

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 14, 2022

Edgar Mata
Jeebs & Zuzu LLC
11030 Menaul NE, Suite C
Albuquerque, NM 87112

Re: Veranda Apartments
9000 Veranda Rd. NE
Traffic Circulation Layout
Architect's Stamp 05-16-2022 (**G20-D052**)

Dear Mr. Mata,

The TCL submittal received 06-30-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Veranda Apartments **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: 1TR1 & N 30FT. VAC Candelaria Rd. Nassif Gardens Addn Replots 4 Thru 17in.
City Address: 9000 Veranda Rd. NE, Albuquerque NM 87111

Applicant: Jeebs & Zuzu LLC **Contact:** Edgar Mata
Address: 11630 Menaul Blvd. Suite C
Phone#: 505-797-1318 **Fax#:** _____ **E-mail:** edgar@jeebsandzuzu.com

Other Contact: _____ **Contact:** Dave Hickman
Address: _____
Phone#: 505-797-1318 **Fax#:** _____ **E-mail:** dave@jeebsandzuzu.com

TYPE OF DEVELOPMENT: _____ **PLAT (# of lots)** _____ **RESIDENCE** _____ **DRB SITE** _____ **ADMIN SITE** _____

IS THIS A RESUBMITTAL? ☒ **Yes** _____ **No** _____

DEPARTMENT ☒ **TRANSPORTATION** _____ **HYDROLOGY/DRAINAGE** _____

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☒ **TRAFFIC CIRCULATION LAYOUT (TCL)**
☐ **TRAFFIC IMPACT STUDY (TIS)**
☐ **STREET LIGHT LAYOUT**
☐ **OTHER (SPECIFY)** _____
☐ **PRE-DESIGN MEETING?**

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ **BUILDING PERMIT APPROVAL**
☐ **CERTIFICATE OF OCCUPANCY**
☐ **PRELIMINARY PLAT APPROVAL**
☐ **SITE PLAN FOR SUB'D APPROVAL**
☐ **SITE PLAN FOR BLDG. PERMIT APPROVAL**
☐ **FINAL PLAT APPROVAL**
☐ **SIA/ RELEASE OF FINANCIAL GUARANTEE**
☐ **FOUNDATION PERMIT APPROVAL**
☐ **GRADING PERMIT APPROVAL**
☐ **SO-19 APPROVAL**
☐ **PAVING PERMIT APPROVAL**
☐ **GRADING/ PAD CERTIFICATION**
☐ **WORK ORDER APPROVAL**
☐ **CLOMR/LOMR**
☐ **FLOODPLAIN DEVELOPMENT PERMIT**
☐ **OTHER (SPECIFY)** _____

DATE SUBMITTED: 5/16/22

By: [Signature]

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



June 21, 2022

Nilo Salgado Fernández
Senior Traffic Engineer
City of Albuquerque Planning Department

RE: Veranda Apartments – TCL Revision 2

Dear Mr. Salgado Fernandez,

Below is a list of comments you sent me on Tuesday, November 30, 2021. I've also referenced how those comments were addressed in the attached TCL plan:

1. Sidewalk (existing):
 - There are humps/bumps connecting sidewalk portion/segment throughout Veranda frontage on public sidewalk. This damage segment through frontage will need to be remove/repared/replaced due to the public safety issue for the City. Please identify these segments on your Site Plan. **Please see the bubbled sidewalk along Veranda which shows a dark concrete hatch. Those concrete sidewalks will be removed and replaced with new concrete sidewalk.**
 - Interior sidewalk on site is damaged, chipped/ tapered (6"-8"), uneven joints/connection and a safety concern to occupants. Please identify on Site Plan to be addressed/replaced in kind to have an even surface to compromised pedestrian movement through site. **Due to it being a city rehab project, there are limited funds and not enough to replace all sidewalks throughout. All of the sidewalks along the accessible route will be replaced and be made to meet ADA standards as well as any sidewalk that is a liability to the owner.**
2. Sheet TCL 1.0: The required parking stalls calculations for motorcycle and bicycle are not provided on your Parking Calcs. This will need to be shown. **Please see the updated parking calculations which show motorcycle and bicycle parking.**
3. Corner of Moon and Veranda ramp: Truncated domes will need to be installed (Detectable warning surfaces). A note will need to be provided. **Please see added note 29 as well as note 1/TCL1.3 for Truncated Dome Details.**
4. Detail 7/TCL 1.1:
 - Modify note to say 2% max for cross slope and 5% max for running slope. **Please see corrected note**
5. Detail 10/TCL 1.1:
 - Landing should read 2% max on all directions. **Please see corrected note.**

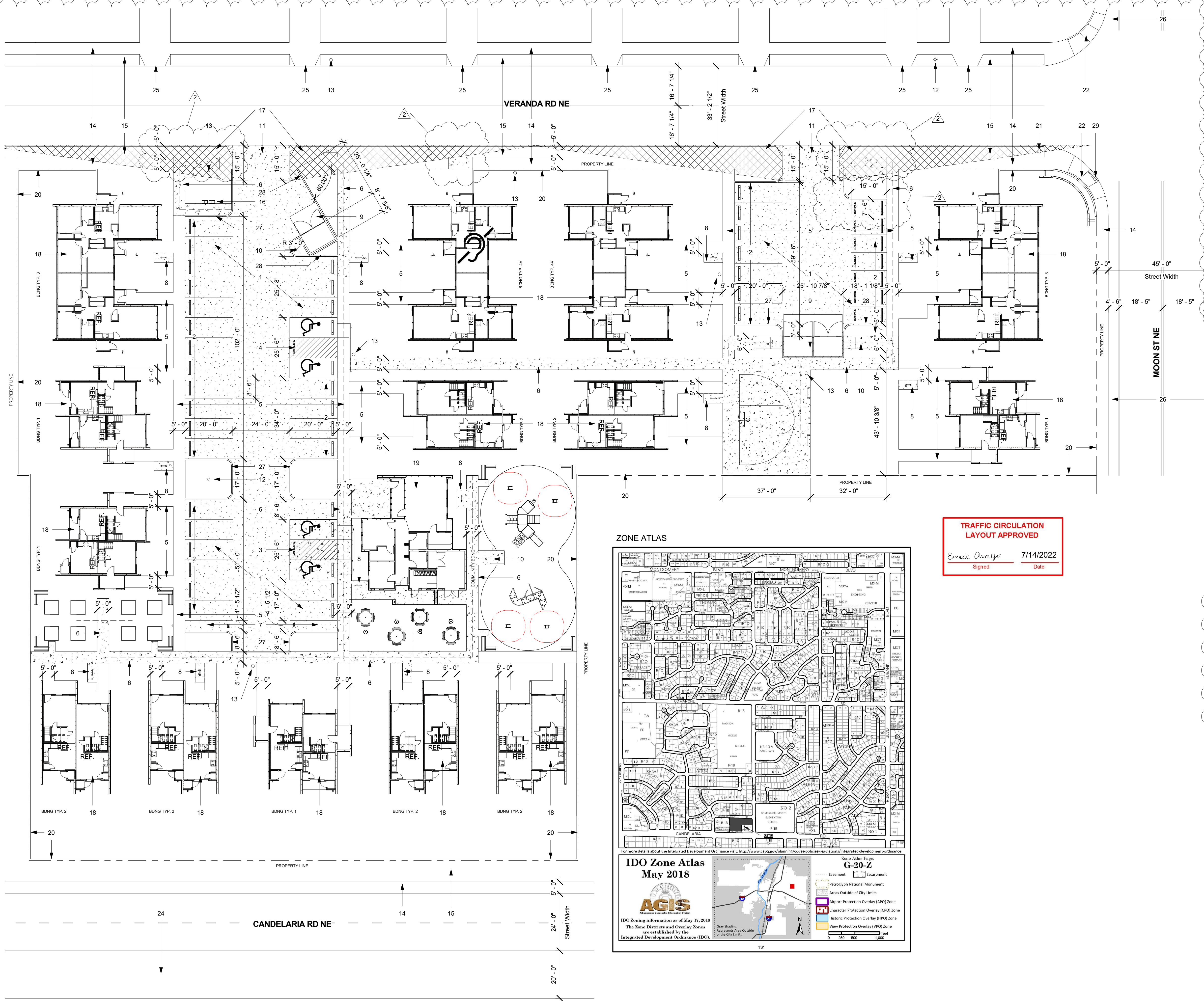


6. Bldg. 4v & JV: Between these building exists a ADA stall that has a ramp and a sign that are not current/updated ADA compliance. Will the ramp and signage be removed? **The curb ramp was recently done but contractor will ensure that it meets ADA Standards. Signs will also be removed and the right ones will be installed.**
7. The minimum parking stall dimensions are:
 - The minimum dimensions for compact are shown below but the widths are shown for these stalls. Please label and/or provide note specifying Compact dimension on your detail. **Dimensions were provided at compact car parking. The dimensions of a compact car are 15'-0" x 7'-6". Please see bubbled note.**

Please see the attached and corrected TCL plan. Please feel free to email me at edgar@jeebsandzuzu.com or contact me at 505-797-1318 if you have any questions in regard to this application.

