

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 9, 2025

Scott McGee, P.E.  
PO BOX 1273  
Elephant Butte, NM 87935

**RE: 9000 Veranda Rd. NE**  
**Grading & Drainage Plan**  
**Engineer's Stamp Date: 5/13/25**  
**Hydrology File: G20D052**  
**Case # HYDR -2025-00215**

Dear Mr. McGee:

Based upon the information provided in your submittal received 6/16/2025, the Grading and Drainage Plan is approved for Grading Permit and Building Permit. Please note that a pad certification is not needed for this project. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

NM 87103

2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the detention pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol

www.cabq.gov

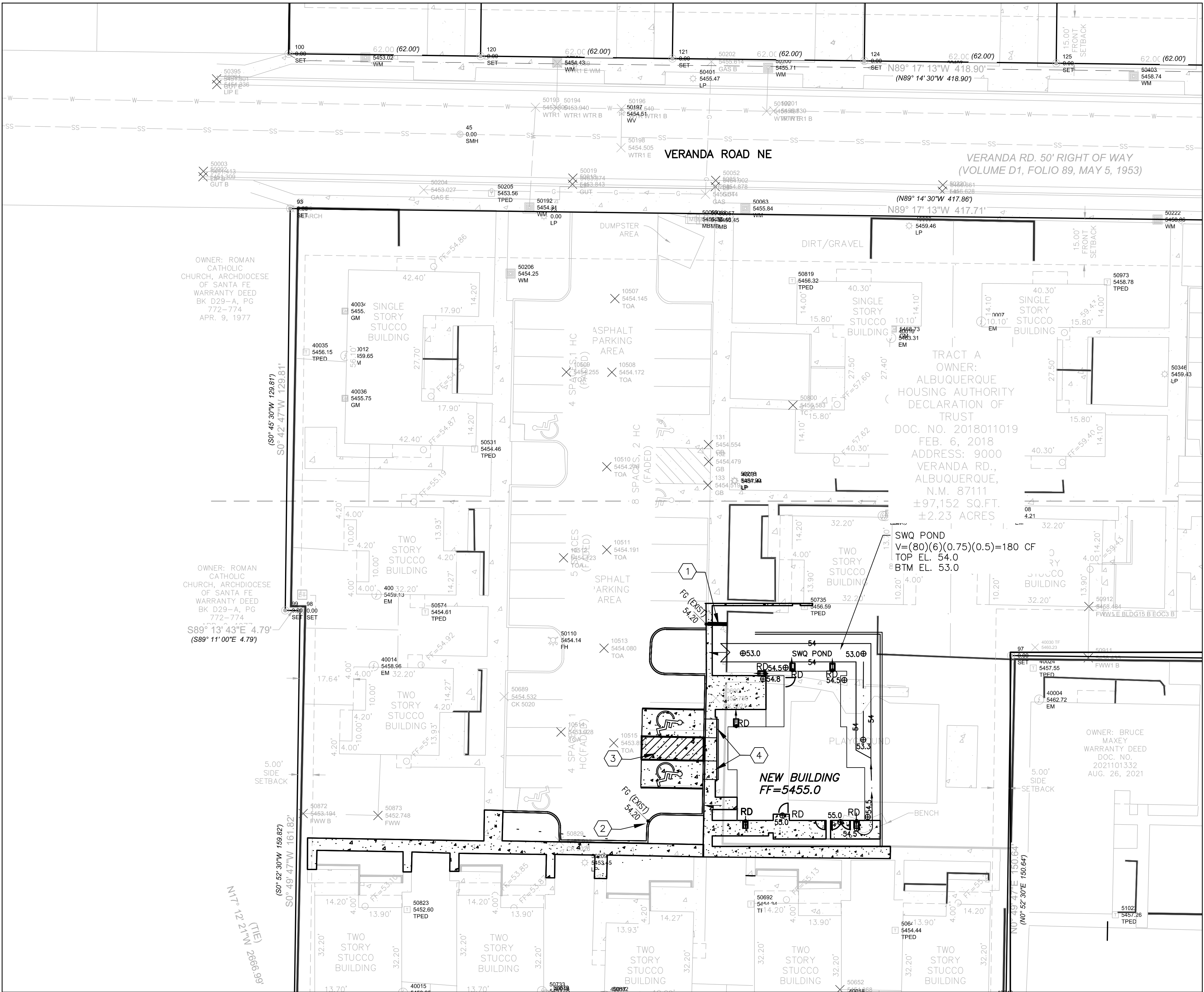
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

Anthony Montoya, Jr., P.E., CFM  
Senior Engineer, Hydrology  
Planning Department, Development Review Services

