

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 2, 2023

Scott McGee, P.E.
9700 Sand Verbena Trail NE
Albuquerque, NM 87122

**RE: Veranda Apartments - Addition
Grading & Drainage Plan
Engineer's Stamp Date: 02/13/23
Hydrology File: G20D052**

Dear Mr. McGee:

Based upon the information provided in your submittal received 02/23/2023, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: VERANDA APARTMENTS Building Permit #: _____ Hydrology File #: G-20
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: Tract 1 Nassif Gardens Addition Replat Lots 4-17
 City Address: 9000 VERANDA RD NE

Applicant: SMM PE Contact: Scott McGee
 Address: P O BOX 93962
 Phone#: 263-2905 Fax#: _____ E-mail: scottmmcgee@gmail.com

Owner: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

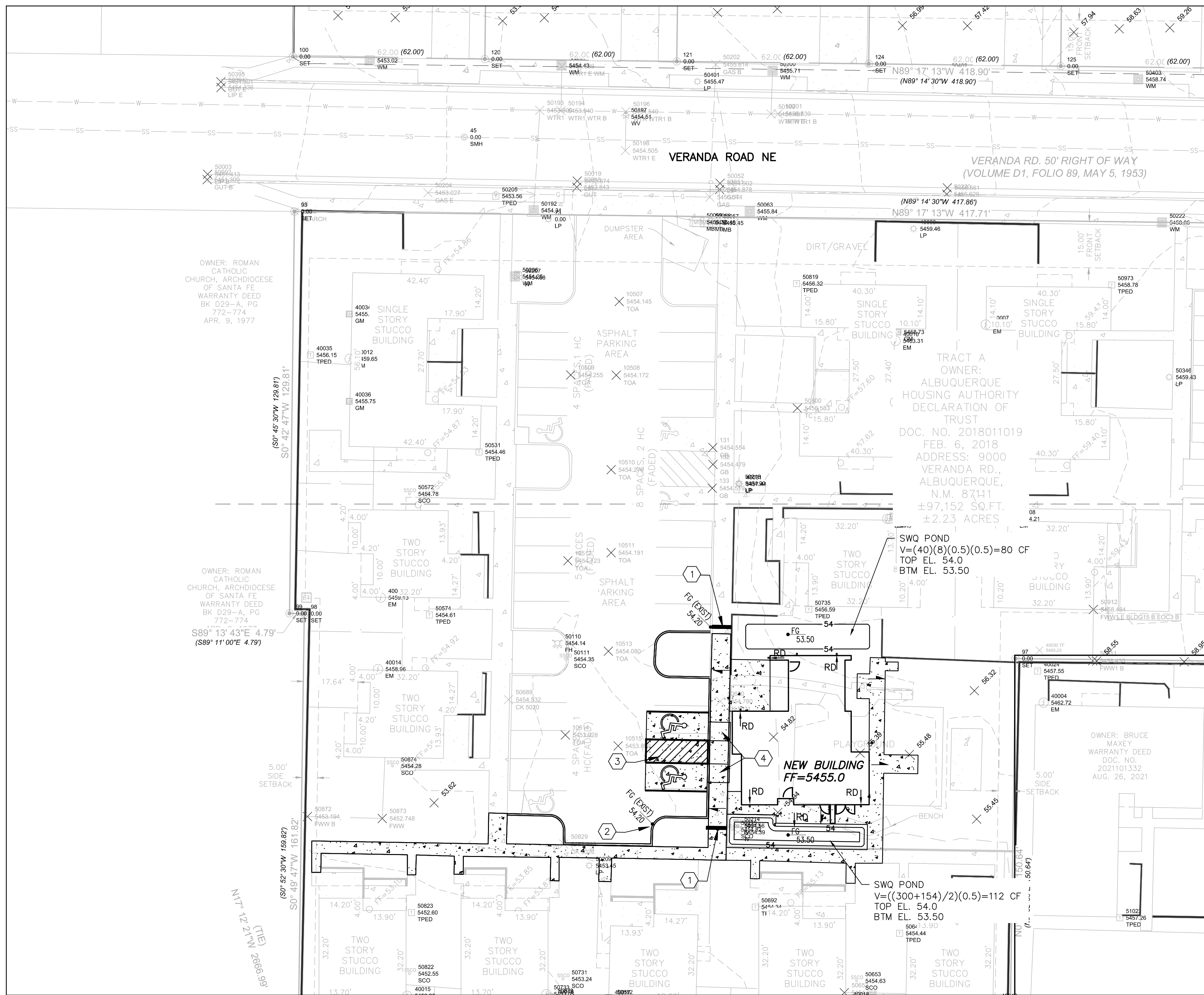
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 2/22/23 By: Scott M McGee