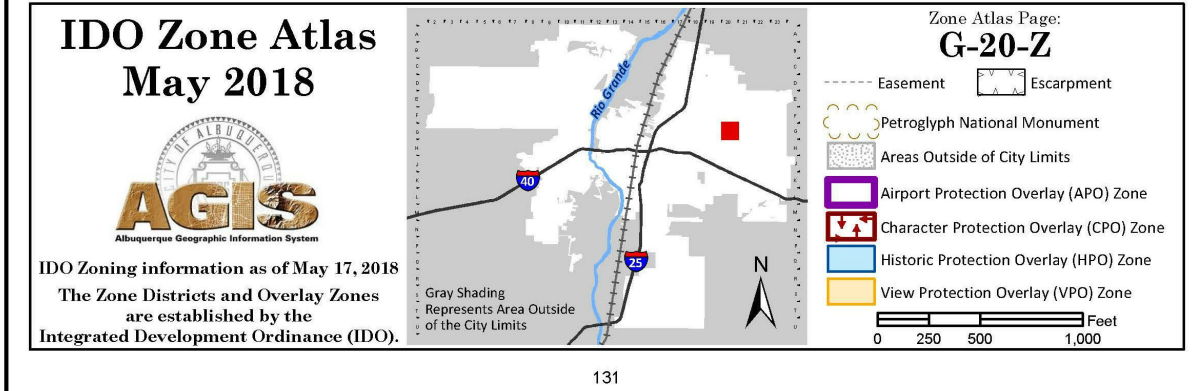
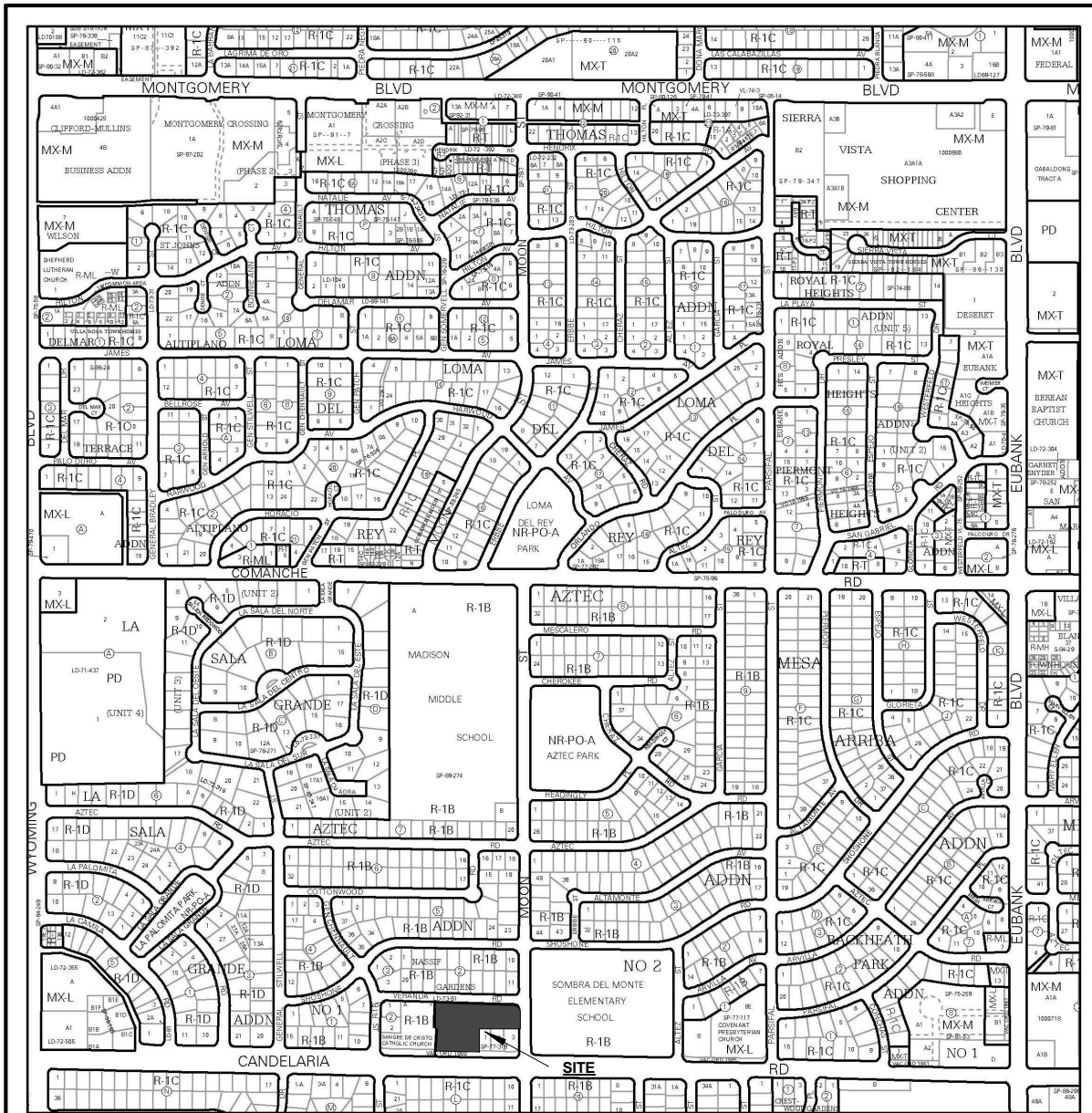
Sincerely,

Edgar Mata
Project Manager



1 TCL - Site Plan
1" = 20'-0"

ZONE ATLAS



TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Armijo 7/14/2022
Signed Date

KEYED NOTES:

1. RECOAT, SEAL, AND RESTRIPE EXISTING ASPHALT DRIVEWAY AND PARKING AREAS.
2. NEW STANDARD PARKING THROUGHOUT SITE TO BE A MINIMUM OF 8.5'X18' AS PER TABLE 7.4.77 OF DPM
3. NEW ADA CONCRETE PARKING PAD AND NEW CURB RAMP ONTO NEW SIDEWALK. SEE 5/TCL1.1 FOR DETAILS
4. EXISTING ADA CONCRETE PARKING PAD AND CURB RAMP TO REMAIN. EXISTING PARKING PAD WAS CONSTRUCTED A COUPLE OF YEARS AGO AND IT MEETS CURRENT DESIGN STANDARDS PER IDO.
5. EXISTING SIDEWALK AND CURBING TO REMAIN.
6. NEW 5' SIDEWALK AND CURB. SEE 14/TCL1.1 FOR DETAILS.
7. NEW MOTORCYCLE PARKING TO BE A MINIMUM OF 4'X8' PER TABLE 7.4.77 OF DPM. SEE 2 & 9/TCL1.1 FOR DETAILS.
8. NEW SURFACE MOUNTED BICYCLE RACKS. SEE 3 & 4/TCL1.1 FOR DETAILS
9. NEW CMU REFUSE / RECYCLING ENCLOSURES.
10. NEW CONCRETE CURB RAMP FROM REFUSE / RECYCLING ENCLOSURE TO NEW SIDEWALK AND FROM NEW SIDEWALK ONTO NEW PLAYGROUND SURFACE. SEE 6/TCL1.1 FOR DETAILS.
11. DEMO AND RECONSTRUCT DRIVE PAD ONTO SITE. DRIVE PAD TO BE CONSTRUCTED PER DPM. SEE 7/TCL1.1 FOR DETAILS.
12. EXISTING FIRE HYDRANT TO REMAIN.
13. EXISTING SITE LIGHT POLE TO REMAIN.
14. EXISTING PUBLIC SIDEWALK TO REMAIN.
15. RELOCATE EXISTING MAIL CENTER TO NEW LOCATION. PAD IN FRONT OF MAIL CENTER TO MEET ACCESSIBILITY STANDARDS. SEE 8/TCL1.1 FOR DETAILS.
16. SIGHT TRIANGLE PER DPM TABLE 7.5.60 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
17. EXISTING RESIDENTIAL UNITS TO REMAIN.
18. NEW COMMUNITY BUILDING.
19. EXISTING CMU WALL TO REMAIN.
20. EXISTING STOP SIGN TO REMAIN.
21. EXISTING PUBLIC CURB RAMP TO REMAIN.
22. NEW CONCRETE 6" CURB. SEE 13/TCL1.1 FOR DETAILS.
23. EXISTING MEDIAN.
24. EXISTING CURB CUTS ONTO ADJACENT PROPERTIES.
25. BIKE LANE.
26. EXISTING CURB TO REMAIN.
27. NEW CONCRETE CURB. SEE 13/TCL1.1 FOR DETAILS
28. NEW TRUNCATED DOMES TO BE INSTALLED. SEE 1/TCL1.2 FOR DETAIL.

PROJECT INFORMATION:

LEGAL DESCRIPTION	1 TR 1 & N 30FT VAC CANDELARIA RD NASSIF GARDENS ADDN REPL LOTS 4 THRU 17 IN
UPC	102006023702030602
ACRES	3.24
ZONING	R-ML
ACTUAL USE	R2
CONSTRUCTION TYPE	VB - NON SPRINKLED
ALTERATION LEVEL	ALTERATION LEVEL 1

UNIT & BUILDING MATRIX:

Building Units:	(gross)	(net)	Subtotal (gross)	(net)
BLDG TYP 1:				
Two Bed	2	1,051 sf 783 sf	2,102 sf	1,566 sf
Total Building	4		8,408 sf	6,264 sf
BLDG TYP 2:				
Three Bedroom	2	1,080 sf 942 sf	2,160 sf	1,884 sf
Total Building	6		12,960 sf	11,304 sf
BLDG TYP 3:				
Three Bedroom	2	1,089 sf 909 sf	2,178 sf	1,818 sf
Total Building	2		4,356 sf	3,636 sf
BLDG TYP 4:				
Two Bedroom	2	860 sf 791 sf	1,720 sf	1,582 sf
Total Building	2		3,440 sf	3,164 sf
COMM BLDG:				
Comm Bldg.	1	1,871 sf 1,291 sf	1,871 sf	1,291 sf
Total Building	1		1,871 sf	1,291 sf
Two Bedroom	12			
Three Bedroom	16			
Total	28		31,035 sf	25,659 sf

PARKING CALC:

PARKING REQUIREMENTS PER INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 5(5)(B) APPLICABILITY-

UPDATED PARKING REQUIREMENTS PER IDO
1.5 PARKING SPACE PER UNIT

28 TOTAL UNITS X 1.5 SPACES = 42 PARKING SPACES REQUIRED
STANDARD SPACES PROVIDED 35 SPACES
ACCESSIBILITY SPACES - 2 SPACES
COMPACT SPACES - 7 SPACES
TOTAL SPACES - 46 PARKING SPACES PROVIDED

MOTORCYCLE PARKING
2 SPACES REQ. (PER IDO) PER 26-50 VEHICLE PARKING SPACES 2 MOTORCYCLE SPACES PROVIDED
BICYCLE PARKING
3 SPACES OR 10% OF REQ VEHICLE PARKING SPACES 5 BICYCLE SPACES REQUIRED
24 BICYCLE SPACES PROVIDED

GENERAL NOTES:

ZONING ORDINANCE ANALYSIS: (INTEGRATED DEVELOPMENT ORDINANCE - IDO)

IDO: Applicable Sections of the IDO include:

Part 5-6 Landscaping Buffering, and Screening

(4) Renovation or redevelopment of an existing multi-family, mixed-use, or nonresidential primary building, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, as indicated by building permits, is \$500,000 or more.