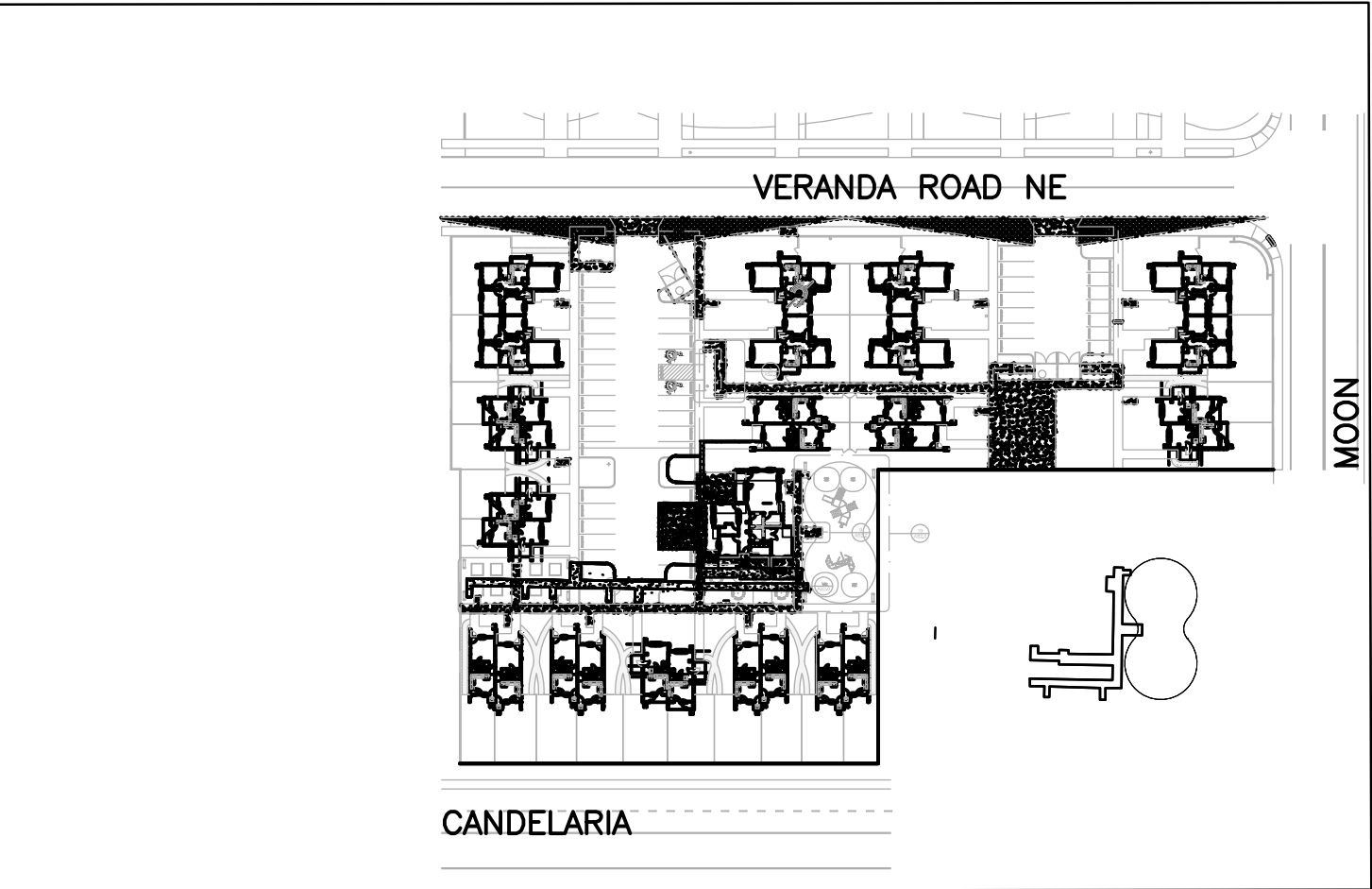




GRADING AND DRAINAGE PLAN

LEGEND

KEYED NOTES:



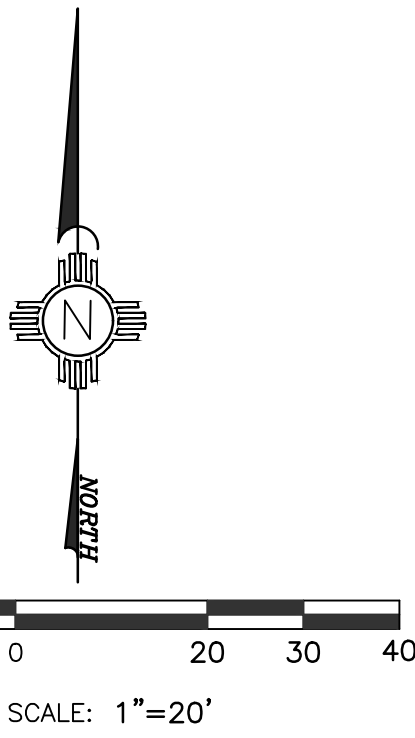
OVERALL SITE PLAN

SCALE: 1"=100'

