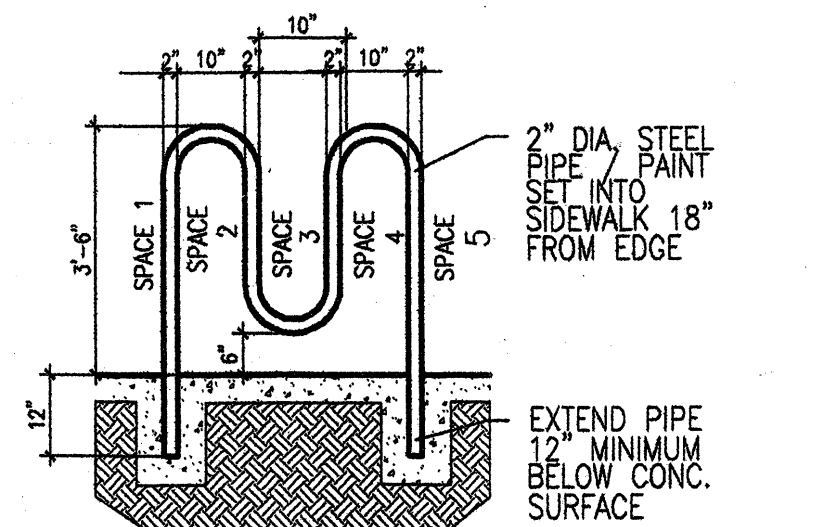


NOTE:
ALL RAMP WITHIN C.O.A.
RIGHT-OF-WAY REQUIRE
TRUNCATED DOMES

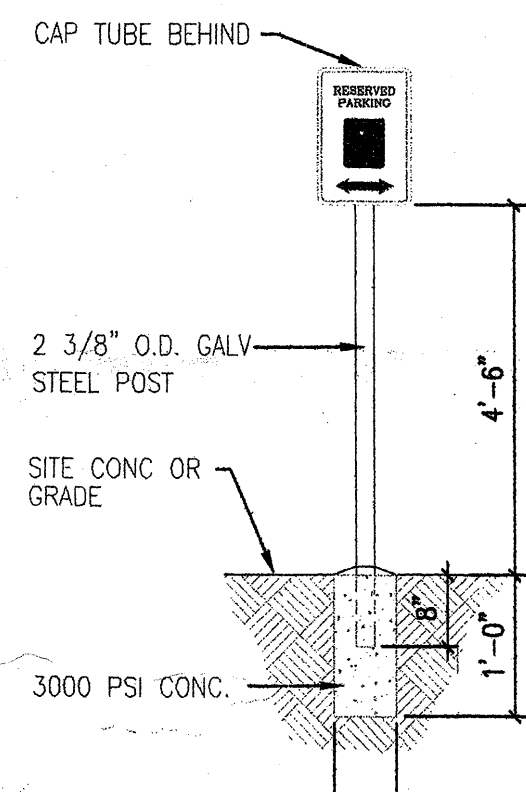
1 HANDICAP RAMP DETAIL
NOT TO SCALE



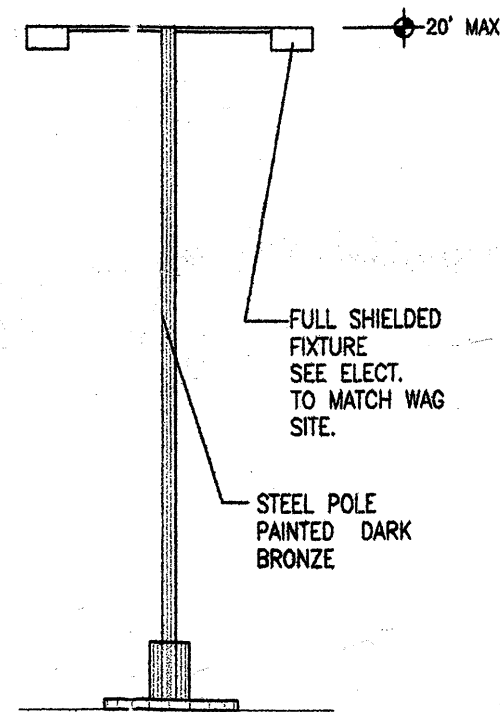
2 BIKE RACK DETAIL
NOT TO SCALE



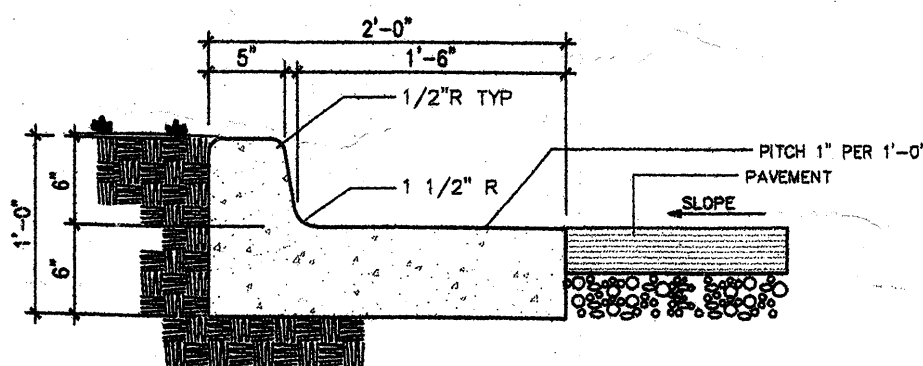
LEGEND & BORDER-GREEN
BACKGROUND-WHITE
SYMBOL-WHITE ON BLUE
BACKGROUND
PROVIDE "H.C. VAN
PARKING" ON SIGN
AT VAN SPACE
* PER ANSI REQUIREMENTS



