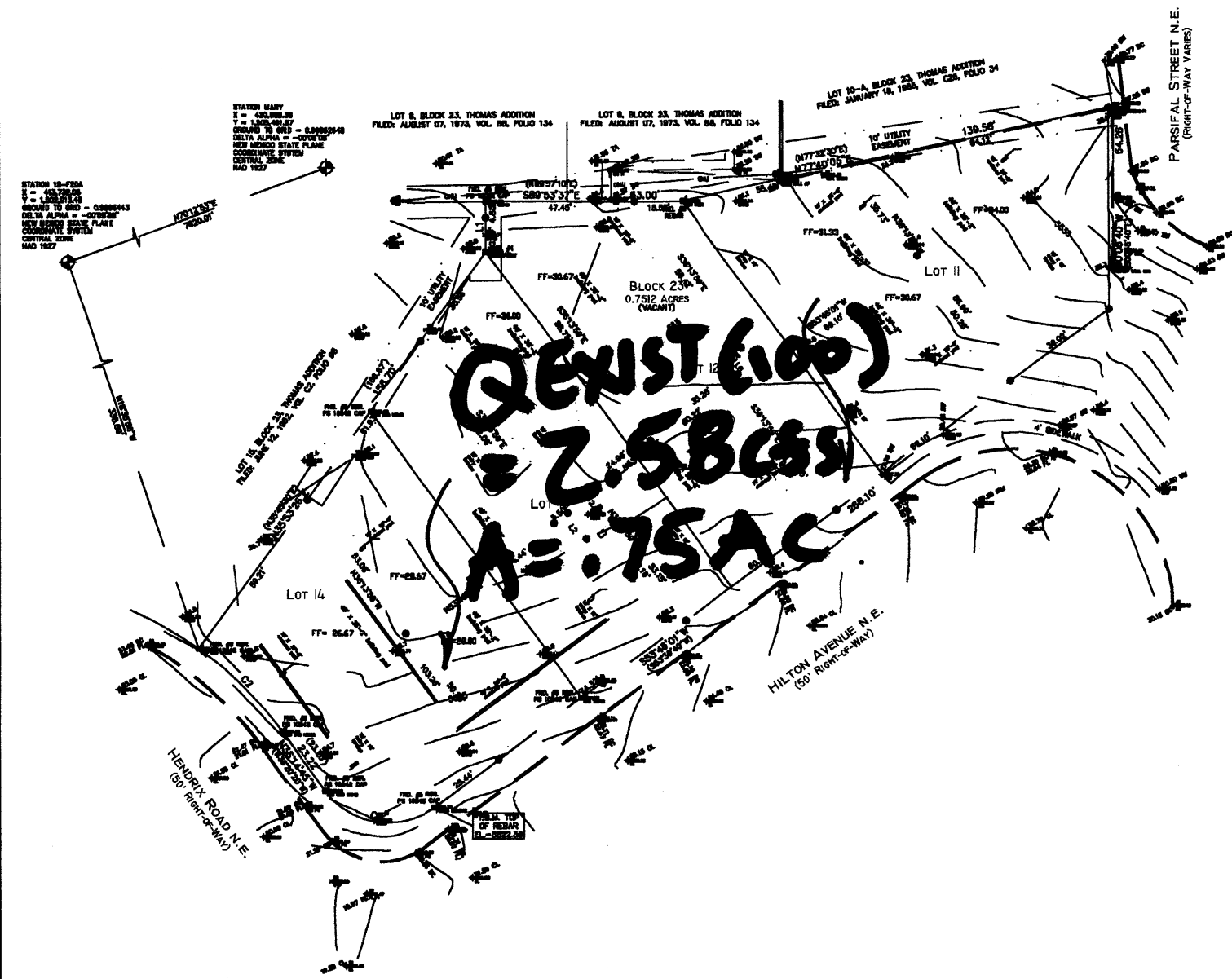
LEGEND:

TC=25.00	Top of Curb Elevation
FL=24.50	Flowline Elevation
TOW=24.50	Top of Wall Elevation
BOW=24.50	Bottom of Wall Elevation
TOC=24.50	Top of Concrete Elevation
TSW=24.50	Top of Sidewalk Elevation

NOTE: RETAINING WALLS ARE PART OF THE BUILDING STEM WALLS AND WILL NOT EXCEED 4' IN HEIGHT.

GRADING PLAN





EXISTING DRAINAGE PLAN

LEGEND:

—→— DIRECTION OF FLOW
--- EXISTING BASIN BOUNDARY

DRAINAGE PLAN

EXECUTIVE SUMMARY

THIS PROJECT, LOCATED AT THE NORTHEAST CORNER OF THE HENDRIX RD. NE & HILTON AVE. NE INTERSECTION, WILL CONSIST OF 9 SINGLE FAMILY UNITS ON APPROXIMATELY .75 ACRES. THE SITE IS CURRENTLY UNDEVELOPED, BUT IS WITHIN A LARGELY DEVELOPED INFILL AREA. THE PURPOSE OF THIS DRAINAGE PLAN IS TO OBTAIN BUILDING PERMIT AND FINAL PLAT APPROVAL.

PROJECT DESCRIPTION

AS SHOWN ON VICINITY MAP G-20, THE SITE IS LOCATED AT THE NORTHEAST CORNER OF THE HENDRIX RD. NE & HILTON AVE. NE INTERSECTION. THE BOUNDARY AND TOPOGRAPHIC SURVEY WAS PREPARED BY SURVEY'S SOUTHWEST, DATED APRIL 2005. THE LEGAL DESCRIPTION IS SHOWN ON THIS SHEET. AS SHOWN BY PANEL 035001C 0143E OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED NOVEMBER 29, 2003, THIS SITE LIES WITHIN DESIGNATED FLOOD HAZARD ZONE X. ZONE X IS CHARACTERIZED BY AREAS WITHIN THE 500-YR FLOOD, AREAS OF 100-YR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 100-YR FLOOD.

EXISTING CONDITIONS AND DRAINAGE PATTERNS

THE SITE APPEARS TO MOSTLY DRAIN FROM THE NORTHEAST TO THE SOUTHWEST INTO HILTON AVE/HENDRIX RD. INTERSECTION WHICH CONTINUES WEST TO THE EXISTING STREET STORM DRAIN SYSTEM IN HENDRIX RD. ACCORDING TO THE USCS - SOIL SURVEY FOR BERNALILLO COUNTY, THE SITE SOILS ARE EIC (EMBUDO) WHICH ARE CLASSIFIED AS SOILS WITH SLIGHT CONSOLIDATION POTENTIAL AND A HYDROLOGIC SOIL GROUP 'B'. MARTIN VINYARD & ASSOCIATES HAS PROVIDED A SOILS REPORT FOR THIS PROJECT. THE CONTRACTOR/OWNER HAS OBTAINED THIS REPORT FOR THE CONSTRUCTION OF THE SITE.

THE SITE CONSISTS OF ONE ONSITE BASIN WITH THE COMBINED AREA OF 0.75 ACRE. DUE TO THE EXISTING TOPOGRAPHIC FEATURES AND EXISTING CURB AND GUTTER LOCATED IN HENDRIX RD, HILTON AVE AND PARSIFAL ST. TO THE NORTHEAST, NO OFFSITE FLOWS APPEAR TO ENTER THE SITE. ALSO, THERE IS AN EXISTING BLOCK WALL ON THE NORTH PROPERTY LINE THAT RESTRICTS OFFSITE FLOWS FROM ENTERING THE SITE. THE TOTAL HISTORIC UNDEVELOPED ON-SITE 100YR-6HR RUNOFF FROM THE SITE IS 2.58 CFS.