5-6(C)(2)(a) A minimum of 15 percent of the net lot area of each development shall contain landscaping. - See Landscaping Plan

Part 5-12 Signs (Erection of Monument Sign - To be Completed under Separate Permit)
5-12(B)(1) This Section 14-16-5-12 shall apply to the erection of all signs located outside of, or located within but designed to be viewed from outside of, a structure in any zone district, unless specifically exempted by this IDO. - Signs to be approved under separate permit

NOTE: The following Section of the IDO is NOT APPLICABLE

Part 5-5 Parking and Loading

(B) Applicability. (Explanation of lack of applicability)

5-5(B)(1)(a) - Construction of a new primary building. - (The New Leasing Office Building will contain the leasing function and manager's office for the existing complex. In this case, the office, lobby, maintenance, and community spaces are all ACCESSORY uses to the property's primary residential use. This is not a new Primary Use building.)

5-5(B)(1)(b) - Expansion of an existing building - (No existing buildings are being expanded or will receive increased areas.)

5-5(B)(1)(c) - A change in use of an existing primary use building - (No changes in use are being considered.)

5-5(B)(1)(d) - A change in use of a nonconforming existing primary use building - (No changes in use are being considered.)

Therefore, the provisions of this part of the IDO are not applicable and changes in the number of parking spaces provided are not required.

GENERAL NOTES:

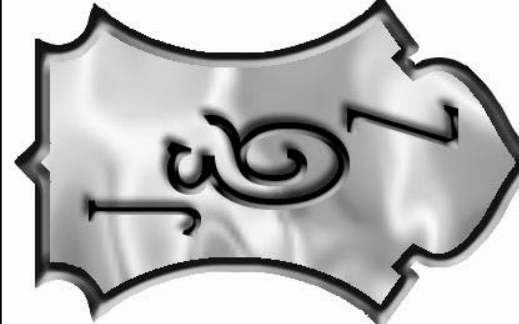
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC 2015, UMC 2015, UPC 2015, NEC 2017, ANSI A117.1-2009 AND IN ACCORDANCE WITH LOCAL PERMIT REQUIREMENTS. SUBCONTRACTORS SHALL VERIFY LOCAL REQUIREMENTS.
2. ALL UTILITIES (PRIVATE AND PUBLIC) AND ACCESS CONNECTIONS SHALL BE COORDINATED. FEES PAID AND CONSTRUCTION INSTALLED AS REQUIRED BY GOVERNING AGENCIES OR COMPANY. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFIC PERMIT, APPROVALS AND PAYING ALL FEES AND TAXES.
3. ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER AND PER CITY STANDARD DWG 2430 AND 2415A.



JEBDS & ZUZU, LLC.