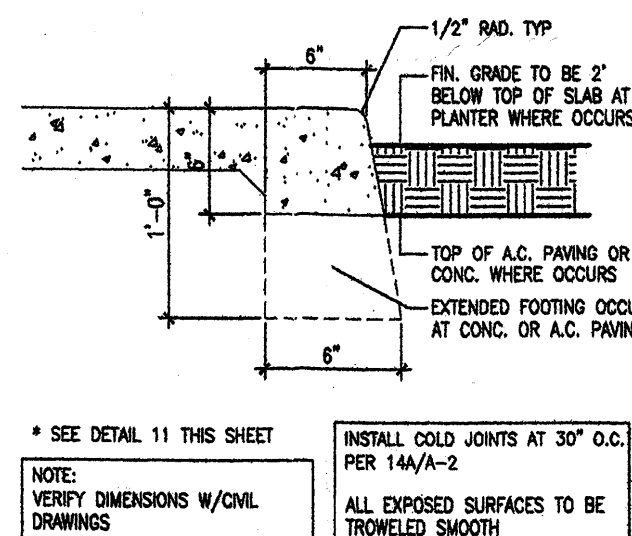
3 ACCESSIBLE PARKING SIGN
NOT TO SCALE



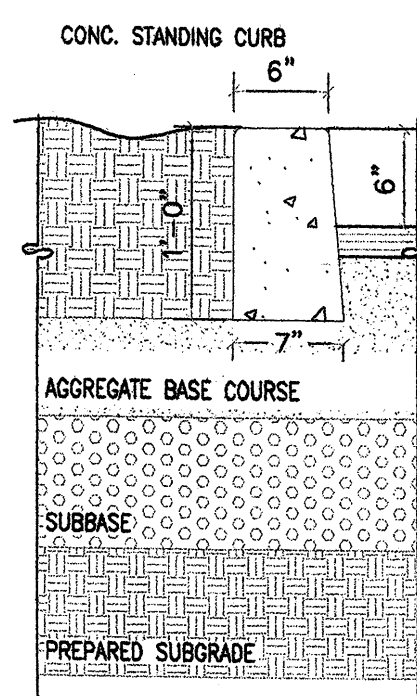
4 SITE LIGHTING DETAIL
NOT TO SCALE



5 CURB & GUTTER
NOT TO SCALE

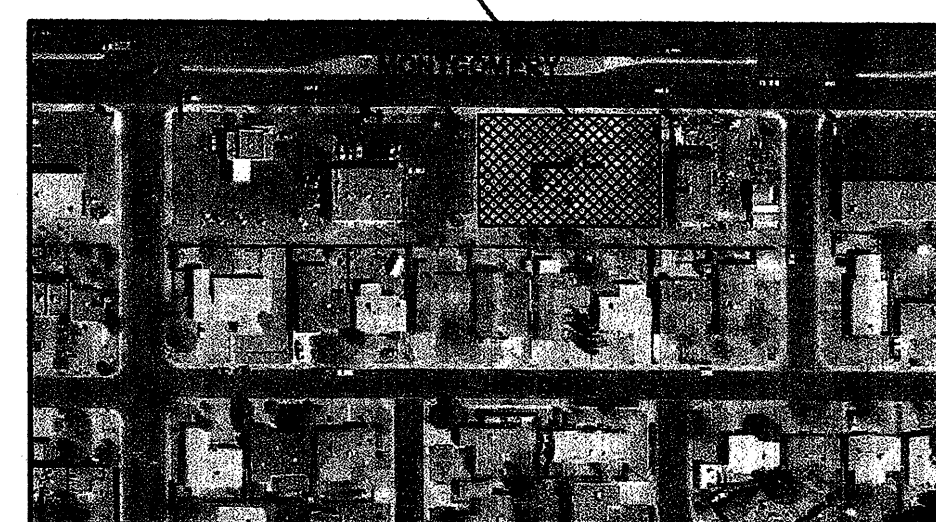


6 CURB DETAIL
NOT TO SCALE



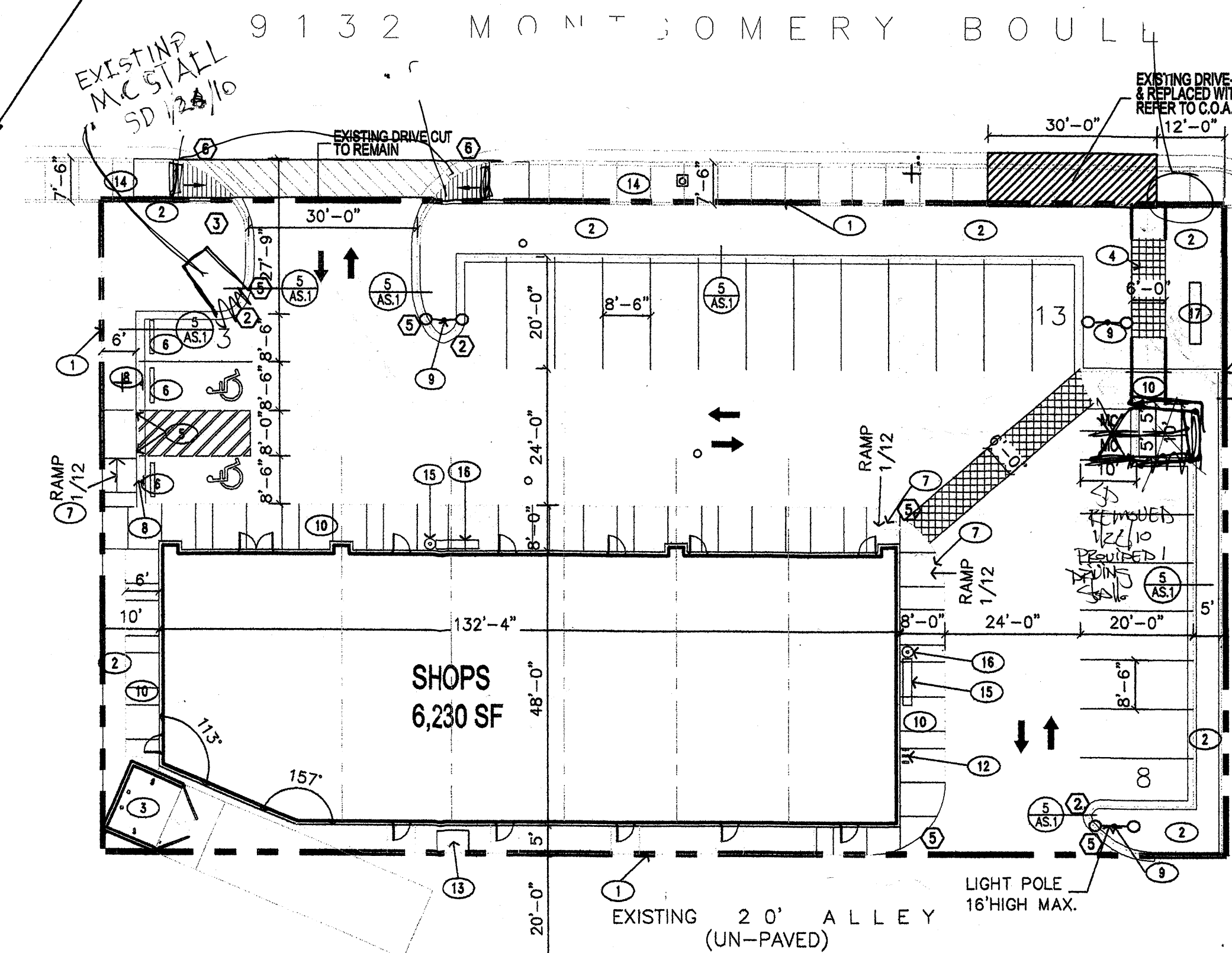
9 CURB DETAIL
NOT TO SCALE