DEVELOPED CONDITIONS AND DRAINAGE PATTERNS

THE PROPOSED SITE WILL BE SPLIT INTO THREE (3) SUBBASINS. ON MAY 6, 2005, GUY JACKSON & ASSOCIATES MET WITH COA HYDROLOGY OF WHICH IS WAS DETERMINED THAT THE SMALL SITE WAS AN INFILL AREA THAT WAS ALLOWED FREE DISCHARGE INTO THE HENDRIX RD. AND HILTON AVE. RIGHT-OF-WAY. THE TOTAL EXISTING - HISTORIC 100YR-6 HOUR EVENT DISCHARGES APPROXIMATELY 2.58

CFS INTO THE RIGHT-OF-WAYS DESCRIBED ABOVE.

PROPOSED BASIN A WILL DRAIN 0.094AC WITH AN ANTICIPATED FLOWRATE OF 0.42 CFS. AT THE REAR (NORTH END) OF LOTS 1, 2, 4 & 5. THIS DISCHARGE WILL ENTER THE HENDRIX RD. RIGHT OF WAY VIA TWO 24" COA SIDEWALK CULVERTS. THESE FLOWS WILL THEN CONTINUE EAST INTO HILTON AVE. RIGHT-OF-WAY. THE EXISTING STORM DRAIN SYSTEM BETWEEN ERBEE AND MOON NE. PROPOSED BASIN B WILL CONSIST OF 0.373AC WITH A DISCHARGE RATE OF 1.65 CFS. AND DRAIN SOUTH INTO HILTON AVE. RIGHT-OF-WAY, WHICH THEN COMBINE WITH FLOWS FROM BASIN A AND CONTINUE WEST IN HILTON AVE WHERE IT DRAINS INTO THE EXISTING STORM DRAIN BETWEEN ERBEE AND MOON. PROPOSED BASIN C HAS A CONTRIBUTING AREA OF 0.284ACRE AND A DISCHARGE RATE OF 1.25 CFS WHICH WILL CONTINUE TO FLOW SOUTH INTO HILTON AVE. RIGHT-OF-WAY WHERE IT JOINS BASIN A & B AND DRAINS WEST TO THE STORM DRAIN SYSTEM BETWEEN ERBEE AND MOON.

CALCULATIONS

THE CALCULATIONS, WHICH ARE ATTACHED, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

CONCLUSION

THE NET DEVELOPED FLOWS FROM THE PROPOSED THREE BASINS (0.42CFS + 1.65CFS + 1.25CFS = 3.30 CFS FOR A TOTAL DIFFERENCE FROM HISTORIC FLOWS EQUAL TO 0.72 CFS), WHICH IS CONSIDERED NOMINAL FOR THIS SMALL INFILL DEVELOPMENT.

LEGAL DESCRIPTION

Lots numbered Eleven (11), Twelve (12), Thirteen (13), and Fourteen (14) in Block numbered Twenty-three (23) of the plat of Blocks 13 to 23 inclusive, of THOMAS ADDITION, an addition to the City of Albuquerque, New Mexico, as the same are shown and designated on the plat of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico on June 12, 1952 in Vol. C2, folio 98.

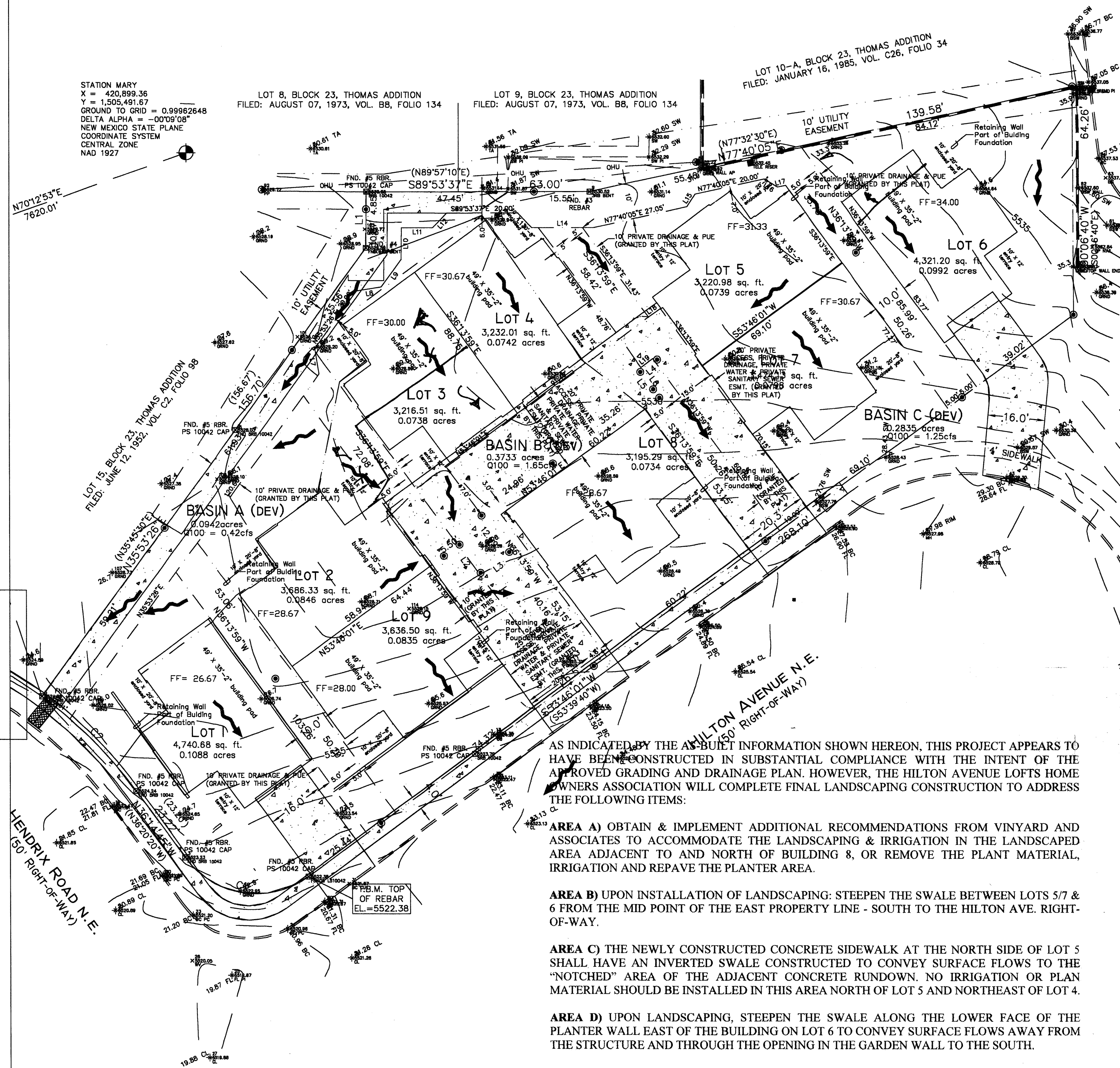
BENCH MARK

ACS BENCHMARK 12-F20-A, THE PUBLISHED ELEVATION OF WHICH IS 5524.981, AND IS LOCATED IN THE CENTER MEDIAN OF MONTGOMERY BOULEVARD NE AT THE INTERSECTION WITH DONA MARGUERET AVENUE NE.