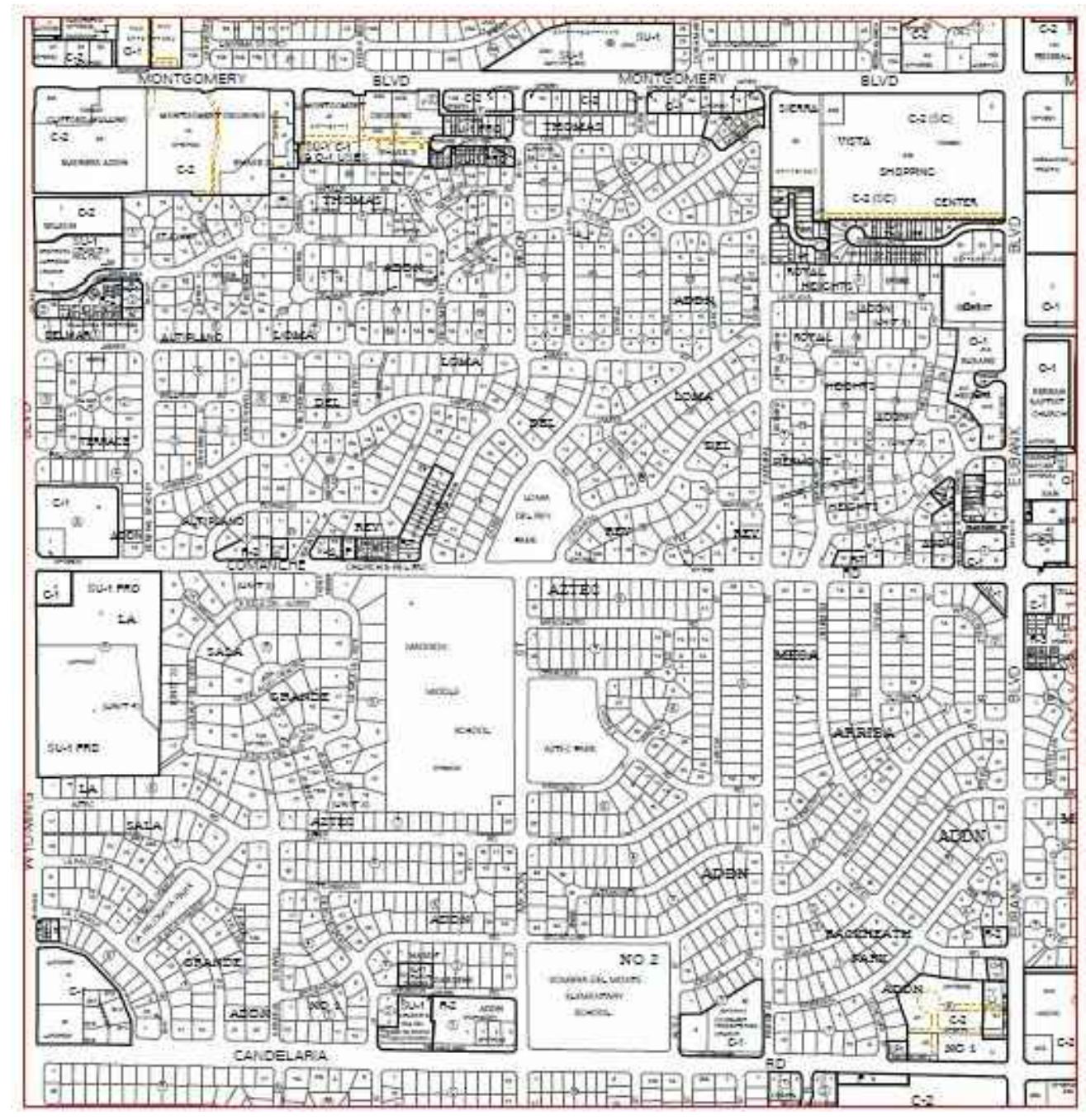
- PROPOSED SANITARY SEWER CLEAN OUT
- EXISTING GAS METER
- EXISTING TELEPHONE PEDISTAL
- EXISTING SANITARY SEWER MH
- EXISTING SANITARY SEWER CLEAN OUT
- EXISTING POWER POLE
- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT
- PROPOSED SLOPE AREA
- PROPOSED SPOT ELEVATION
- PROPOSED SIDEWALK CULVERT
- FG FINISH GRADE
- FL FLOWLINE