SITE LOCATION

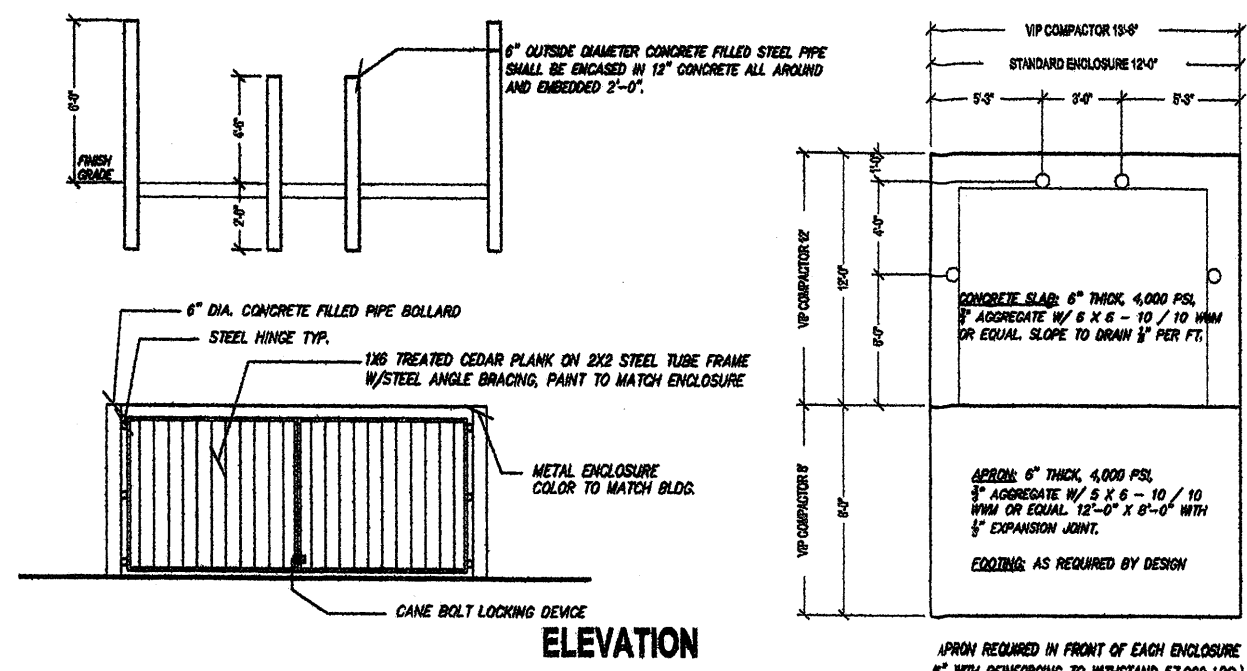
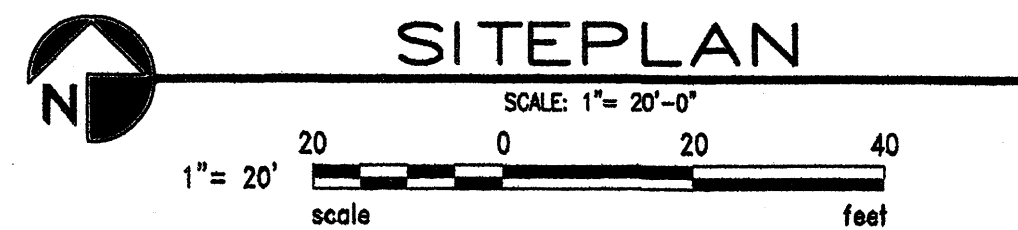


LOCATION MAP

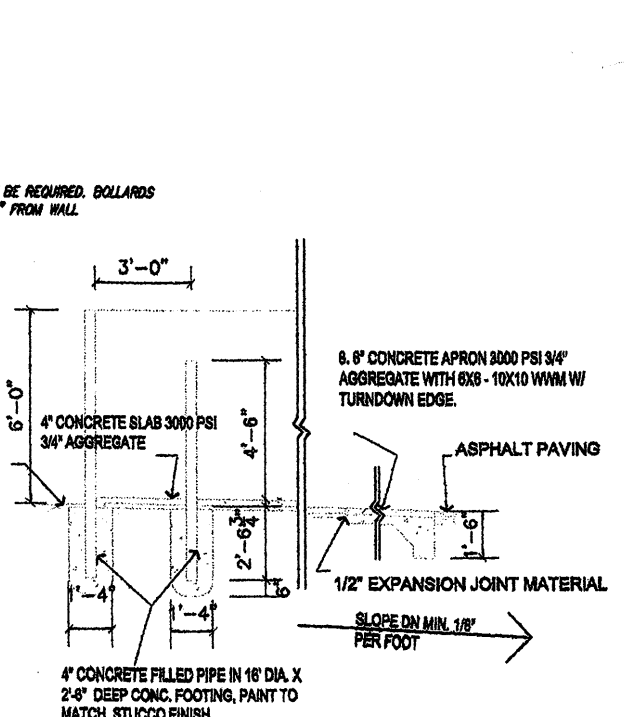
NOTE:
ADDITIONAL FIRE HYDRANT LOCATED ON THE NW CORNER
OF MONTGOMERY BLVD. & MOON STREET DISTANCE IS
350' TO THE CORNER OF THE PROPOSED BUILDING
AS THE TRUCK ROLLS.