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

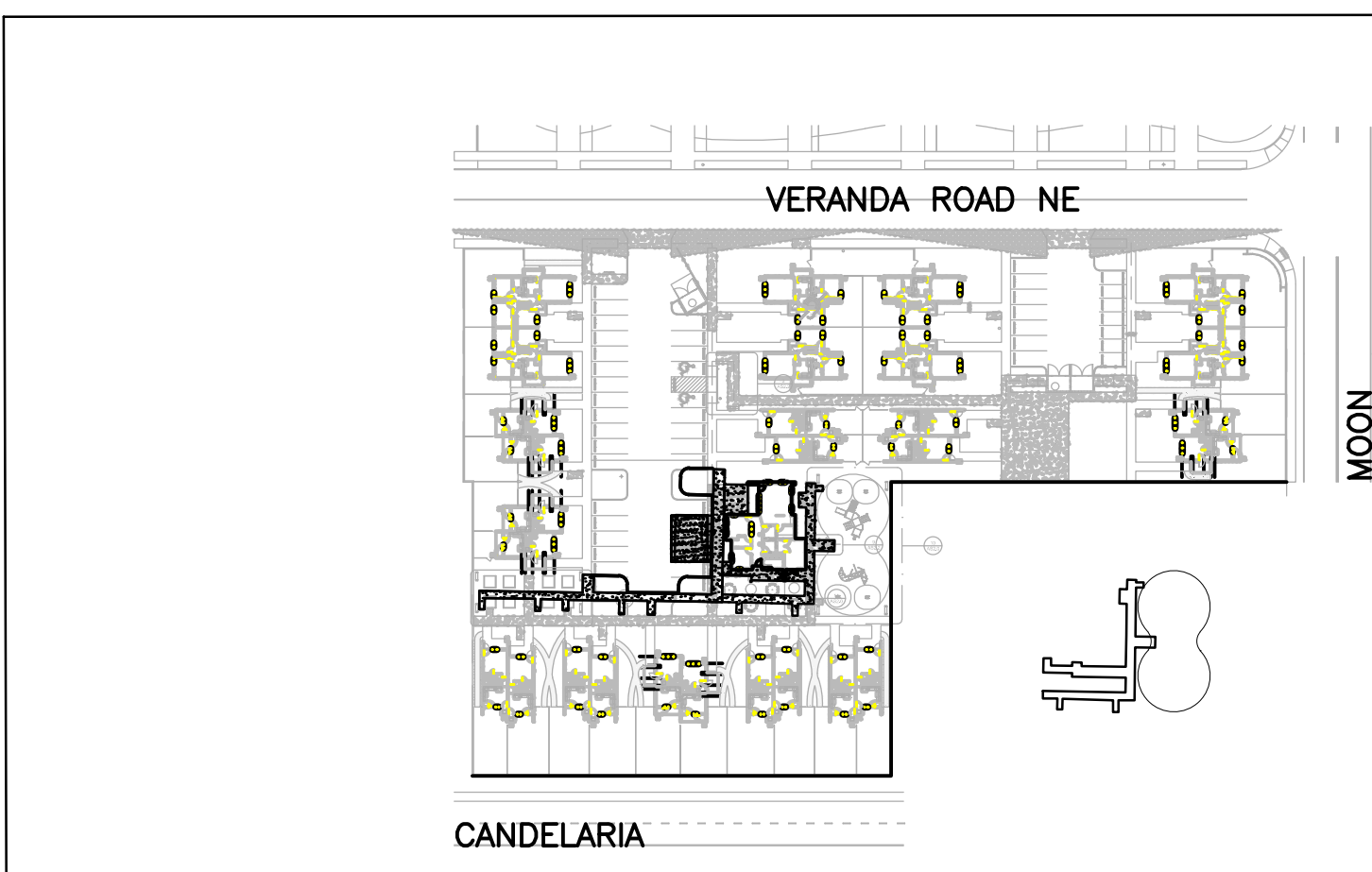
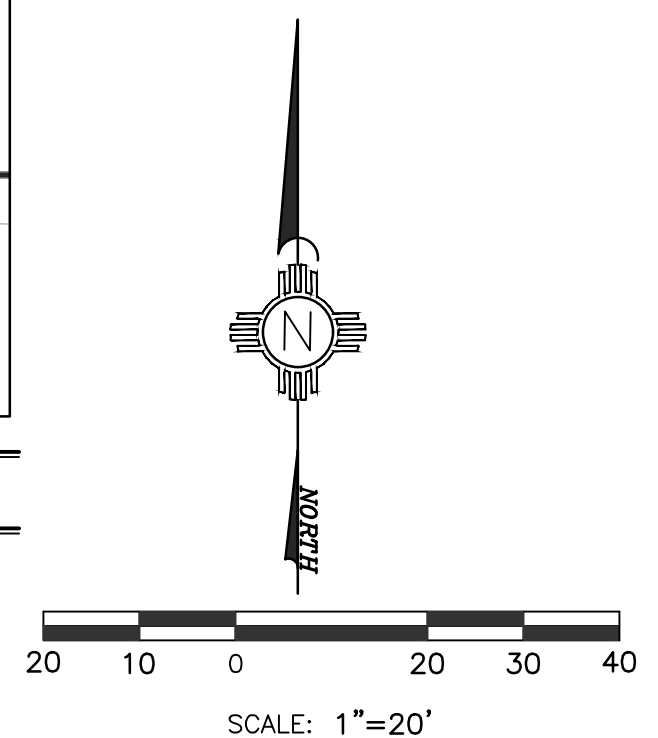
FEE PAID: _____