LEGEND:

—→— DIRECTION OF FLOW
--- PROPOSED BASIN BOUNDARY
--- WATER BLOCK
--- FLOWLINE

IC=25.00 Top of Curb Elevation
FL=24.50 Flowing Elevation
TOW=24.50 Top of Wall Elevation
BOW=24.50 Bottom of Wall Elevation
TOC=24.50 Top of Concrete Elevation
TSW=24.50 Top of Sidewalk Elevation



AS INDICATED BY THE AS-BUILT INFORMATION SHOWN HEREON, THIS PROJECT APPEARS TO HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN. HOWEVER, THE HILTON AVENUE LOFTS HOME OWNERS ASSOCIATION WILL COMPLETE FINAL LANDSCAPING CONSTRUCTION TO ADDRESS THE FOLLOWING ITEMS:

AREA A) OBTAIN & IMPLEMENT ADDITIONAL RECOMMENDATIONS FROM VINYARD AND ASSOCIATES TO ACCOMMODATE THE LANDSCAPING & IRRIGATION IN THE LANDSCAPED AREA ADJACENT TO AND NORTH OF BUILDING 8, OR REMOVE THE PLANT MATERIAL, IRRIGATION AND REPAVE THE PLANTER AREA.

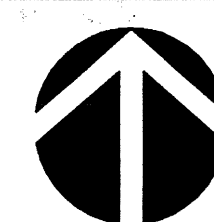
AREA B) UPON INSTALLATION OF LANDSCAPING: STEEPEN THE SWALE BETWEEN LOTS 5/7 & 6 FROM THE MID POINT OF THE EAST PROPERTY LINE - SOUTH TO THE HILTON AVE. RIGHT-OF-WAY.

AREA C) THE NEWLY CONSTRUCTED CONCRETE SIDEWALK AT THE NORTH SIDE OF LOT 5 SHALL HAVE AN INVERTED SWALE CONSTRUCTED TO CONVEY SURFACE FLOWS TO THE "NOTCHED" AREA OF THE ADJACENT CONCRETE RUNDOWN. NO IRRIGATION OR PLANT MATERIAL SHOULD BE INSTALLED IN THIS AREA NORTH OF LOT 5 AND NORTHEAST OF LOT 4.

AREA D) UPON LANDSCAPING, STEEPEN THE SWALE ALONG THE LOWER FACE OF THE PLANTER WALL EAST OF THE BUILDING ON LOT 6 TO CONVEY SURFACE FLOWS AWAY FROM THE STRUCTURE AND THROUGH THE OPENING IN THE GARDEN WALL TO THE SOUTH.

LANDSCAPING AT ROOF DRAINS AND PLANTERS) ALL ROOF DRAINS AND PLANTER AREAS MUST COMPLY WITH WATER PROOFING AND LIMITED IRRIGATION RECOMMENDATIONS PER THE VINYARD & ASSOCIATES SOILS REPORT - DATED 9/9/05 OR OBTAIN & IMPLEMENT ADDITIONAL RECOMMENDATIONS FROM VINYARD AND ASSOCIATES.

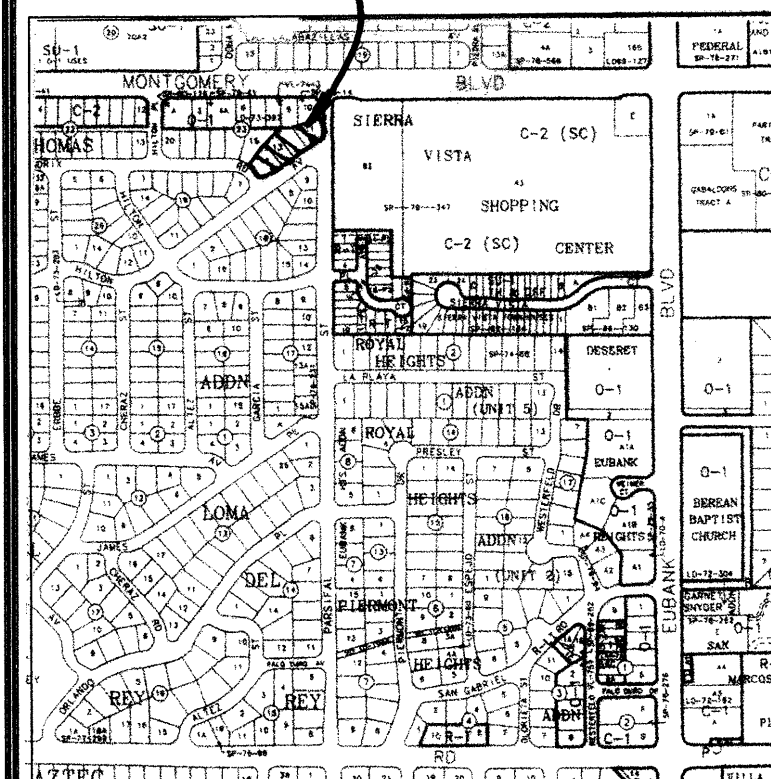
IT IS BASED UPON THIS EVALUATION OF AS-CONSTRUCTED CONDITIONS THAT ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO) IS HEREBY RECOMMENDED. COLLECTION OF THE AS-BUILT INFORMATION WAS PERFORMED BY SURVEY'S SOUTHWEST ON 1/17/07, 4/12/07 & 4/13/07. THIS INFORMATION IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS OR EVALUATE ADA ACCESSIBILITY ISSUES OR COMPLIANCE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



DRAINAGE PLAN

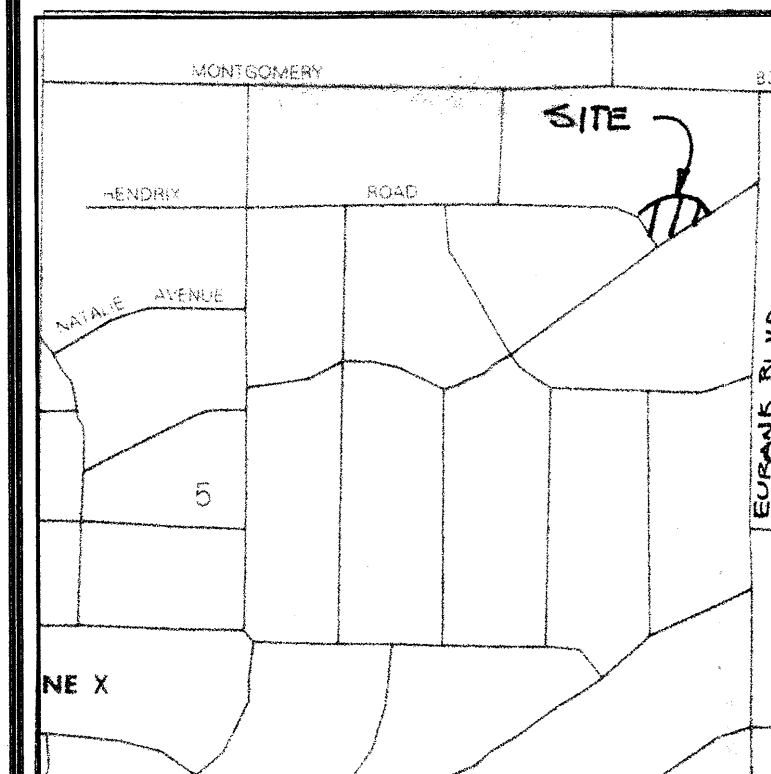
SCALE: 1"=20'

PROJECT SITE



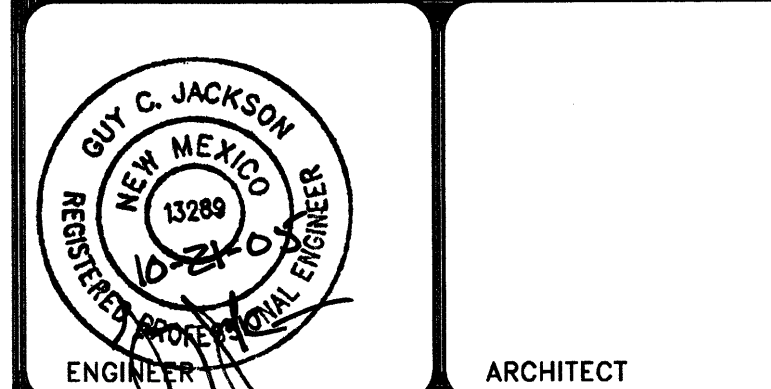
VICINITY MAP
PANEL C-20

PROJECT SITE



F.I.R.M.
PANEL 035001C 0143E
N.T.S.