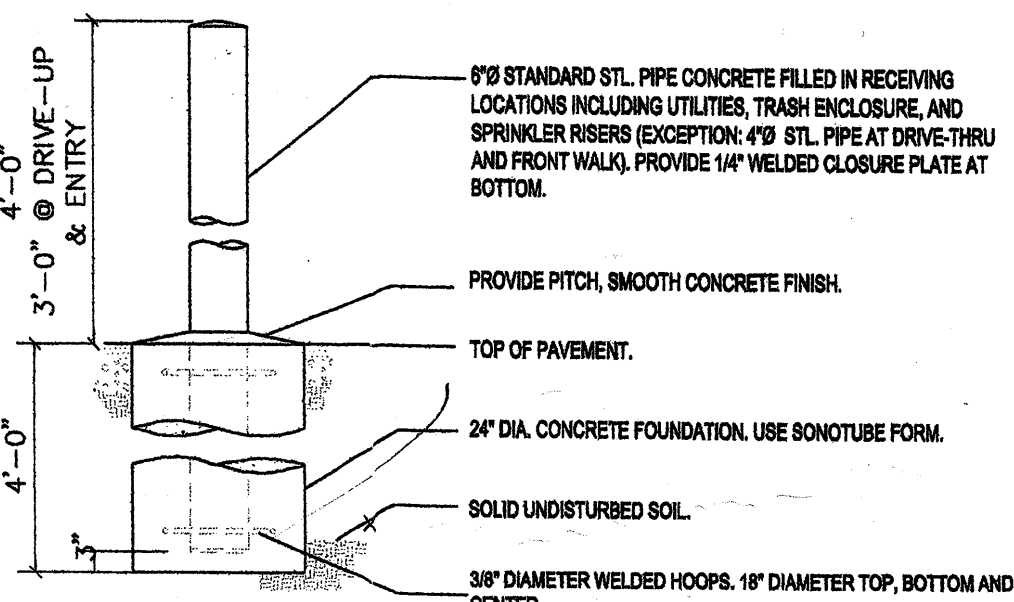
GENERAL SITE NOTE:
EXISTING ALLEY MUST BE PAVED FROM FURTHEST WEST
PROPERTY LINE OF NEWLY CONSTRUCTED SITE TO THE
NEAREST CROSS STREET TO THE EAST (HILTON). THIS WILL
REQUIRE A SEPARATE WORK ORDER THRU THE CITY OF ALBUQUERQUE.



7 TRASH ENCLOSURE (TYP.)
NOT TO SCALE



8 TYP. PIPE BUMPER GUARDS
NOT TO SCALE



PARKING DATA:

BLDG. SQ. FOOTAGE = 48' X 132'-4"	
LESS 125 SQ. FT. (NW CORNER OF BLDG.)	
= 5,230 SQ. FT. LESS 1/2 FOR WALLS (118.8 SQ. FT.)	
LESS 6 TOLLETS (336 SQ. FT.) = 5,775 SQ. FT. NET	
5,775/200 X .10 (BUS CREDIT) = 26 SPACES REQD.	
TOTAL H.C. PARKING REQUIRED =	2 SPACES
TOTAL H.C. PARKING PROVIDED =	2 SPACES
TOTAL STANDARD PARKING PROVIDED =	22 SPACES
TOTAL MOTORCYCLE PARKING REQUIRED =	2 SPACES
TOTAL MOTORCYCLE PARKING PROVIDED =	2 SPACES
TOTAL PARKING REQUIRED =	26 SPACES
TOTAL PARKING PROVIDED =	26 SPACES
BIKE SPACES REQUIRED:	
(1 BIKE RACK HOLDS (5) FIVE BIKES)	2 SPACES
BIKE SPACES PROVIDED:	
(1 BIKE RACK HOLDS (5) FIVE BIKES)	5 SPACES
SITING SPACES REQUIRED:	
(1 BENCH = 4 SPACES)	6 SPACES
SITING SPACES PROVIDED	2 BENCHES
(1 BENCH = 4 SPACES)	

LEGAL DESCRIPTION:

Lot numbered Seven (7), Eight (8), Nine (9) and Ten (10) in Block numbered Twenty-two (22), of Blocks 13 to 23 inclusive, of THOMAS ADDITION, to the City of Albuquerque, New Mexico, as the same is shown and designated on the plat of said Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 12, 1952, in Plat Book C2, folio 98.

KEYED NOTES

1. PROPERTY LINE
2. LANDSCAPE AREA
3. DUMPSTER ENCLOSURE
4. CROSSWALK COLORED
5. 8" DIA. X 4' HIGH BOLLARD
6. WHEEL BUMPERS
7. ACCESSIBLE RAMP (SEE 1/AS1)
8. H.C. PARKING SIGNAGE (SEE 3/AS1) (MIN. 2'-0" SETBACK FROM CURB)
9. SITE LIGHTING
10. NEW SIDEWALK
11. NOT USED
12. BICYCLE RACK LOCATION - 3 BIKES.
13. RECYCLE AREA
14. EXISTING SIDEWALK
15. 8'-0" X 1'-6" BENCH. LOCATION TO BE DETERMINED BY OWNER/CONTRACTOR
16. TRASH RECEPTACLE
17. MONUMENT SIGN

RADIUS INFORMATION:

1. RADIUS = 2'-0"
2. RADIUS = 3'-0"
3. RADIUS = 6'-0"
4. RADIUS = 9'-0"
5. RADIUS = 15'-0"
6. RADIUS = 20'-0"
7. RADIUS = 25'-0"
8. RADIUS = 30'-0"
9. RADIUS = 35'-0"
10. RADIUS = 40'-0"
11. RADIUS = 45'-0"
12. RADIUS = 60'-0"

TRAFFIC CIRCULATION LAYOUT
APPROVED

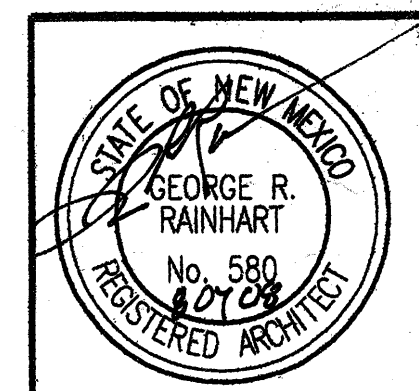
Signed: *[Signature]* 8/12/08
Date

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

APD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
8/4/08
SIGNATURE & DATE

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE	MONTGOMERY SHOPS
PROJECT NO.	072
DRAWN BY:	NAH
PROJECT MANAGER	NASMA/NAH
SHEET TITLE	SITE PLAN & DETAILS