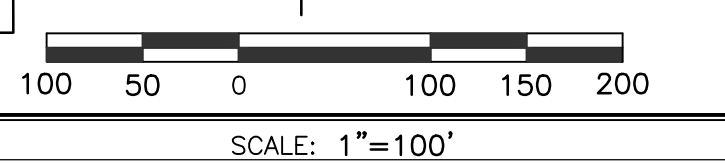
GRADING AND DRAINAGE PLAN

LEGEND

- PROPOSED SANITARY SEWER CLEAN OUT
- EXISTING GAS METER
- ⊕ EXISTING TELEPHONE PEDISTAL
- ⊖ EXISTING SANITARY SEWER MH
- EXISTING SANITARY SEWER CLEAN OUT
- ⊕ EXISTING POWER POLE
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING FIRE HYDRANT
- ▲ PROPOSED SLOPE AREA
- PROPOSED SPOT ELEVATION
- PROPOSED SIDEWALK CULVERT
- FG FINISH GRADE
- FL FLOWLINE



OVERALL SITE PLAN



ZONE ATLAS



VICINITY MAP

G-20-Z

KEYED NOTES:

- ① NEW 12" WIDE DRAINAGE SIDEWALK DRAINAGE CULVERT WITH STEEL TOP. SEE CITY OF ALBUQUERQUE STD DWG 2236
- ② NEW 18" WIDE CURB CUT.
- ③ NEW HANDICAP PARKING 4" YELLOW STRIPE (TYP) IN ACCORDANCE WITH THE LATEST MUTCD.
- ④ NEW 6" CURB RAMPS.

DRAINAGE ANALYSIS

ADDRESS: 9000 Veranda Rd NE, Albuquerque, NM

LEGAL DESCRIPTION: Tract 1 Nassif Gardens Addition Replat Lots 4-17

SITE AREA: 97,152 SF (2.23 AC) Disturbed area = 15,500 SF

BENCHMARK: City of Albuquerque Station '8-G20' being a brass cap. ELEV= 5447.12 (NAVD 1988)

SURVEYOR: Souder Miller & Assocs., dated January, 2023

PRECIPITATION ZONE: 3

FLOOD HAZARD: From FEMA Map 35001C0356G (8/16/12), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard.