ARCHITECTS & CONTRACTORS
MAKING HOUSE CALLS

SUITE C
11030 MENAUL NE
ALBUQUERQUE, NM 87112
P: 505-797-1318



job no: 22-012

drawn: EAM

checked: J&Z

date: May 16, 2022

1 EAM 6-13-22
2 EAM 6-21-22

TRAFFIC CIRCULATION LAYOUT

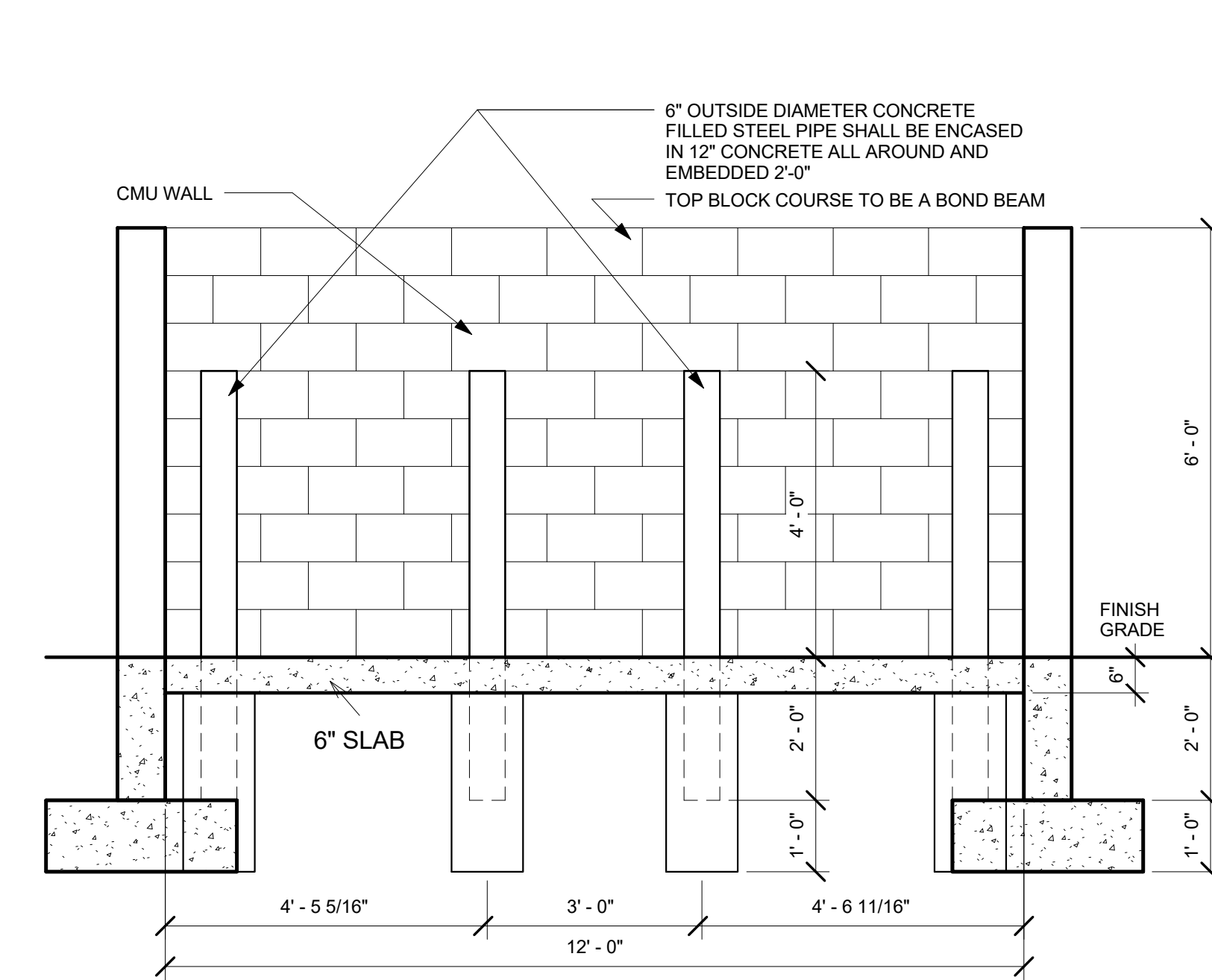
9000 VERANDA

2000 VERANDA RD NE,
ALBUQUERQUE, NM 87111

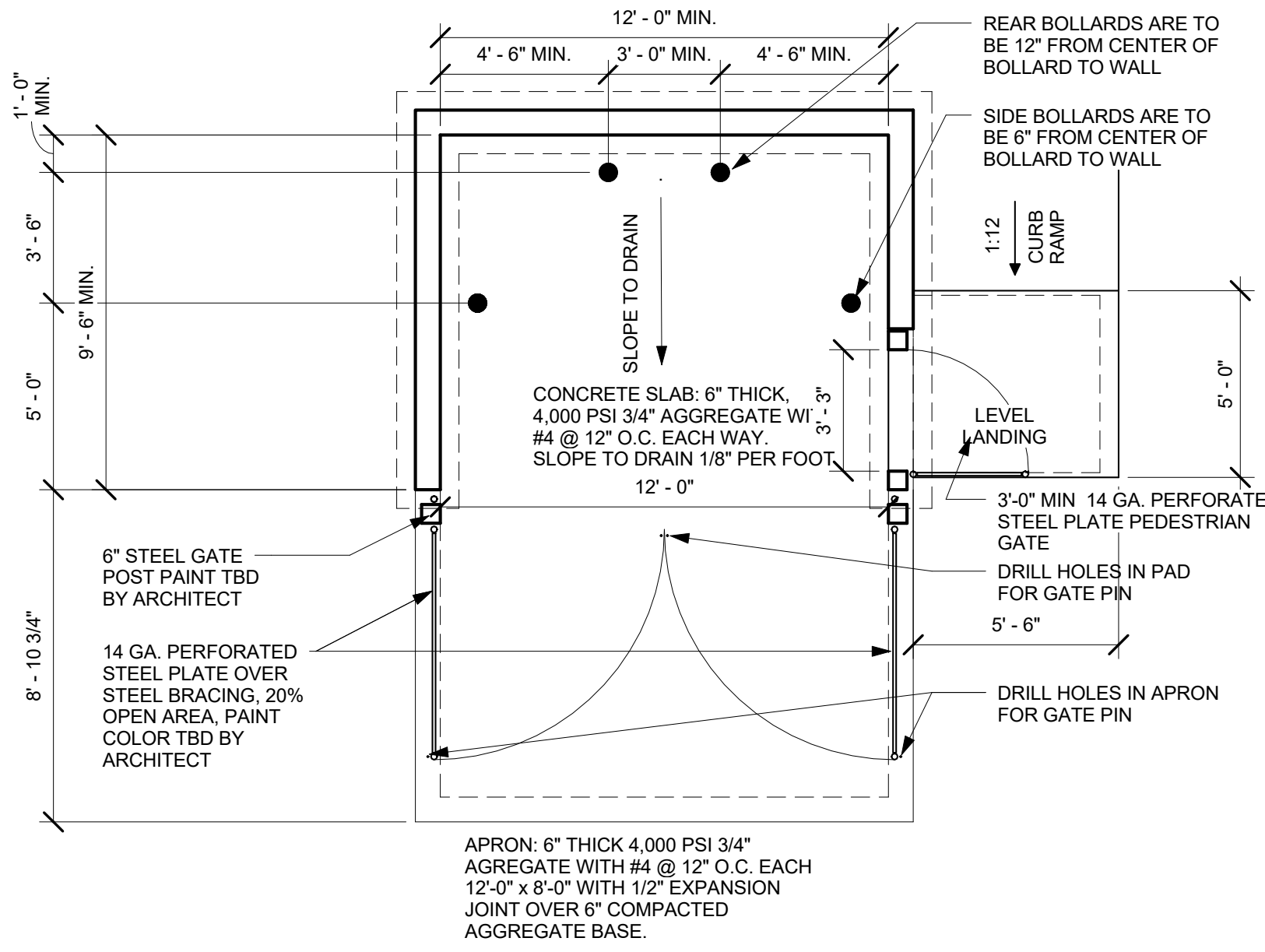
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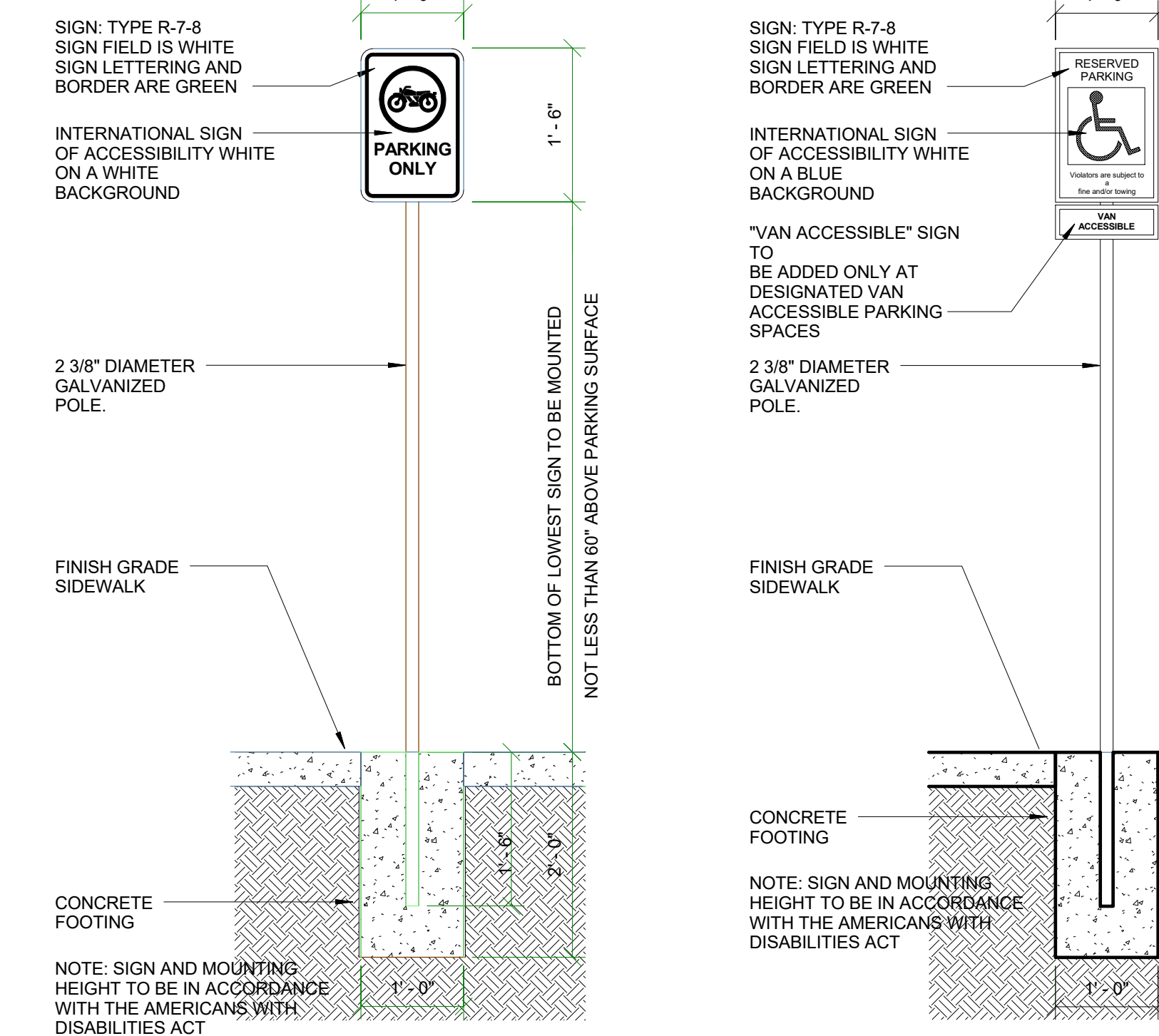
WWW.JEBDSANDZUZU.COM



15 Trash Enclosure Section Detail
1/2" = 1'-0"

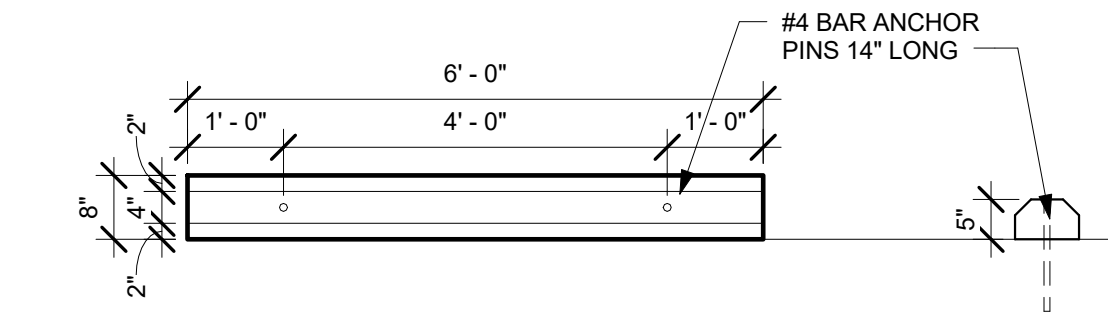


8 Single Refuse Enclosure Detail
1/4" = 1'-0"

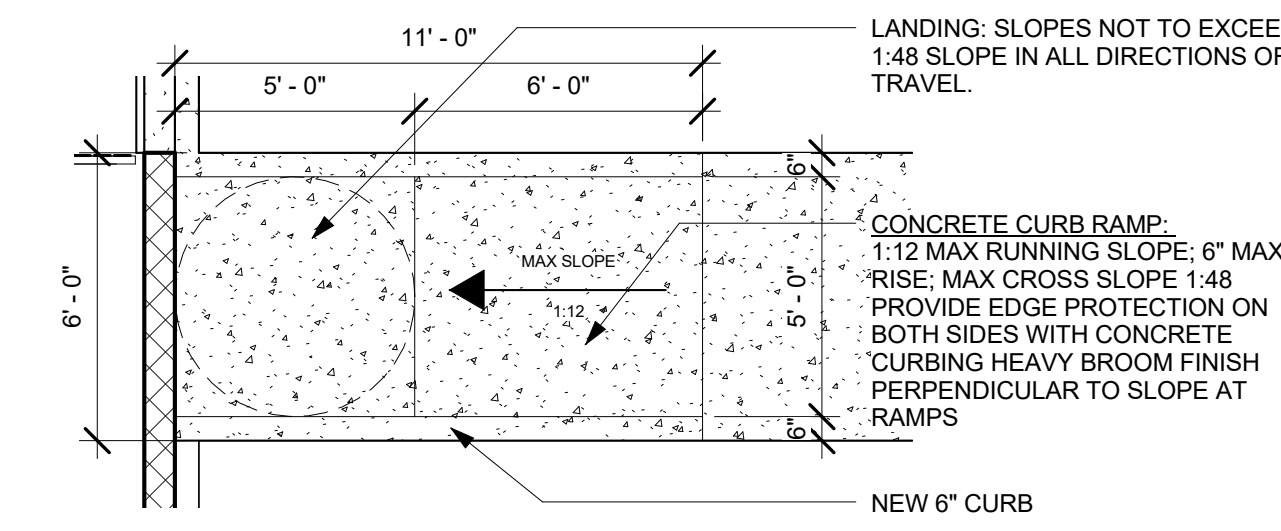


2 Motorcycle Sign
3/4" = 1'-0"

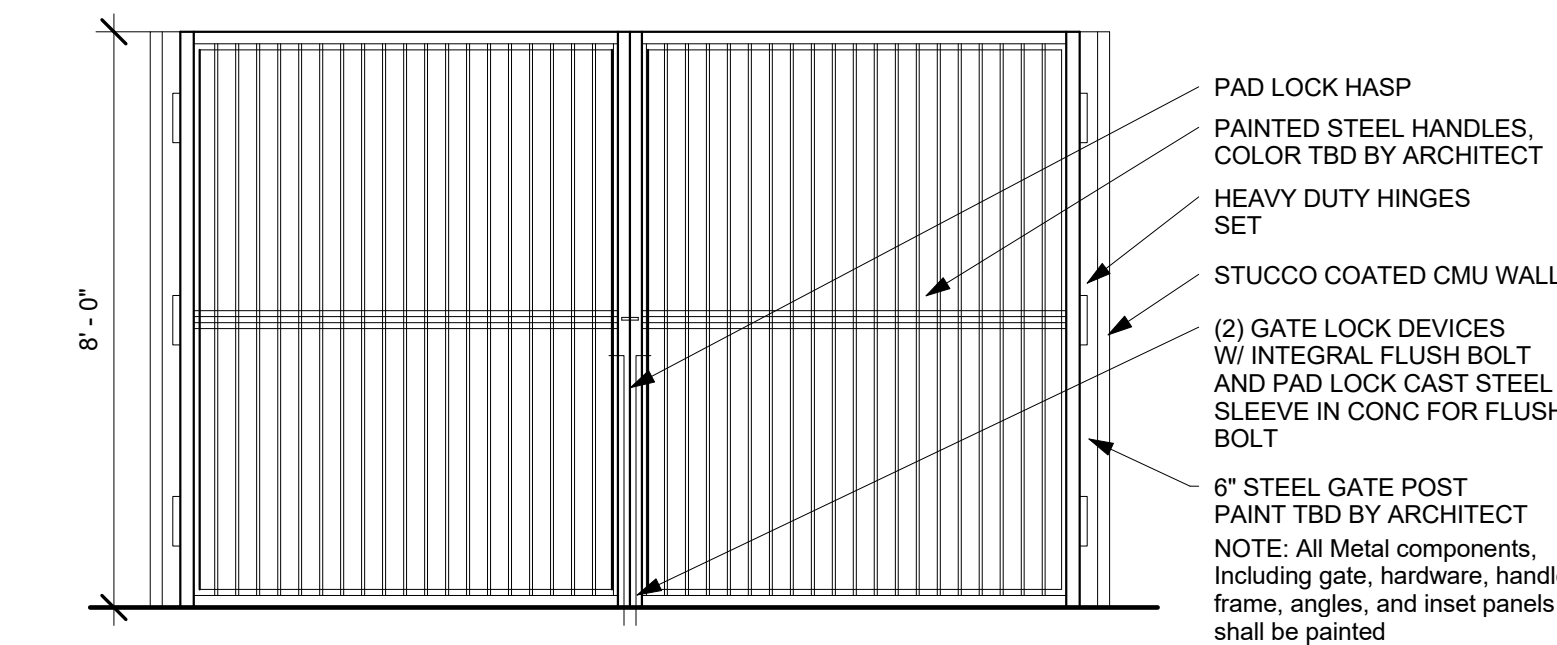
1 ADA Parking Signage
3/4" = 1'-0"