Albuquerque Building & Safety
AUG 12 2008
I.B.C.
Plan Check Section

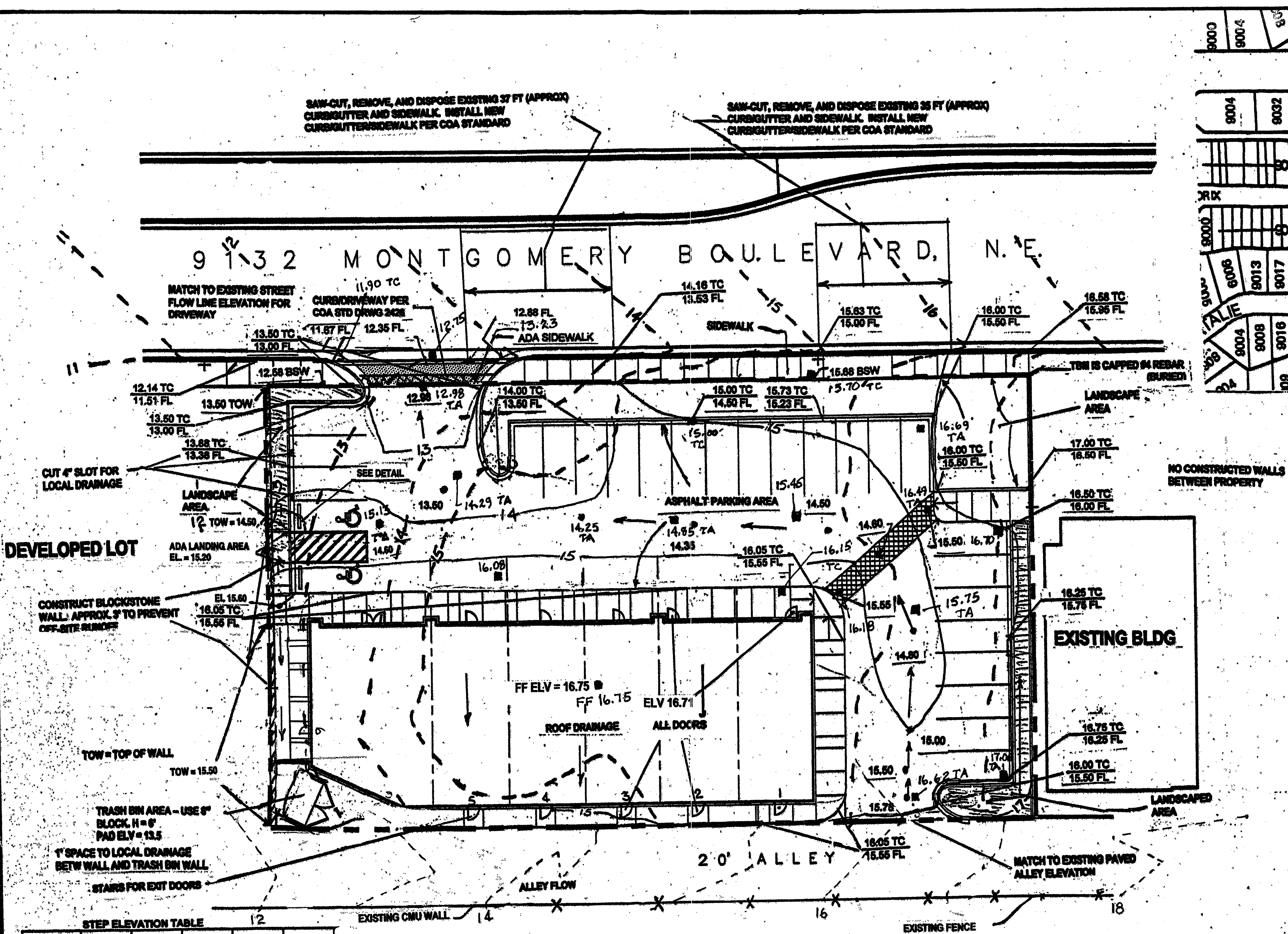
RECEIVED
AUG 08 2008
HYDROLOGY SECTION

DATE: 1.30.2008
SCALE: AS NOTED

AS1
RECEIVED

NOV 18 2008

HYDROLOGY SECTION



STEP ELEVATION TABLE

STEP ELV	STAIR 1	STAIR 2	STAIR 3	STAIR 4	STAIR 5
16.21	16.21	16.21	16.21	16.21	16.21
15.61	15.61	15.61	15.61	15.61	15.61
15.04	15.04	15.04	15.04	15.04	15.04
14.48	14.48	14.48	14.48	14.48	14.48

SITE MAP LEGEND

- 197 — PROPOSED CONTOUR
- 197 EXISTING CONTOUR
- AS-BUILT SPOT ELY.
- X — X — EXISTING FENCE LINE
- >—>—> FLOW LINES
- TC TOP OF CONCRETE
- FL FLOW LINE
- PROPOSED SPOT ELEVATION (TOP OF ASPHALT)