REV.	DESCRIPTION	DATE



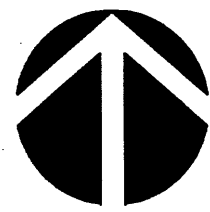
HILTON AVE. LOFTS

RFB# 2005.03 DATE 10-21-05

DRAINAGE PLAN

DRAWING NO.

C2.1



NOTE: RETAINING WALLS ARE PART OF THE BUILDING STEM WALLS AND WILL NOT EXCEED 4' IN HEIGHT.

- A. See sheet CG.O for complete list of general notes and symbol/insetype legend that apply to all sheets.
- B. Surface features associated with underground utilities are shown on paving plans for clarity. See applicable utility plans for construction notes and details.
- C. Contractor shall field verify site for existing conditions (spoils, borrow areas, etc.) prior to bidding earthwork quantities.
- D. Contractor to reference Architectural specifications and soils report for recommendations on building pad earthwork, concrete and asphalt sections.
- E. Contractor to reference C1.1 for site dimensions.
- F. Contractor to follow recommendations of Geotechnical Report prepared by Vinyard & Associates (dated 8/9/05) for all earthwork operations. Contractor to contact Vinyard & Associates for acceptable compaction methods for all backfill and compaction operations when earthwork operations abuts neighboring structures.



RECEIVED
DEC 26 2006
HYDROLOGY SECTION

TITLE:	GRADING PLAN - FOR INFORMATION ONLY HILTON AVE. LOFTS
--------	--

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF	
770681	G-20	C4		

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES					
	NO.	BY	DATE	ACS BENCHMARK 12-F20-A.	CONTRACTOR	DATE	
		SURVEY'S SW	5/05	ELEVATION = 5524.981, LOCATED	INSPECTOR'S SIGNED BY	DATE	
				IN THE CENTER MEDIAN OF	INSPECTOR'S FIELD VERIFICATION BY	DATE	
				MONTGOMERY BLVD. NE AND DONA	CONTRACTOR'S CORRECTED BY	DATE	
				MARGUERET AVE. NE.	MICRO-FILM INFORMATION		
					RECORDED BY	DATE	
					NO.		