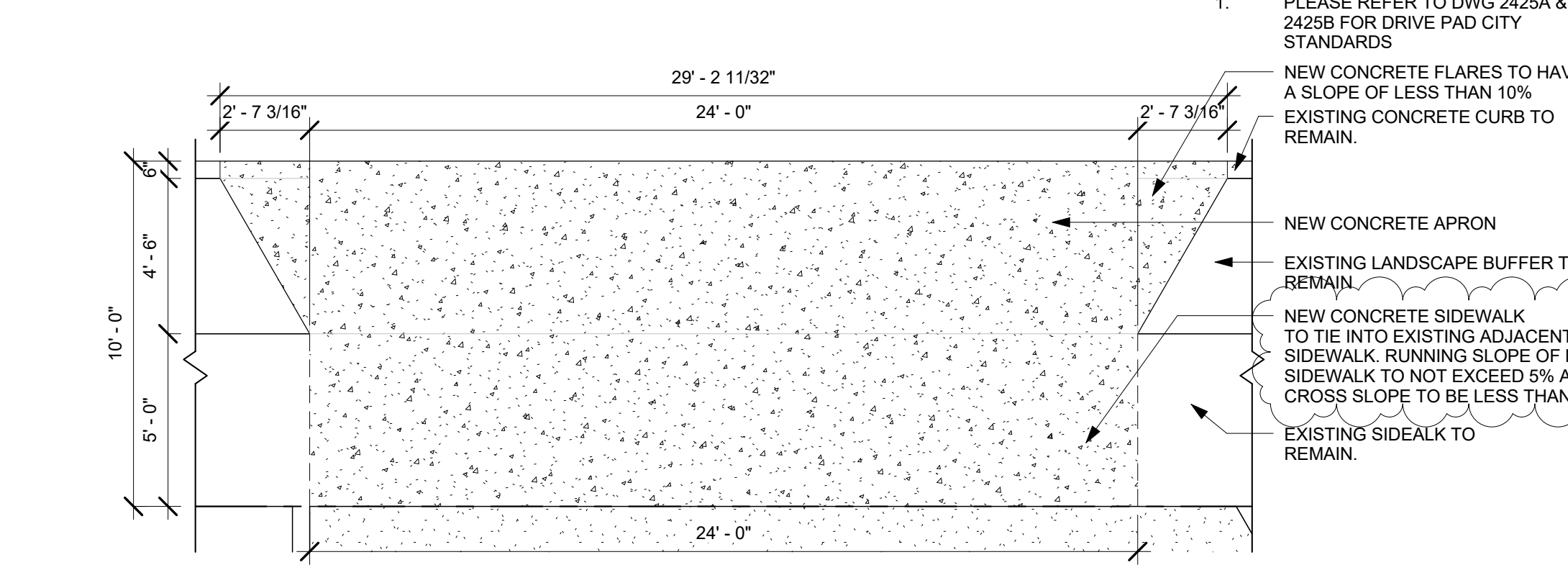
12 Concrete Bumper Detail
1/2" = 1'-0"



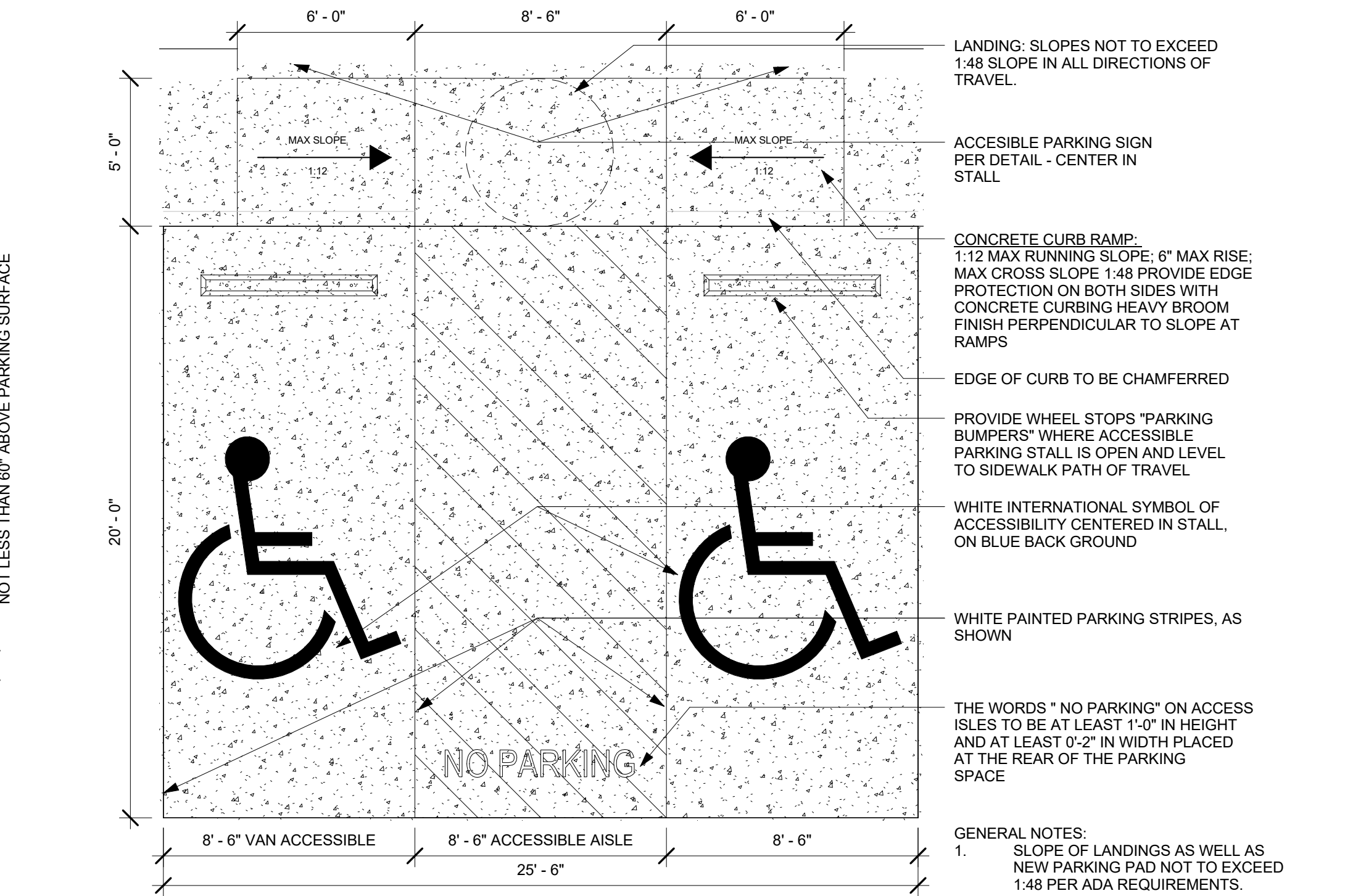
6 Concrete Curb Ramp
1/4" = 1'-0"



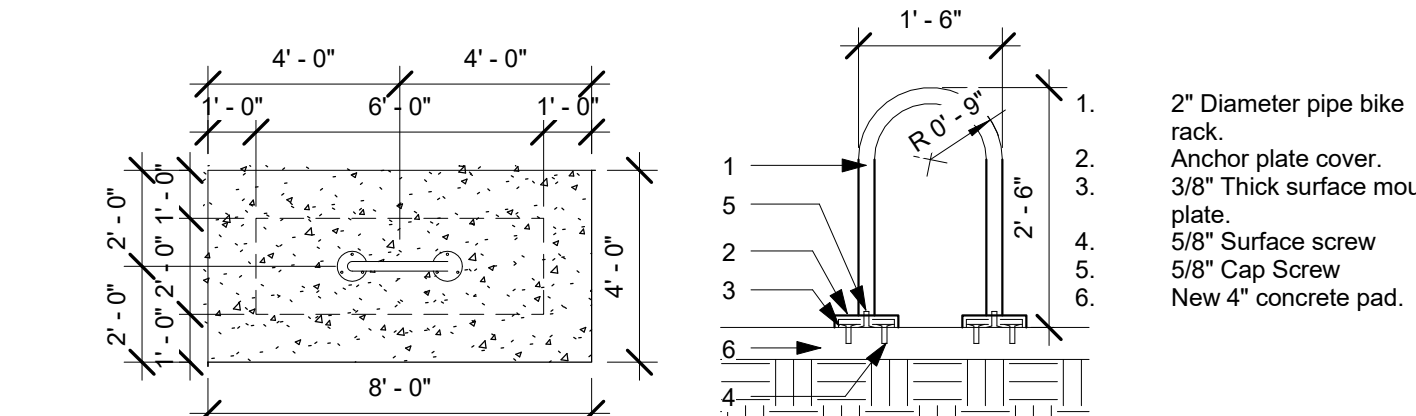
16 Trash Enclosure Gate Elevation
3/8" = 1'-0"