COA NOTES

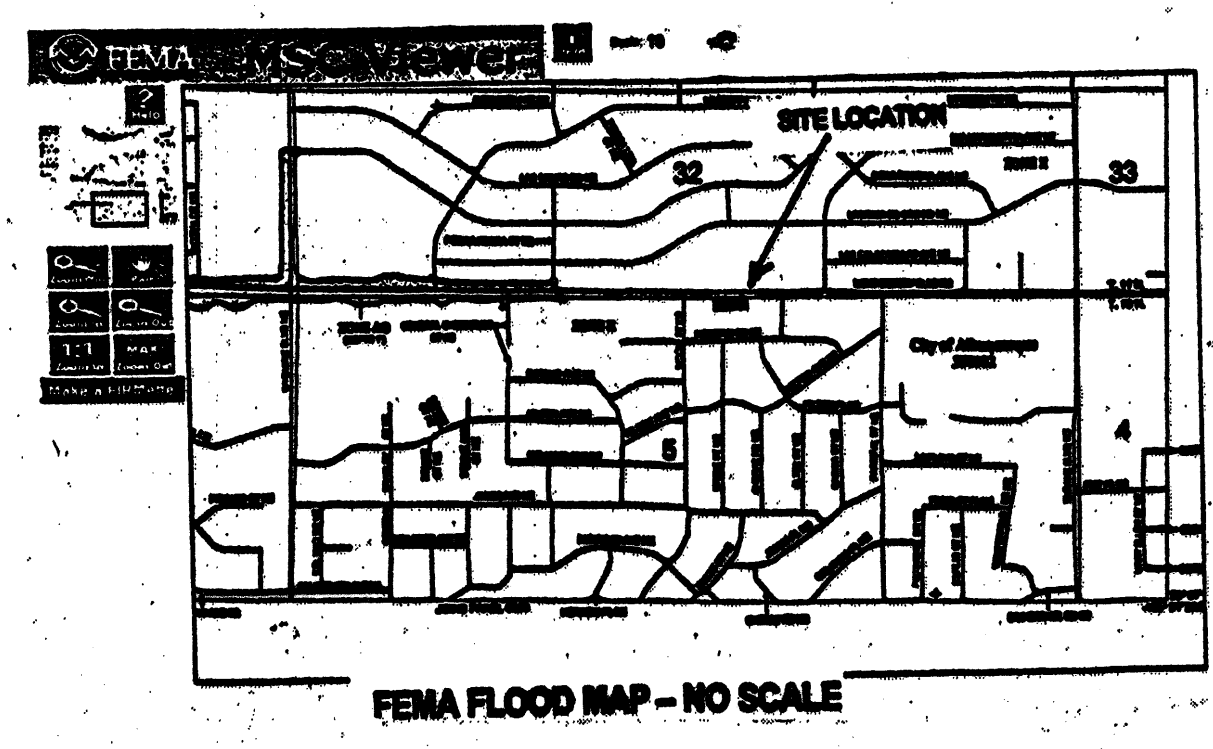
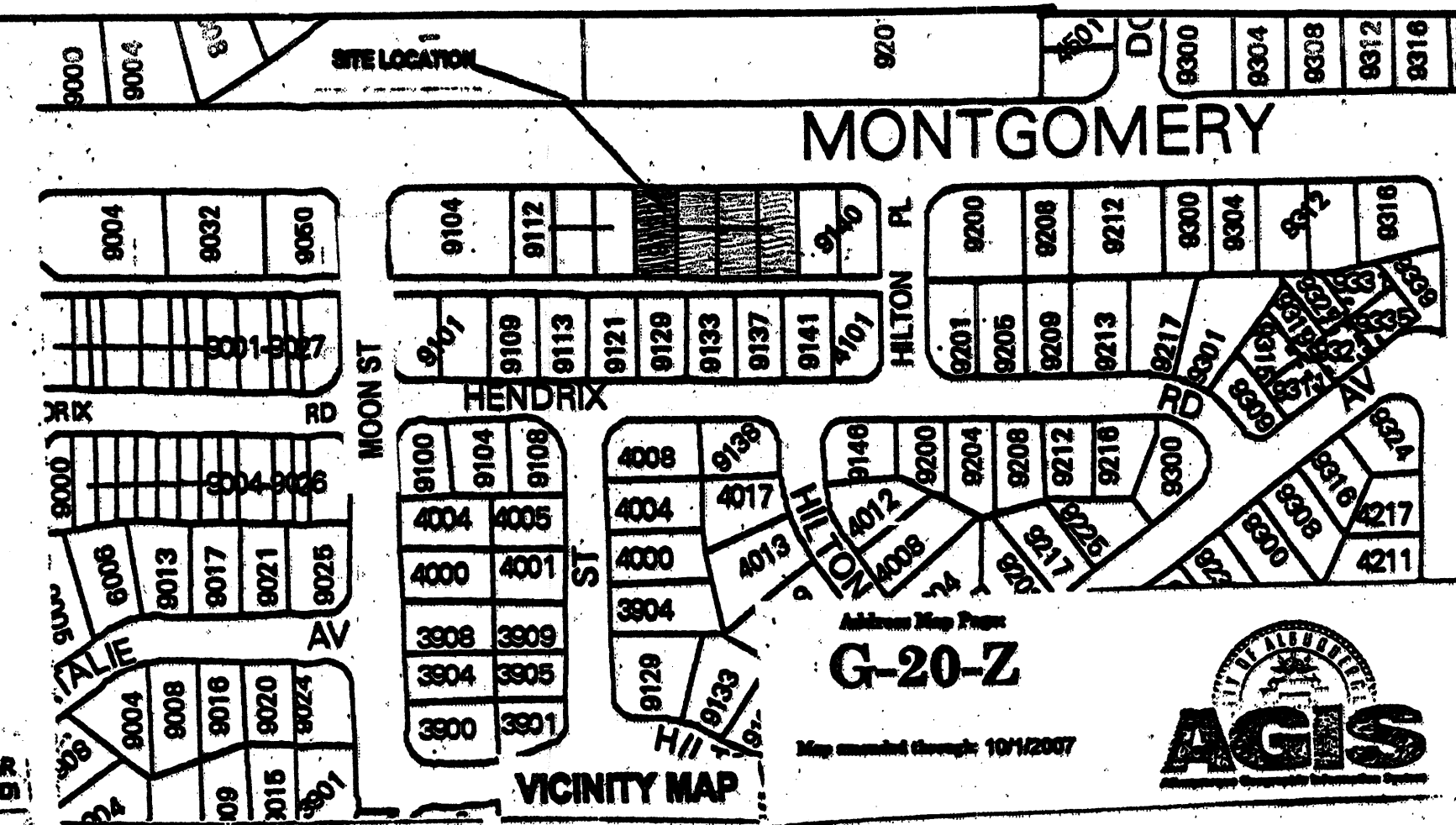
EXISTING CONDITIONS:

THE SITE IS LOCATED ON THE SOUTH SIDE OF MONTGOMERY BLVD NE WITH MOON NE APPROX. ONE BLOCK TO THE WEST AND HILTON NE TO THE EAST. THE SITE IS BOUNDED ON THE EAST AND WEST BY EXISTING COMMERCIAL ENTITIES AND ON THE SOUTH BY RESIDENTIAL LOTS BOUNDED BY EXISTING A WOOD FENCE AND CMU WALL. PREVIOUSLY, THE LOT WAS THE LOCATION OF A CAR WASH WHICH HAS BEEN DEMOLISHED WITH ONLY BARE GROUND REMAINING. THE ALLEY TO THE SOUTH IS A COMBINATION OF COMPACTED EARTH AND ONE (1") INCH ASPHALT OVERLAY. THEREFORE, BECAUSE OF THE PREVAILING CONTOURS WHICH IS WESTERLY, THERE IS NO OFF-SITE FLOW GENERATED FROM THESE LOCATIONS (SEE OFF-SITE DRAINAGE MAP.)