DESIGNED BY GJA

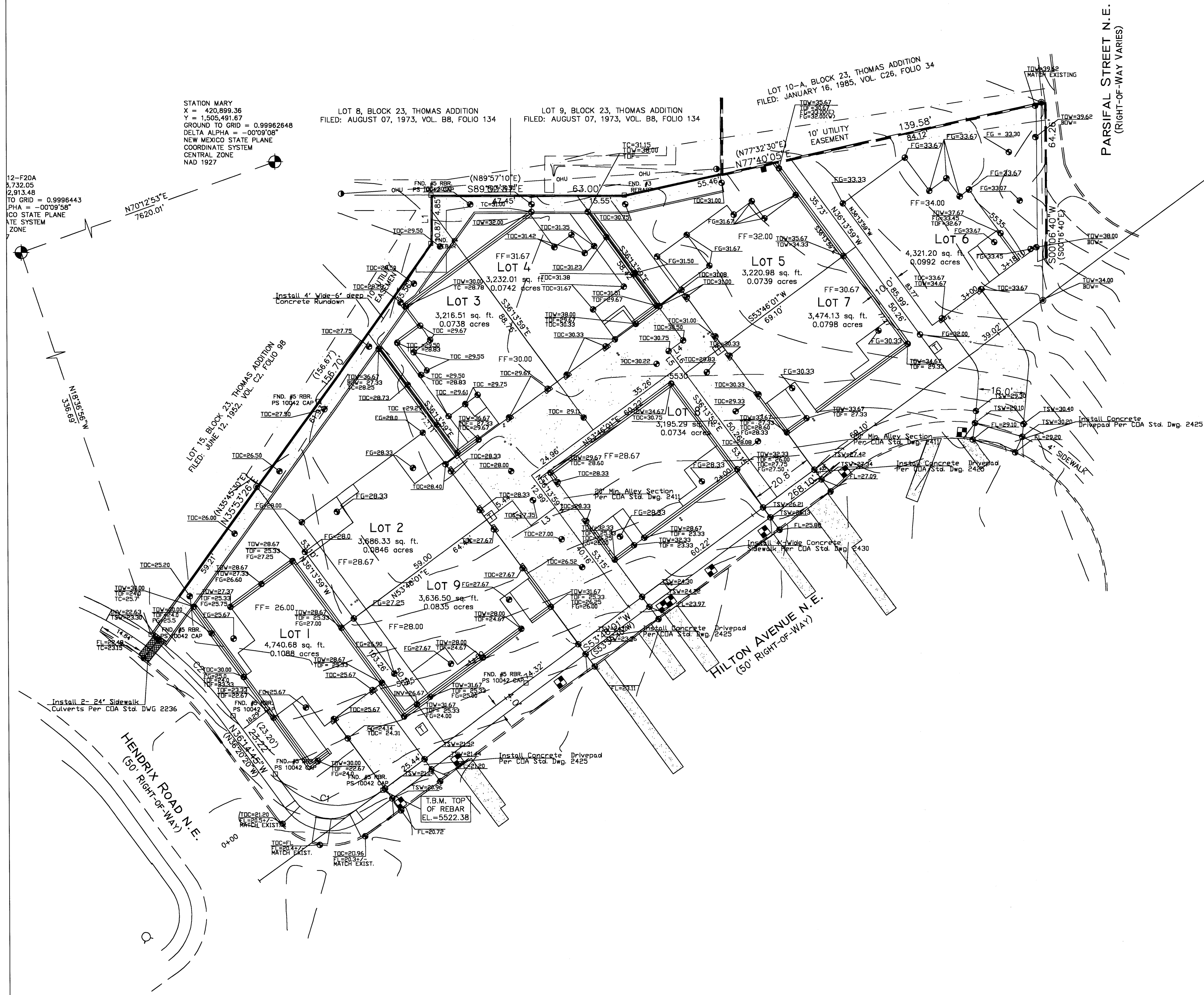
DRAWN BY GJA

DATE 12-05

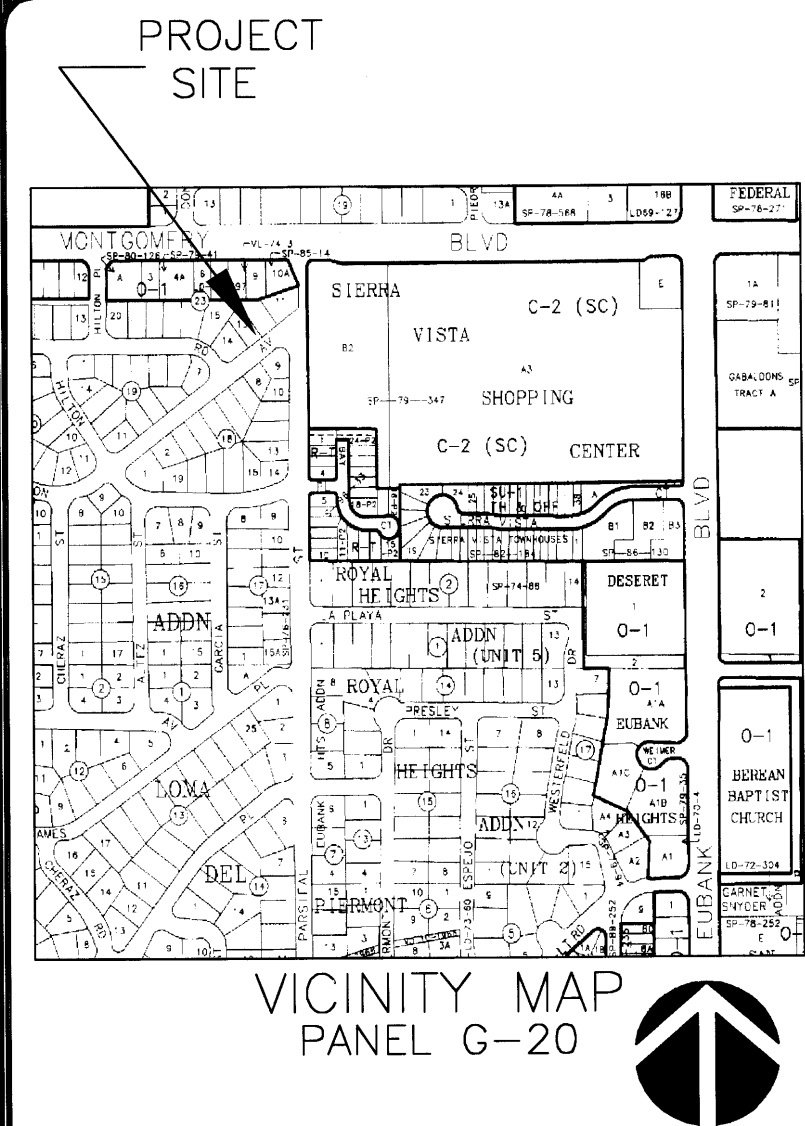
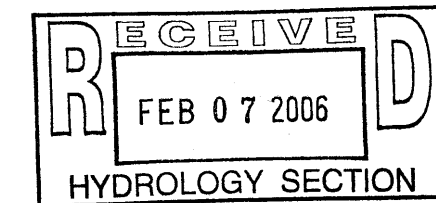
DATE 12-05

12-F20A
9,732.05
12,913.48
TO GRID = 0.9996443
PHA = -0009'58"
CO STATE PLANE
TE SYSTEM
ZONE

STATION MARY
X = 420,889.36
Y = 1,505,491.67
GROUND TO GRID = 0.99962848
DELTA ALPHA = -0009'08"
NEW MEXICO STATE PLANE
COORDINATE SYSTEM
CENTRAL ZONE
NAD 1927



- GENERAL NOTES:
- A. See sheet CG.0 for complete list of general notes and symbol/linetype legend that apply to all sheets.
 - B. Surface features associated with underground utilities are shown on paving plans for clarity. See applicable utility plans for construction notes and details.
 - C. Contractor shall field verify site for existing conditions (spoils, borrow areas, etc.) prior to bidding earthwork quantities.
 - D. Contractor to reference Architectural specifications and soils report for recommendations on building pad earthwork, concrete and asphalt sections.
 - E. Contractor to reference C1.1 for site dimensions.



LEGAL DESCRIPTION

Lots numbered Eleven (11), Twelve (12), Thirteen (13), and Fourteen (14) in Block numbered Twenty-three (23) of the plat of Blocks 13 to 23 Inclusive, of THOMAS ADDITION, an addition to the City of Albuquerque, New Mexico, as the same are shown and designated on the plat of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico on June 12, 1952 in Vol. C2, folio 98.

BENCH MARK

ACS BENCHMARK 12-F20-A, THE PUBLISHED ELEVATION OF WHICH IS 5524.981, AND IS LOCATED IN THE CENTER MEDIAN OF MONTGOMERY BOULEVARD NE AT THE INTERSECTION WITH DONA MARGUERET AVENUE NE.

APPROVALS	NAME	DATE
INSPECTOR		

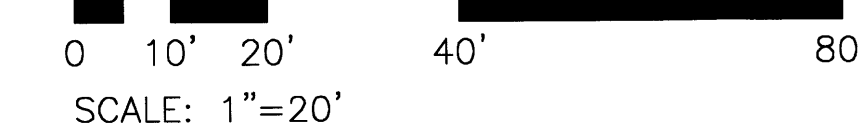
- NOTICE TO CONTRACTORS
1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985, UPDATE 7
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET CLASSIFICATION USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND:

- TC=25.00 Top of Curb Elevation
- FL=24.50 Flowline Elevation
- TOW=24.50 Top of Wall Elevation
- BOW=24.50 Bottom of Wall Elevation
- TOC=24.50 Top of Concrete Elevation
- TSW=24.50 Top of Sidewalk Elevation

NOTE: RETAINING WALLS ARE PART OF THE BUILDING STEM WALLS AND WILL NOT EXCEED 4' IN HEIGHT.

GRADING PLAN



REV.	DESCRIPTION	DATE

ENGINEER	ARCHITECT

HILTON AVE.
LOFTS

RFB# 2005.03 DATE 9-6-05

GRADING PLAN

DRAWING NO.
C2.0

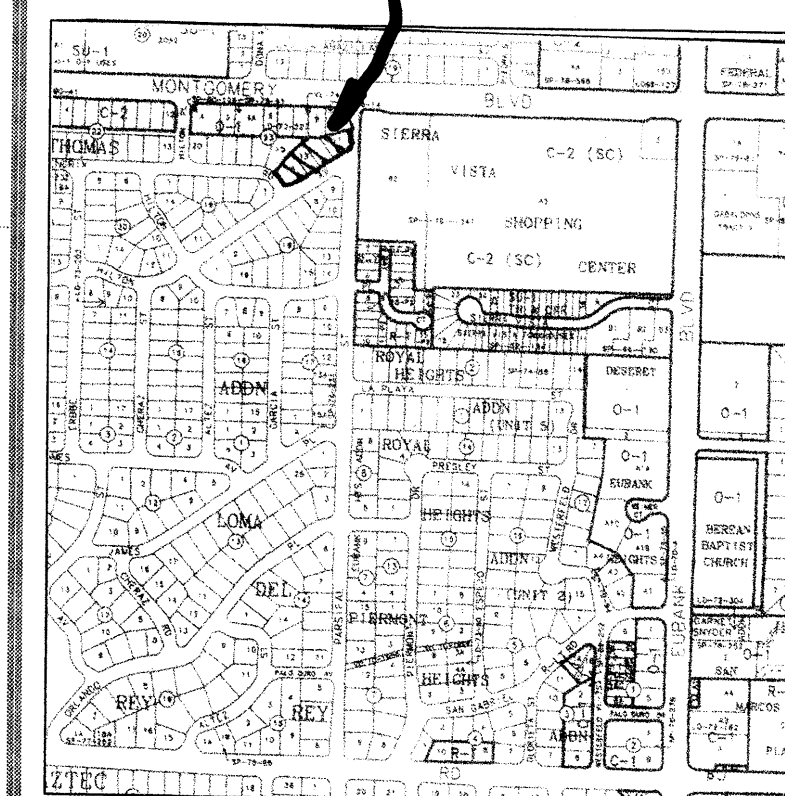
C2.1



GENERAL NOTES:

- See sheet C2.0 for complete list of general notes and symbol/linetype legend that apply to all sheets.
- Surface features associated with underground utilities are shown on paving plans for clarity. See applicable utility plans for construction notes and details.
- Contractor shall field verify site for existing conditions (spoils, borrow areas, etc.) prior to bidding earthwork quantities.
- Contractor to reference Architectural specifications and soils report for recommendations on building pad earthwork, concrete and asphalt sections.