7 Concrete Drive Pad
1/4" = 1'-0"

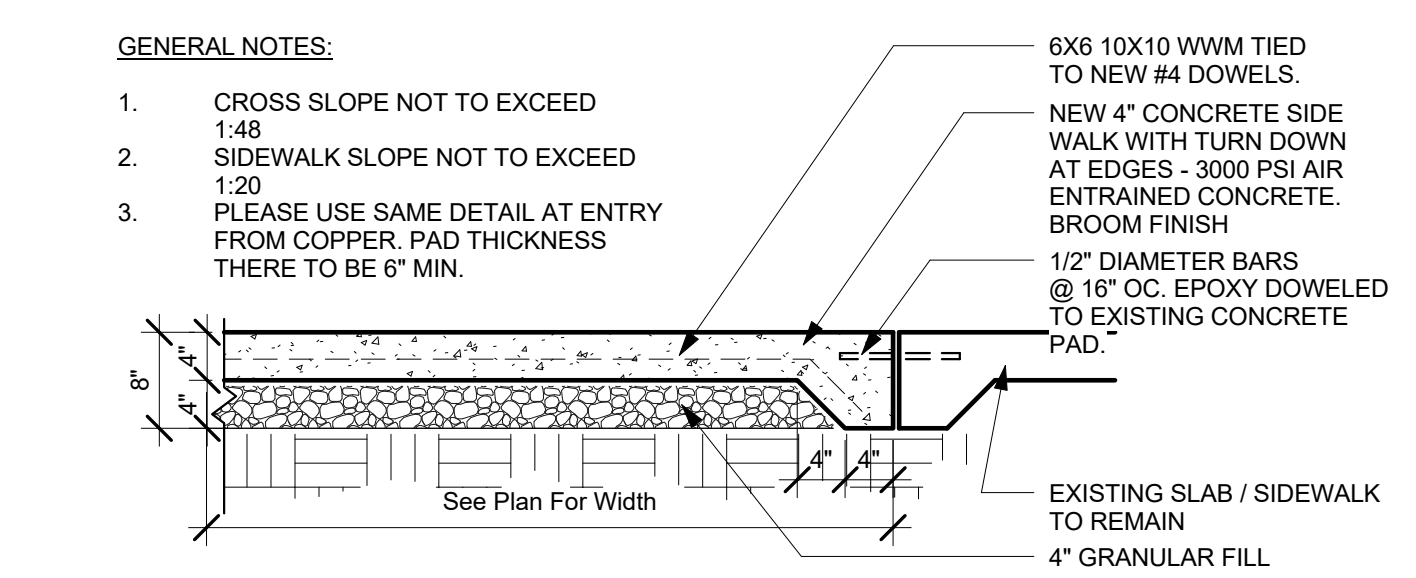


5 ADA Parking Plan
1/4" = 1'-0"

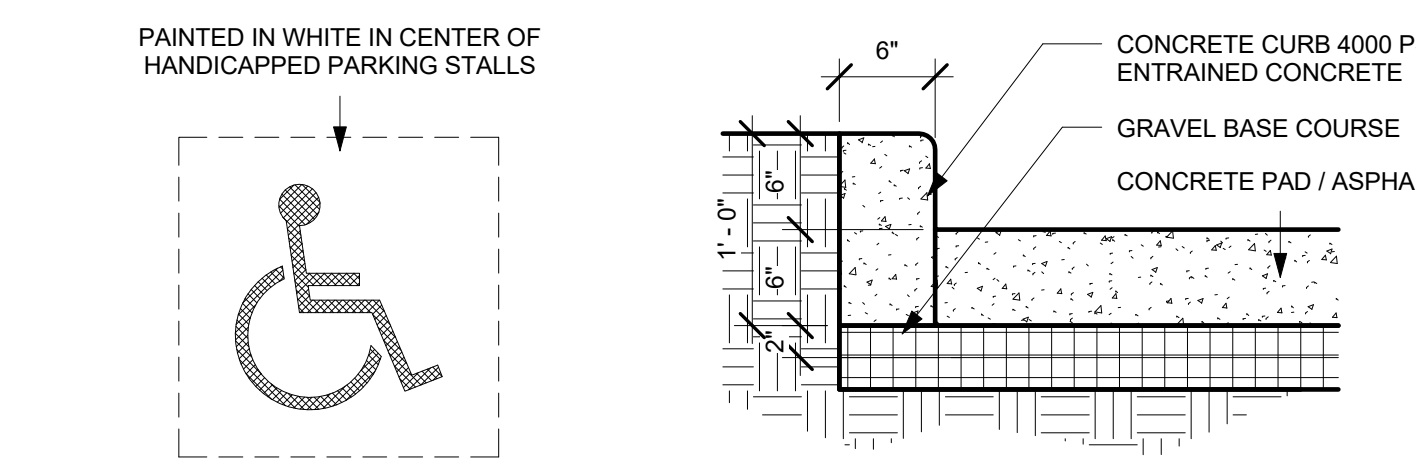


3 Bike Rack Plans
1/4" = 1'-0"

4 Bike Rack Detail
1/2" = 1'-0"

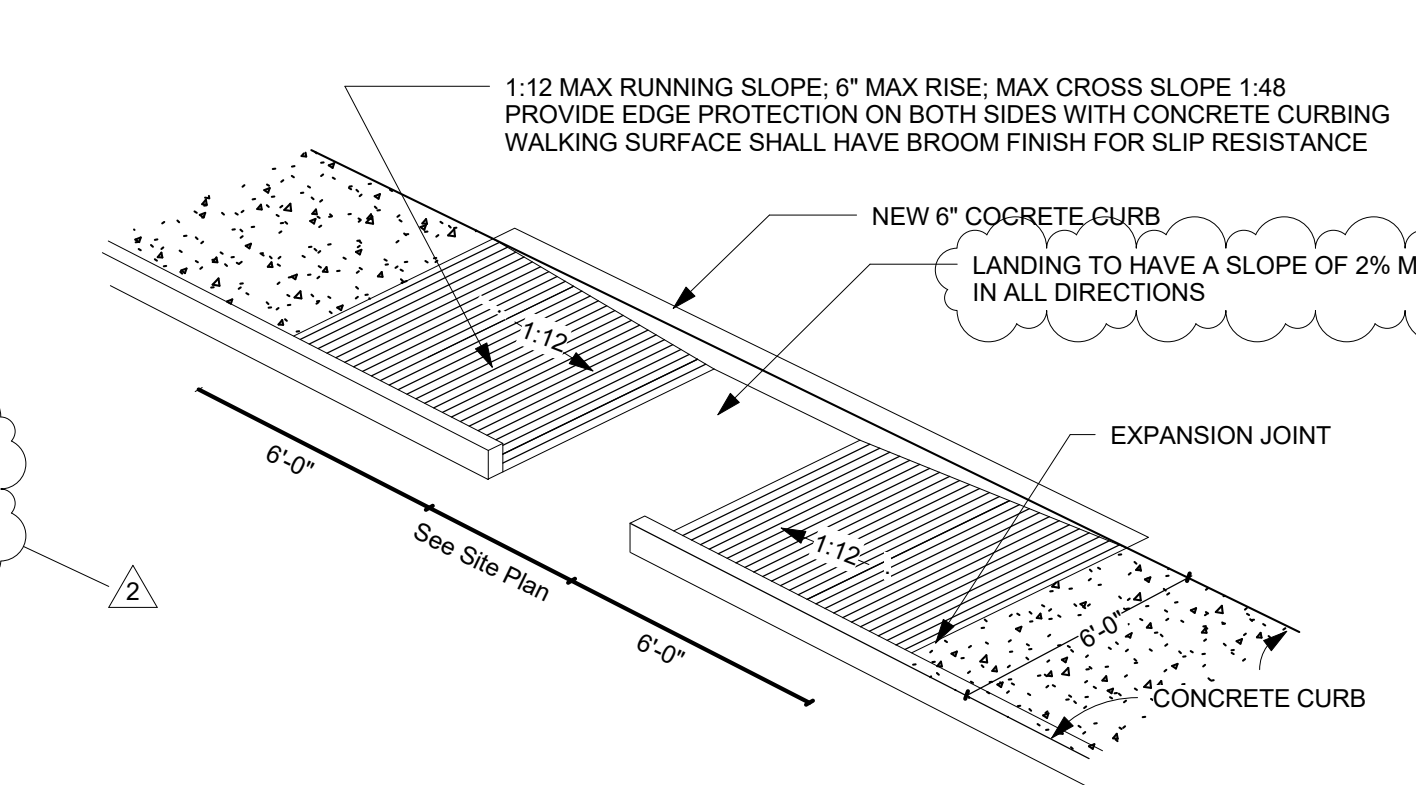


14 Sidewalk Detail
3/4" = 1'-0"

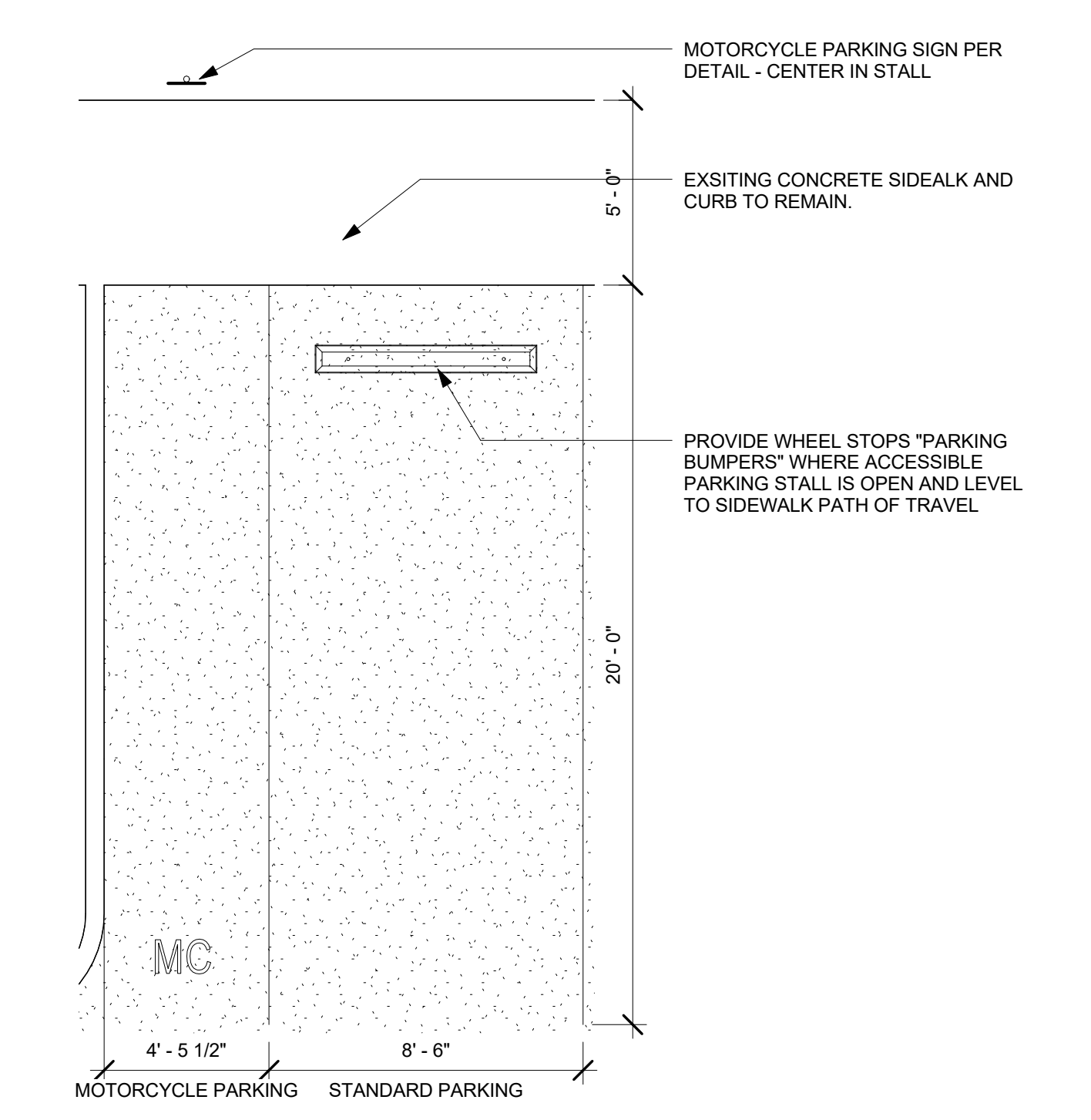


11 Accessible Parking Space Marking
1/4" = 1'-0"

13 Curb Section Detail
1" = 1'-0"

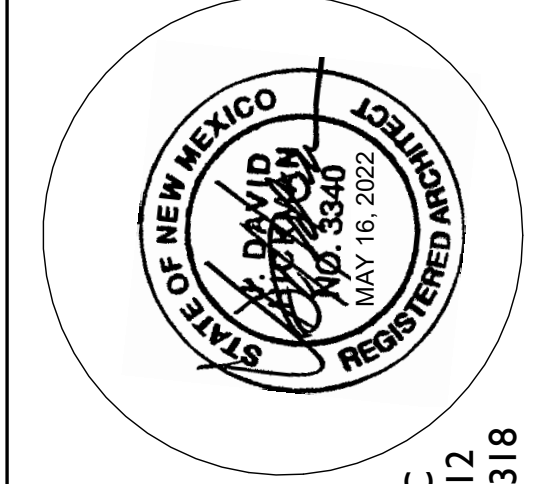


10 Curb Ramp Detail
1/4" = 1'-0"

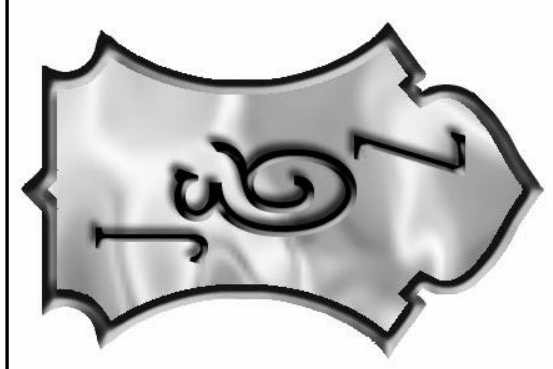


9 Standard & Motorcycle Parking Detail
1/4" = 1'-0"

"EASY AS PIE"