THE SITE DOES NOT LIE WITHIN A 100 YR. FLOOD ZONE.

PROPOSED CONDITIONS:

IT IS PROPOSED THAT THERE WILL NO OVERALL CHANGE TO THE EXISTING LANDUSE COMPARED TO THE PREVIOUS COMMERCIAL CAR WASH. THE RUNOFF NOW AS IN THE PAST WILL DRAIN PREDOMINATELY TO THE NORTH TO THE MONTGOMERY BLVD STORM DRAINAGE SYSTEM EXCEPT FOR ROOF DRAINAGE. THE AMOUNT OF RUNOFF FROM THIS CONDITION IS ALLOWED BY THE APPROVED MANAGEMENT PLAN FOR THIS AREA.



DRAINAGE CALCULATIONS: ZONE 3

UNDEVELOPED CONDITIONS

AREA =	0.025 acres	P(100-4) =	2.6 inches
WEIGHTED "E" (avg) =	0.00 inches	WEIGHTED "E" (avg) =	0.19 inches
Therefore:			
Q (cfs) =	0.00 cfs	Q (cfs) =	0.31 cfs
Volume (cu) =	1288 cu	Volume (cu) =	304 cu

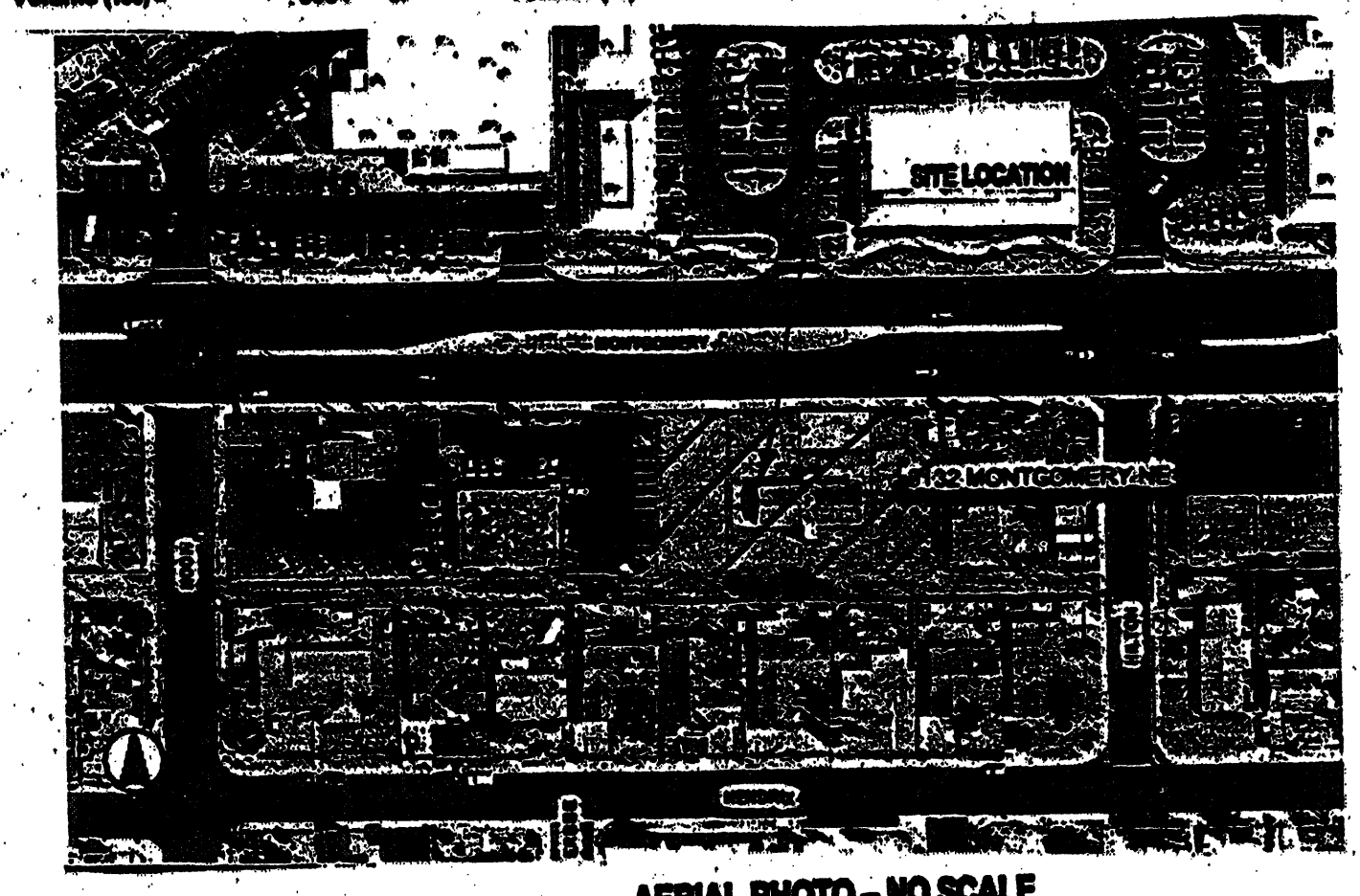
DEVELOPED CONDITIONS MAX. RUNOFF CONDITIONS

	Acres	Sq. Ft.		Acres	Sq. Ft.
TOTAL AREA (ac) =	0.025	23,210			
Treatment A	0.00	0	Treatment C	0.00	0
Treatment B	0.11	4,748	Treatment D	0.42	18,282

Weighted E (avg) = 2.05 inches Weighted E (avg) = 1.26 inches

Q (cfs) = 2.4 cfs Q (cfs) = 1.5 cfs

Volume (cu) = 3084 cu Volume (cu) = 2424 cu



- NOTES:**
- STRUCTURE AND PARKING AREA DOES NOT LIE WITHIN THE FEMA FLOODPLAIN.
 - ADD 888 TO CONTOURS AND SPOT ELEVATIONS.
 - CONTOUR INTERVAL EQUALS 1.0 FT.
 - POSITIVE DRAINAGE FROM FOUNDATION.
 - DRAINAGE UTILIZED FROM THE LAYOUT OF PROPOSED RESIDENCE AS SHOWN.
 - DRAINAGE CALCULATIONS PREPARED IN ACCORDANCE WITH SECTIONS 22.2, HYDROLOGY DEVELOPMENT MANUAL, CITY OF ALBUQUERQUE.
 - APPROXIMATE LOT SIZE IS APPROXIMATELY 6.528 AC.
 - BUILDING SET-BACK ON LOT IS 5 FT. FROM SOUTH PROPERTY LINE AND 10 FT. FROM THE WEST PROPERTY LINE.
 - DISTURBED AREAS WILL BE VEGETATED/LANDSCAPED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING REQUIREMENTS.