PROJECT SITE



VICINITY MAP PANEL G-20



LEGAL DESCRIPTION

Lots numbered Eleven (11), Twelve (12), Thirteen (13), and Fourteen (14) in Block numbered Twenty-three (23) of the plat of Blocks 13 to 23 Inclusive, of THOMAS ADDITION, on addition to the City of Albuquerque, New Mexico, as the same are shown and designated on the plat of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico on June 12, 1952 in Vol. C2, folio 98.

BENCH MARK

ACS BENCHMARK 12-F20-A, THE PUBLISHED ELEVATION OF WHICH IS 5524.981, AND IS LOCATED IN THE CENTER MEDIAN OF MONTGOMERY BOULEVARE NE AT THE INTERSECTION WITH DONA MARGUERIT AVENUE NE.

APPROVALS	NAME	DATE
INSPECTOR		

NOTICE TO CONTRACTORS

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985, UPDATE 7
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET CLASSIFICATION USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

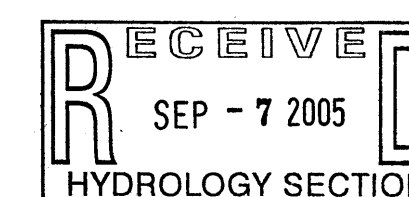
LEGEND:

- DIRECTION OF FLOW
- PROPOSED BASIN BOUNDARY
- TC=25.00 Top of Curb Elevation
- FL=24.50 Flowline Elevation
- TOW=24.50 Top of Wall Elevation
- BOW=24.50 Bottom of Wall Elevation
- TOC=24.50 Top of Concrete Elevation
- TSW=24.50 Top of Sidewalk Elevation

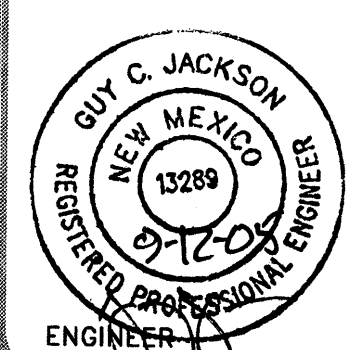
NOTE: RETAINING WALLS ARE PART OF THE BUILDING STEM WALLS AND WILL NOT EXCEED 4' IN HEIGHT.

GRADING PLAN

0 10' 20' 40' 80'
SCALE: 1"=20'



REV.	DESCRIPTION	DATE
------	-------------	------



ARCHITECT

HILTON AVE.
LOFTS

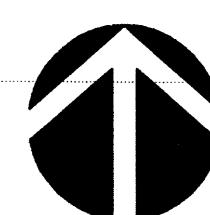
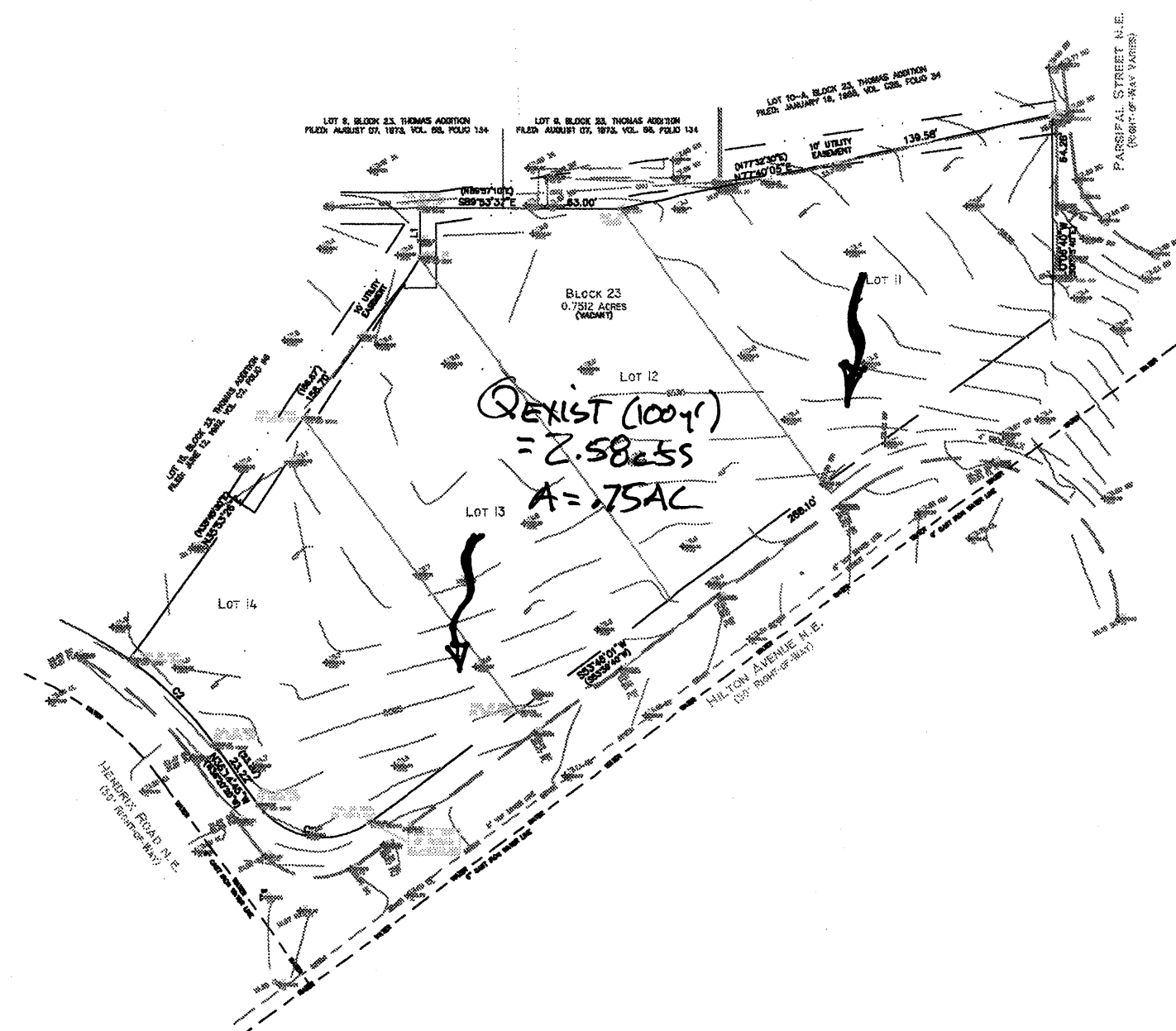
RFB# 2005.03

DATE 9-6-05

GRADING PLAN

DRAWING NO.

C2.0



EXISTING DRAINAGE PLAN

0 25' 50' 100' 200'

LEGEND:

— DIRECTION OF FLOW
— EXISTING BASIN BOUNDARY

DRAINAGE PLAN

EXECUTIVE SUMMARY

THIS PROJECT, LOCATED AT THE NORTHEAST CORNER OF THE HENDRIX RD. NE & HILTON AVE. NE INTERSECTION, WILL CONSIST OF 9 SINGLE FAMILY UNITS ON APPROXIMATELY 75 ACRES. THE SITE IS CURRENTLY UNDEVELOPED, BUT IS WITHIN A LARGELY DEVELOPED INFILL AREA. THE PURPOSE OF THIS DRAINAGE PLAN IS TO OBTAIN PRELIMINARY AND FINAL PLAT APPROVAL.