- 1 NEW 12" WIDE DRAINAGE SIDEWALK DRAINAGE CULVERT WITH STEEL TOP. SEE CITY OF ALBUQUERQUE STD DWG 2236
- 2 NEW 18" WIDE CURB CUT.
- 3 NEW HANDICAP PARKING 4" YELLOW STRIPE (TYP) IN ACCORDANCE WITH THE LATEST MUTCD.
- 4 NEW 6" CURB RAMPS.

City of Albuquerque  
Planning Department  
Development Review Services  
HYDROLOGY SECTION  
**APPROVED**  
DATE: 7/9/2025  
BY: [Signature]  
HydroToms #: G20D052  
THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.  
THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.



ZONE ATLAS



VICINITY MAP

G-20-Z

DRAINAGE ANALYSIS

ADDRESS: 9000 Veranda Rd NE, Albuquerque, NM

LEGAL DESCRIPTION: Tract 1 Nassif Gardens Addition Replat Lots 4-17

SITE AREA: 97,152 SF (2.23 AC) Disturbed area = 15,500 SF

BENCHMARK: City of Albuquerque Station '8-G20' being a brass cap. ELEV= 5447.12 (NAVD 1988)

SURVEYOR: Souder Miller & Assocs., dated January, 2023

PRECIPITATION ZONE: 3

FLOOD HAZARD: From FEMA Map 35001C0356G (8/16/12), this site is identified as being within Zone 'X' which is determined to be of minimal flood hazard.

OFFSITE FLOW: The site does not accept offsite flow as a paved public street runs along the north side of the site. Existing residential development abuts the remainder of the site.

EXISTING CONDITIONS: The site is currently developed as a multi-family development with 18 buildings and paved parking. The site slopes down to the west at 3-4% but existing parking areas intercept the runoff and discharge it north to Veranda Road NE.

PROPOSED IMPROVEMENTS: The proposed improvements include an 1,870 SF community building, minor removal and replacement of the asphalt paved access and parking, interior sidewalks, and areas of renovated landscaping.

DRAINAGE APPROACH: The site drainage pattern will direct new impervious flow to several onsite retention ponds for the Storm Water Quality (SWQ) volumes. Each area was used to calculate the SWQ volume based on re-development using 0.26" per SF to calculate volumes.

Existing land treatment: 79% C and 21% D  
 $Q = [(0.79)(3.17) + (.21)(4.49)](0.35) = 1.2 \text{ CFS}$   
Proposed land treatment: 58% C and 42% D  
 $Q = [(0.58)(3.17) + (.42)(4.49)](0.35) = 1.3 \text{ CFS}$

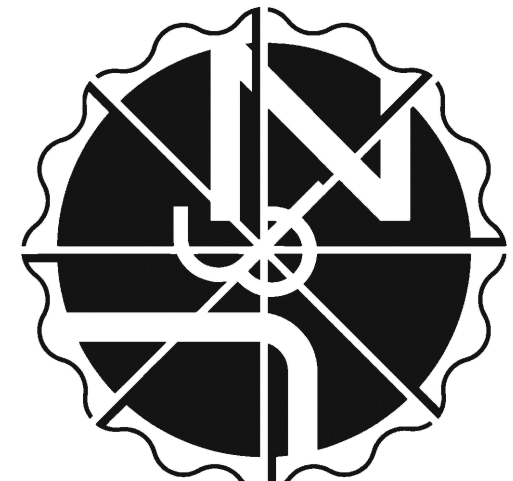
$SWQ \text{ V} = (6,510)(0.26/12) = 141 \text{ CF}$   
Total retention volume provided onsite is  $V = 180 \text{ CF}$   
The proposed retention pond area will contain the SWQ volume. Site runoff will not increase from the existing discharge rate.



JEEBS & ZUZU, LLC.

5924 ANAHEIM AVENUE NE SUITE 87113  
ALBUQUERQUE, NM 87113  
P: 505-797-1318

Architecture  
Construction  
Design—Build



job no: 22-012  
drawn: EAM  
checked: J&Z  
date: July, 22, 2022

www.jeebsandzuzu.com

GRADING AND DRAINAGE PLAN

9000 Veranda

9000 Veranda Rd NE,  
Albuquerque, NM 87111

sheet no:

C-GD1.0