ENGINEER'S STATEMENT

I, hereby, state that I have personally inspected the land represented by this plan and I certify the contours shown on this plan substantially reflect the conditions of the site.

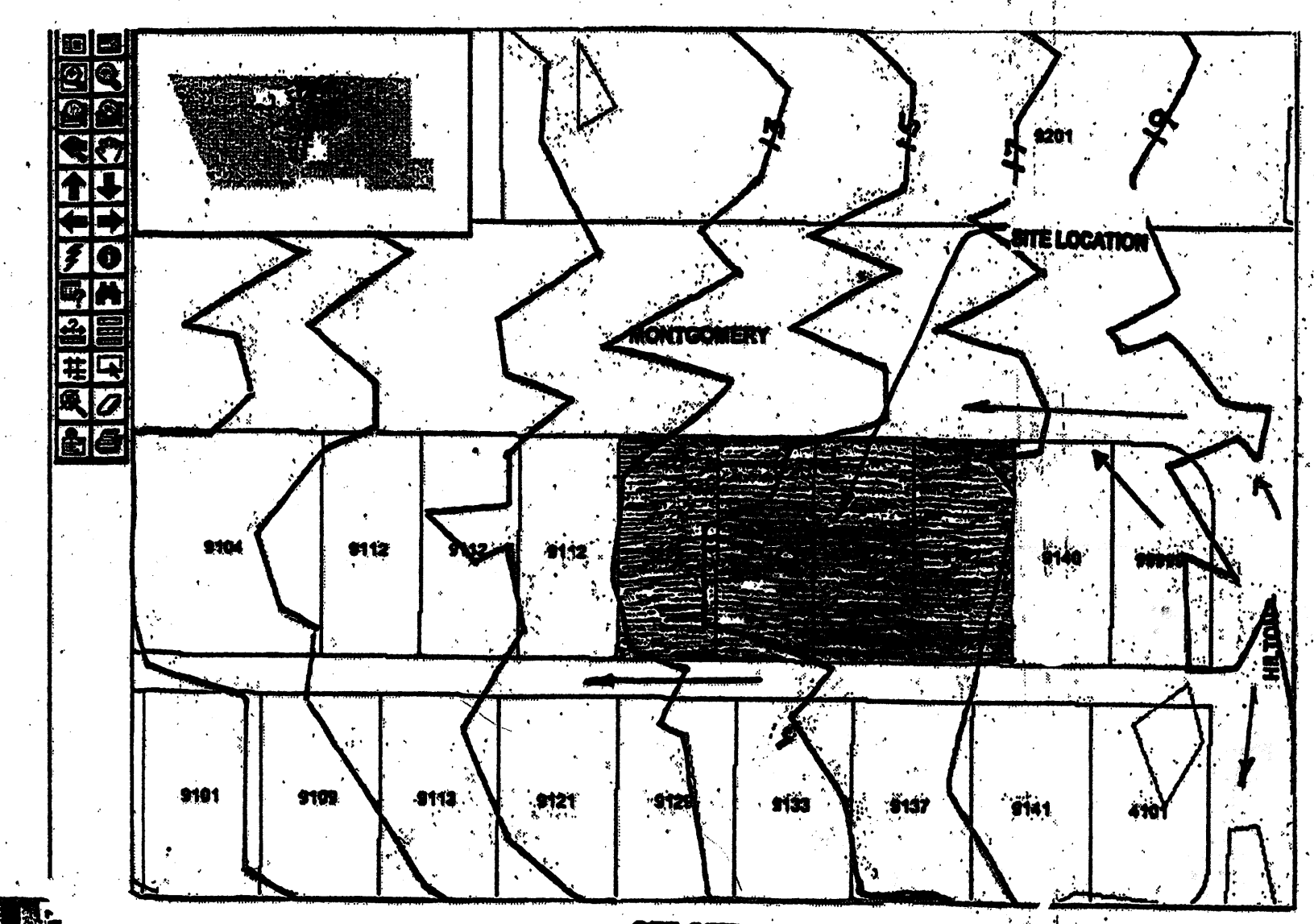
Bernard R. Freeman 3/12/08
(Bernard R. Freeman, NRE 8795)

LEGAL DESCRIPTION:
LOTS 7 THRU 10, BLOCK 22, THOMAS ADDITION

BENCHMARK:
ACS MONUMENT "12 - F2A": EL. 5527.72 (NAVD 1988)

TEMPORARY BENCHMARK ESTABLISHED AT NORTHEAST PROPERTY CORNER @ EL. 5516.98

ACS MONUMENT "12 - F2A"
X = 433,732.95
Y = 1,532,913.48
GROUND TO GRID: 0.988443
DELTA ALPHA: -0.007950
NAD 1983
EL. 5527.72 (NAVD 1988)



DEVELOPED CONDITIONS (BUILDING RUNOFF ONLY)

TOTAL AREA (ac) =	Acres	Sq. Ft.	Acres	Sq. Ft.	
0.143	0.143	6,220			
Treatment A	0.00	0	Treatment C	0.00	0
Treatment B	0.00	0	Treatment D	0.14	6,220

Weighted E (avg) = 2.36 inches Weighted E (avg) = 1.50 inches

Q (cfs) = 0.7 cfs Q (cfs) = 0.6 cfs

Volume (cu) = 4822 cu Volume (cu) = 2676 cu

RECEIVED
JUL 8 2009
HYDROLOGY SECTION

FOR INFORMATION ONLY

GRADING AND DRAINAGE PLAN
9132 MONTGOMERY NE
OFFICE COMPLEX
PLAN PREPARED BY:
BERNARD R. FREEMAN

632582

2 of 5