PROJECT DESCRIPTION

AS SHOWN ON VICINITY MAP G-20, THE SITE IS LOCATED AT THE NORTHEAST CORNER OF THE HENDRIX RD. NE & HILTON AVE. NE INTERSECTION. THE BOUNDARY AND TOPOGRAPHIC SURVEY WAS PREPARED BY SURVEY'S SOUTHWEST, DATED APRIL 2005. THE LEGAL DESCRIPTION IS SHOWN ON THIS SHEET. AS SHOWN BY PANEL 35001C 0143E OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED NOVEMBER 29, 2003, THIS SITE LIES WITHIN DESIGNATED FLOOD HAZARD ZONE X. ZONE X IS CHARACTERIZED BY AREAS WITHIN THE 500-YR FLOOD, AREAS OF 100-YR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 100-YR FLOOD.

EXISTING CONDITIONS AND DRAINAGE PATTERNS

THE SITE APPEARS TO MOSTLY DRAIN FROM THE NORTHEAST TO THE SOUTHWEST INTO HILTON AVE/HENDRIX RD. INTERSECTION WHICH CONTINUES WEST TO THE EXISTING STREET STORM DRAIN SYSTEM IN HENDRIX RD. ACCORDING TO THE USCS SOIL SURVEY FOR BERNALILLO COUNTY, THE SITE SOILS ARE EIC (EMBUDO) WHICH ARE CLASSIFIED AS SOILS WITH SLIGHT CONSOLIDATION POTENTIAL AND A HYDROLOGIC SOIL GROUP 'B'. MARTIN VINYARD & ASSOCIATES HAS PROVIDED A SOILS REPORT FOR THIS PROJECT. THE CONTRACTOR/OWNER HAS OBTAINED THIS REPORT FOR THE CONSTRUCTION OF THE SITE.

THE SITE CONSISTS OF ONE ONSITE BASIN WITH THE COMBINED AREA OF 0.75 ACRE. DUE TO THE EXISTING TOPOGRAPHIC FEATURES AND EXISTING CURB AND GUTTER LOCATED IN HENDRIX RD, HILTON AVE AND PARSIFAL ST. TO THE NORTHEAST, NO OFFSITE FLOWS APPEAR TO ENTER THE SITE. ALSO, THERE IS AN EXISTING BLOCK WALL ON THE NORTH PROPERTY LINE THAT RESTRICT OFFSITE FLOWS FROM ENTERING THE SITE. THE TOTAL HISTORIC UNDEVELOPED ON-SITE 100YR-6HR RUNOFF FROM THE SITE IS 2.58 CFS.

DEVELOPED CONDITIONS AND DRAINAGE PATTERNS

THE PROPOSED SITE WILL BE SPLIT INTO THREE (3) SUBBASINS. ON MAY 6, 2005, GUY JACKSON & ASSOCIATES MET WITH COA HYDROLOGY OF WHICH IT WAS DETERMINED THAT THE SMALL SITE WAS AN INFILL AREA THAT WAS ALLOWED FREE DISCHARGE INTO THE HENDRIX RD. AND HILTON AVE. RIGHT OF WAY. THE TOTAL EXISTING HISTORIC 100YR-6 HOUR EVENT DISCHARGES APPROXIMATELY 2.58 CFS INTO THE RIGHT-OF-WAYS DESCRIBED ABOVE. PROPOSED BASIN A WILL DRAIN 0.094AC WITH AN ANTICIPATED FLOWRATE OF 0.42 CFS. AT THE REAR (NORTH END) OF LOTS 1, 2, 4 & 5. THIS DISCHARGE WILL ENTER THE HENDRIX RD. RIGHT OF WAY VIA TWO 24" COA SIDEWALK CULVERTS. THESE FLOWS WILL THEN CONTINUE TO SURFACE DRAIN WEST IN HILTON TO THE EXISTING STORM DRAIN SYSTEM BETWEEN ERBEE AND MOON NE. PROPOSED BASIN B WILL CONSIST OF 0.437AC WITH A DISCHARGE RATE OF 1.65 CFS. AND DRAIN SOUTH INTO HILTON AVE. THESE DEVELOPED FLOWS WILL ALSO DRAIN DIRECTLY SOUTH INTO THE HILTON AVE. RIGHT-OF-WAY, WHICH THEN COMBINE WITH FLOWS FROM BASIN A AND CONTINUE WEST IN HILTON AVE WHERE IT DRAINS INTO THE EXISTING STORM DRAIN BETWEEN ERBEE AND MOON. PROPOSED BASIN C HAS A CONTRIBUTING AREA OF 0.284ACRE AND A DISCHARGE RATE OF 1.25 CFS WHICH WILL CONTINUE TO FLOW SOUTH INTO HILTON AVE. RIGHT-OF-WAY WHERE IT JOINS BASIN A & B AND DRAINS WEST TO THE STORM DRAIN SYSTEM BETWEEN ERBEE AND MOON.

CALCULATIONS

THE CALCULATIONS, WHICH ARE ATTACHED, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

CONCLUSION

THE NET DEVELOPED FLOWS FROM THE PROPOSED THREE BASINS (0.42CFS + 1.65CFS + 1.25CFS = 3.30 CFS FOR A TOTAL DIFFERENCE FROM HISTORIC FLOWS EQUAL TO 0.72 CFS), WHICH IS CONSIDERED NOMINAL FOR THIS SMALL INFILL DEVELOPMENT.

LEGAL DESCRIPTION

Lots numbered Eleven (11), Twelve (12), Thirteen (13), and Fourteen (14) in Block numbered Twenty-three (23) of the plat of Blocks 13 to 23 inclusive, of THOMAS ADDITION, an addition to the City of Albuquerque, New Mexico, as the same are shown and designated on the plat of said addition, filed in the office of the County Clerk of Bernalillo County, New Mexico on June 12, 1952 in Vol. C2, Folio 98.

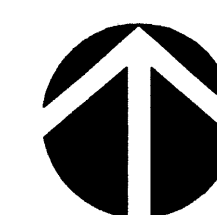
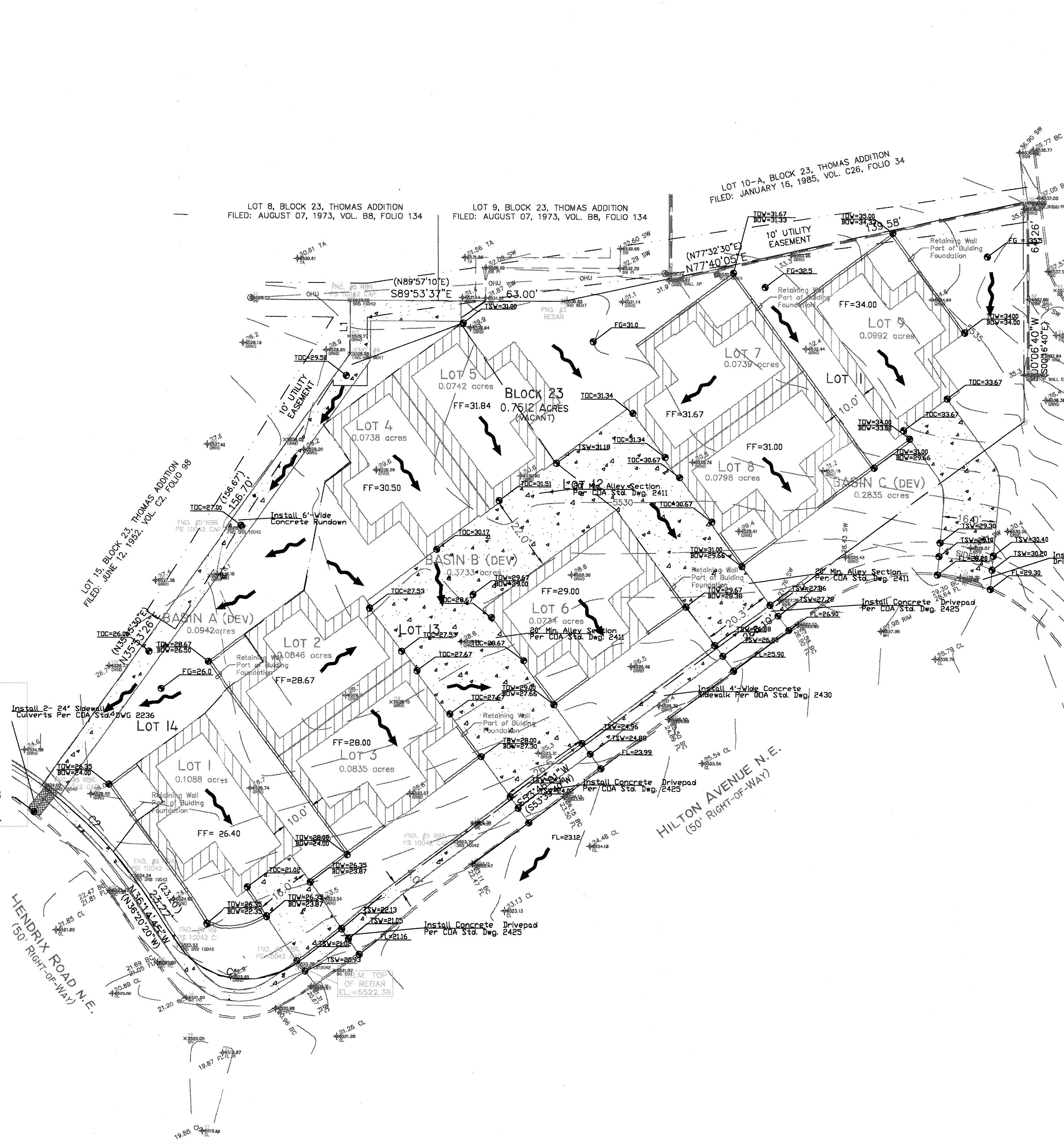
BENCH MARK