OFFSITE FLOW: The site does not accept offsite flow as a paved public street runs along the north side of the site. Existing residential development abuts the remainder of the site.

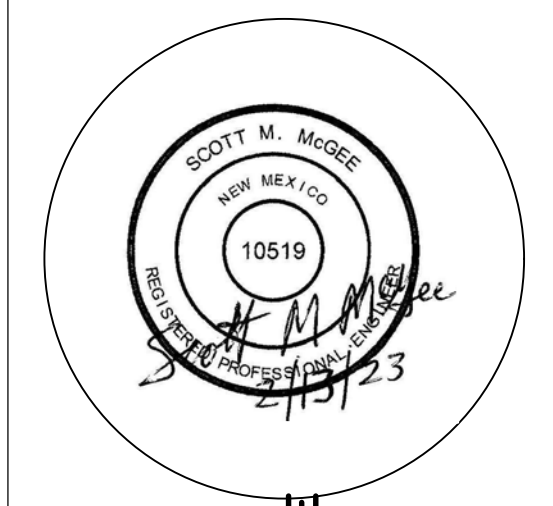
EXISTING CONDITIONS: The site is currently developed as a multi-family development with 18 buildings and paved parking. The site slopes down to the west at 3-4% but existing parking areas intercept the runoff and discharge it north to Veranda Road NE.

PROPOSED IMPROVEMENTS: The proposed improvements include an 1,870 SF community building, minor removal and replacement of the asphalt paved access and parking, interior sidewalks, and areas of renovated landscaping.

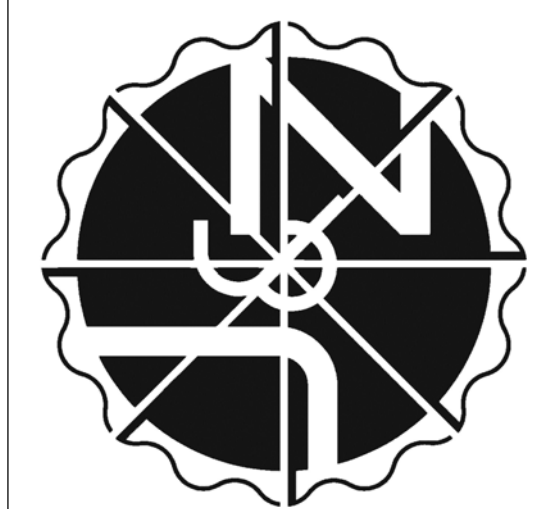
DRAINAGE APPROACH: The site drainage pattern will direct new impervious flow to several onsite retention ponds for the Storm Water Quality (SWQ) volumes. Each area was used to calculate the SWQ volume based on re-development using 0.26" per SF to calculate volumes.

Existing land treatment: 79% C and 21% D
 $Q = [(0.79)(3.17) + (.21)(4.49)](0.35) = 1.2$ CFS
 Proposed land treatment: 58% C and 42% D
 $Q = [(0.58)(3.17) + (.42)(4.49)](0.35) = 1.3$ CFS

SWQ V = (6,510)(0.26/12) = 141 CF
 Total retention volume provided onsite is V = 80 + 112 = 192 CF
 The proposed retention pond areas will combine to contain the SWQ volume. Site runoff will not increase from the existing discharge rate.



JEEBS & ZUZU, LLC.
 5924 ANAHEIM AVENUE NE SUITE 87113
 ALBUQUERQUE, NM 87113
 P: 505-797-1318



job no: 22-012
 drawn: EAM
 checked: J&Z
 date: July, 22, 2022

www.jeebsandzuzu.com
 GRADING AND DRAINAGE PLAN

9000 Veranda
 9000 Veranda Rd NE,
 Albuquerque, NM 87111
 sheet no: C-GD1.0