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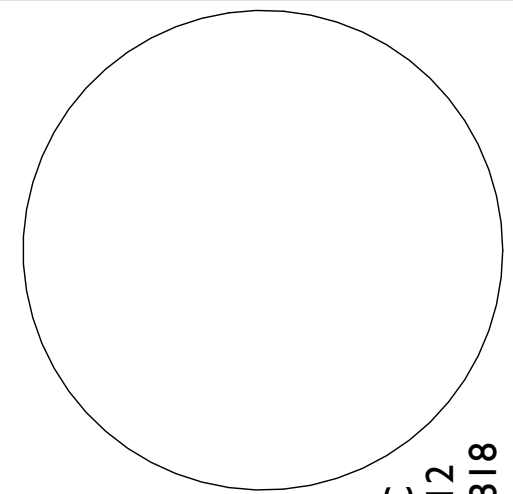
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TRAFFIC CIRCULATION LAYOUT DETAILS
9000 VERANDA
2000 VERANDA RD NE,
ALBUQUERQUE, NM 87111
sheet no:

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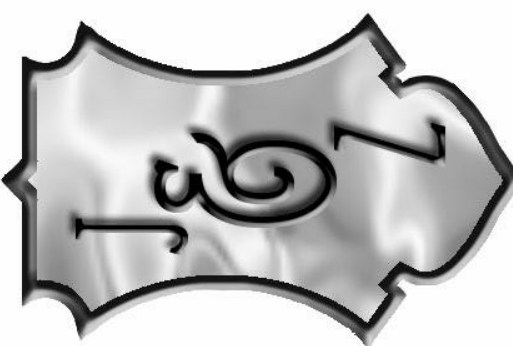


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11030 MENAUL NE SUITE C
ALBUQUERQUE, NM 87112
P: 505-797-1318



job no: 22-012

drawn: Author

checked: Checker

date: May 16, 2022

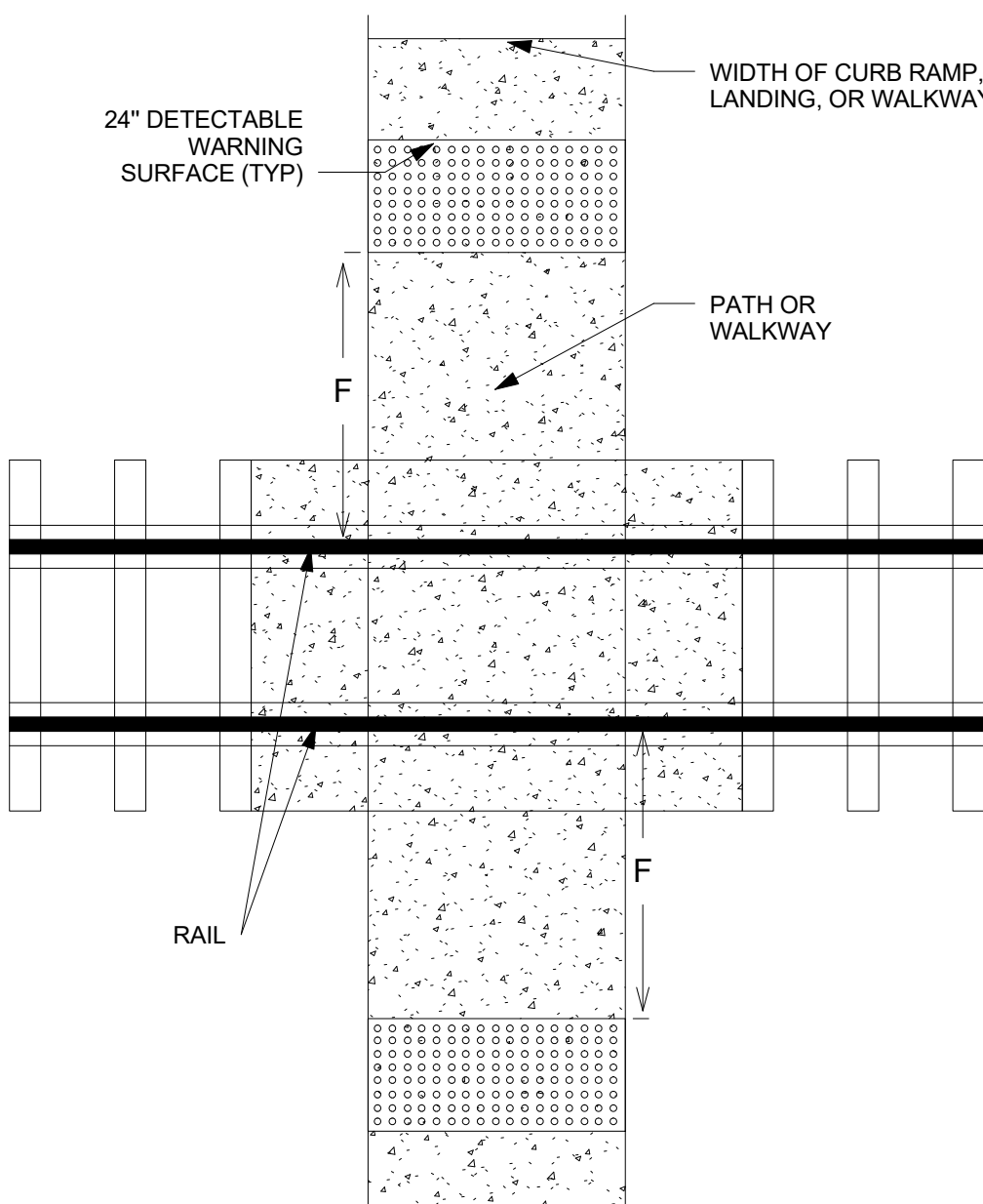
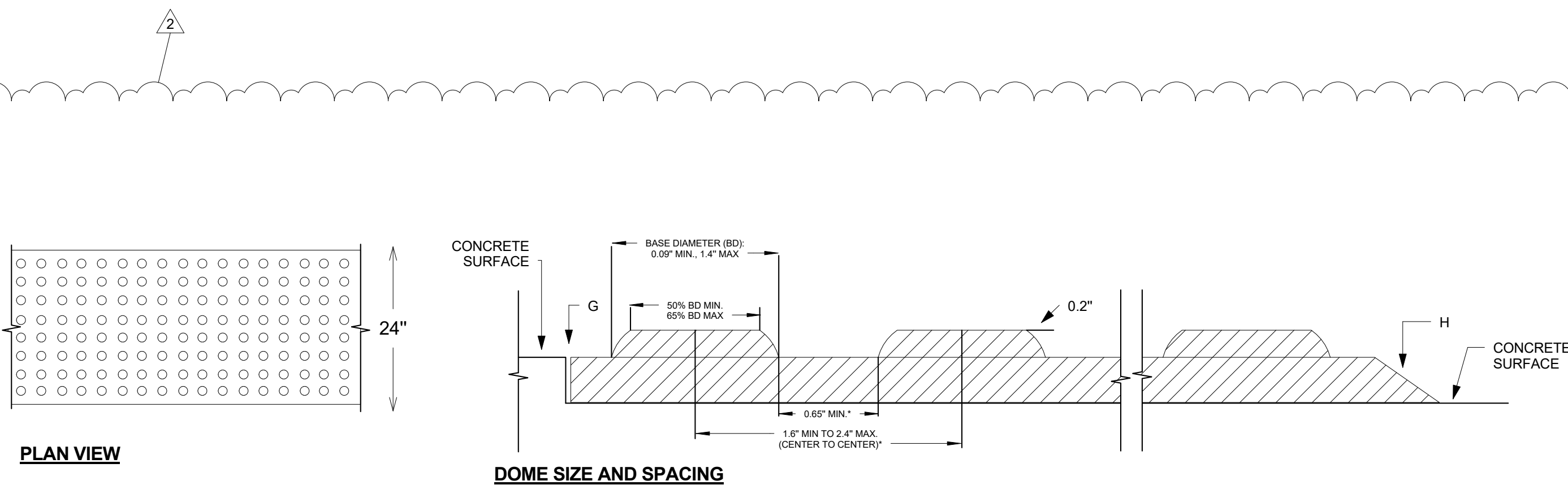
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6-21-22