ACS BENCHMARK 12-F20-A, THE PUBLISHED ELEVATION OF WHICH IS 5524.981', AND IS LOCATED IN THE CENTER MEDIAN OF MONTGOMERY BOULEVARE NE AT THE INTERSECTION WITH DONA MARGUERIT AVENUE NE.

LEGEND:

— DIRECTION OF FLOW
— PROPOSED BASIN BOUNDARY
— WATER BLOCK
— FLOWLINE

TC=25.00 Top of Curb Elevation
FE=24.50 Flowline Elevation
TOW=24.50 Top of Wall Elevation
BOW=24.50 Bottom of Wall Elevation
TOC=24.50 Top of Concrete Elevation
TSW=24.50 Top of Sidewalk Elevation

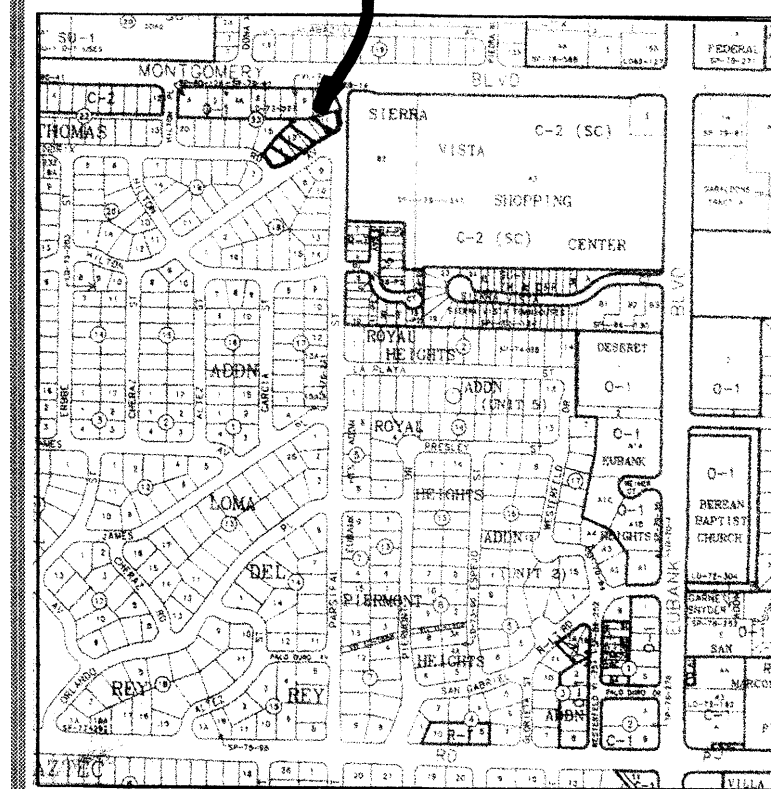


DRAINAGE PLAN

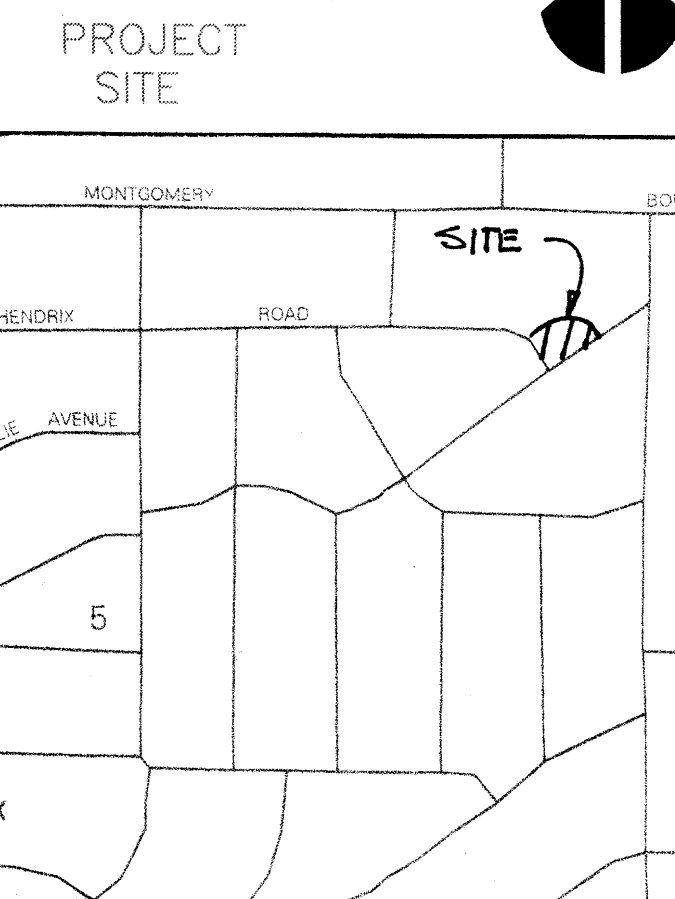
0 10' 20' 40' 80'

SCALE: 1"=20'

PROJECT SITE

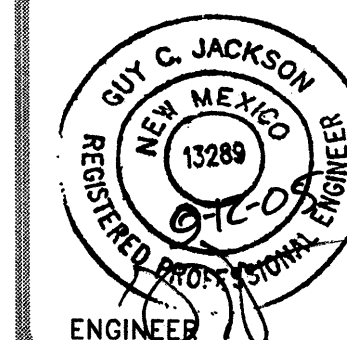


PROJECT SITE



F.J.R.M.
PANEL 035001C 0143E
N.T.S.

REV. DESCRIPTION DATE



ENGINEER

ARCHITECT

HILTON AVE.
LOFTS

RFB# 2005.03

DATE 9/5/05

DRAINAGE PLAN

DRAWING NO.

C2.1