9000 VERANDA

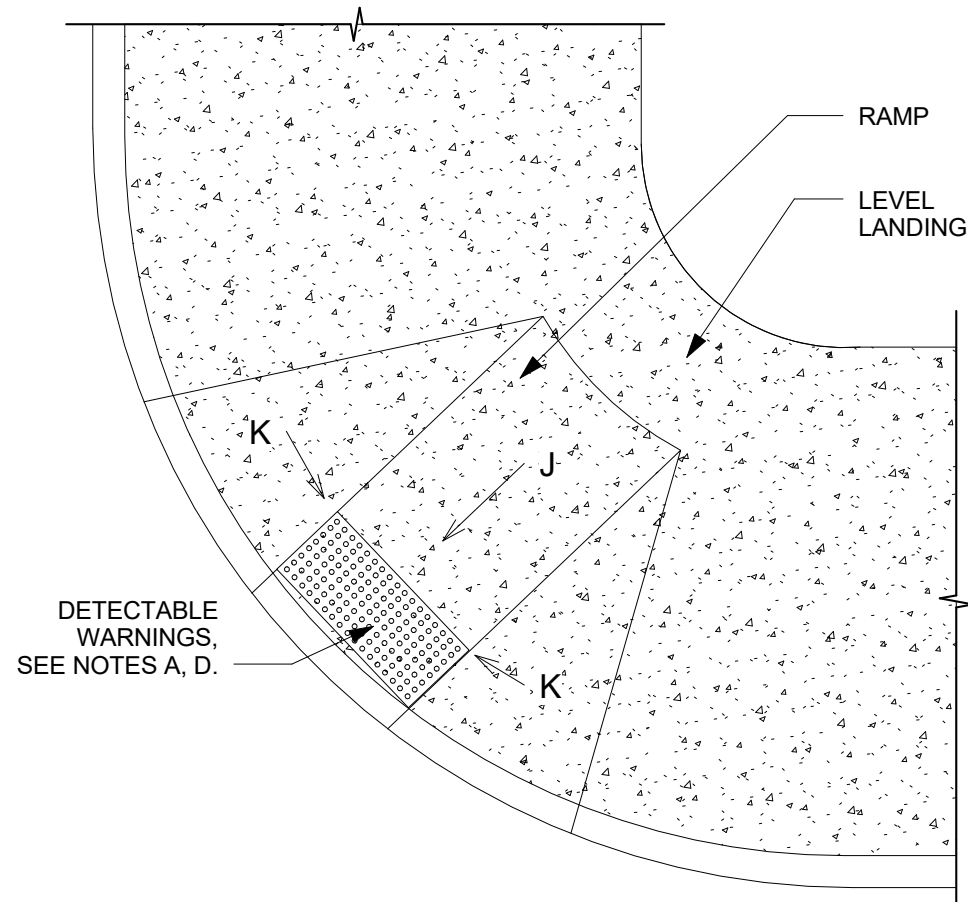
9000 VERANDA RD NE,
ALBUQUERQUE, NM 87111

sheet no:

TCL12

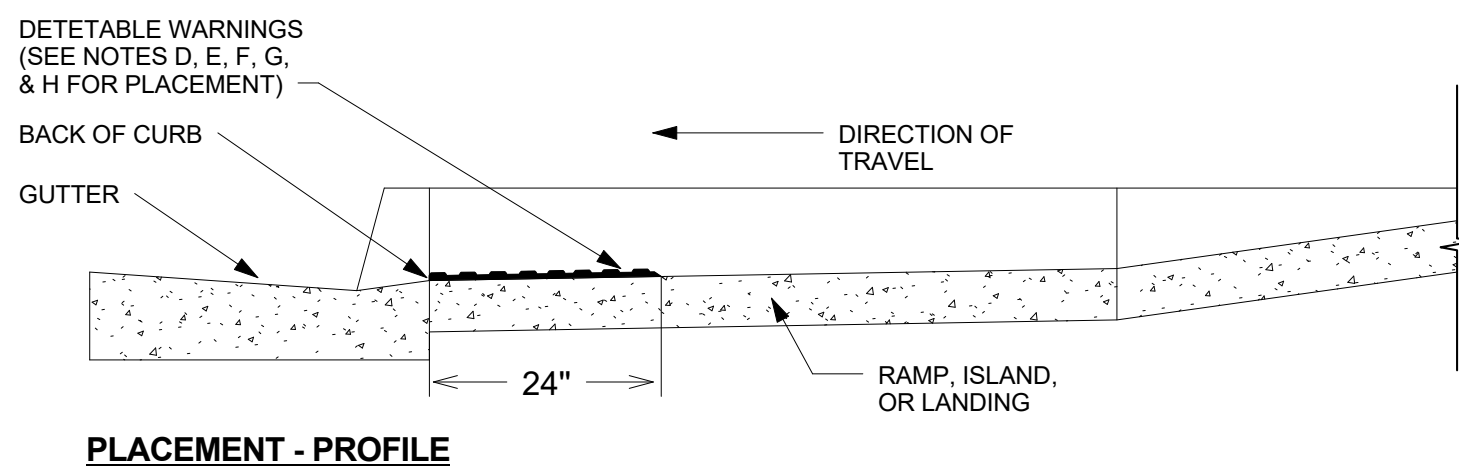


PEDESTRIAN AT-GRADE
RAIL CROSSINGS

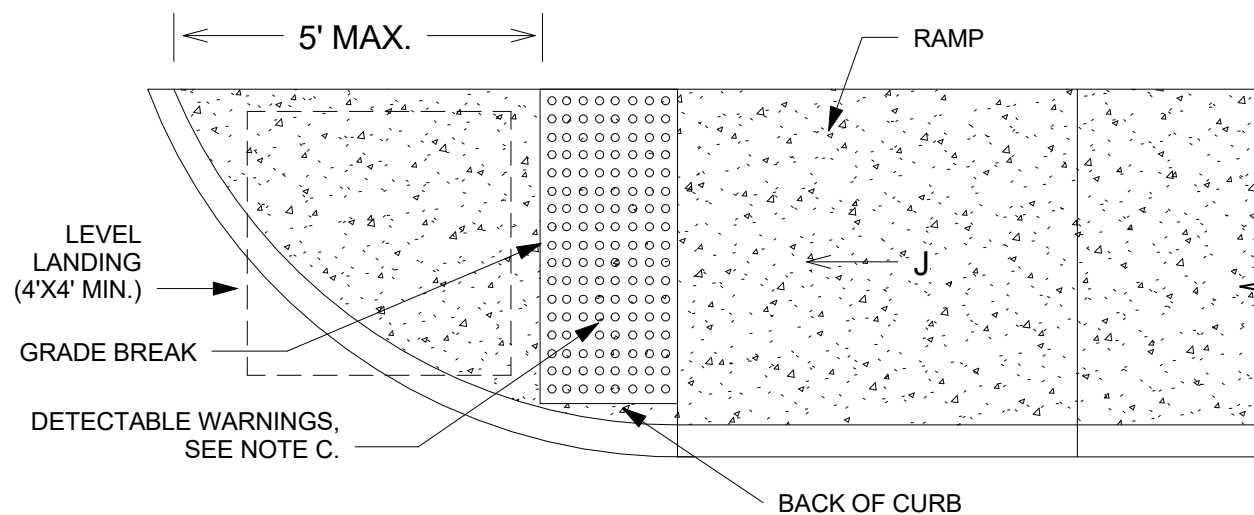


PLACEMENT ON PERPENDICULAR CURB
RAMP WITH FLARED SIDED SLOPES

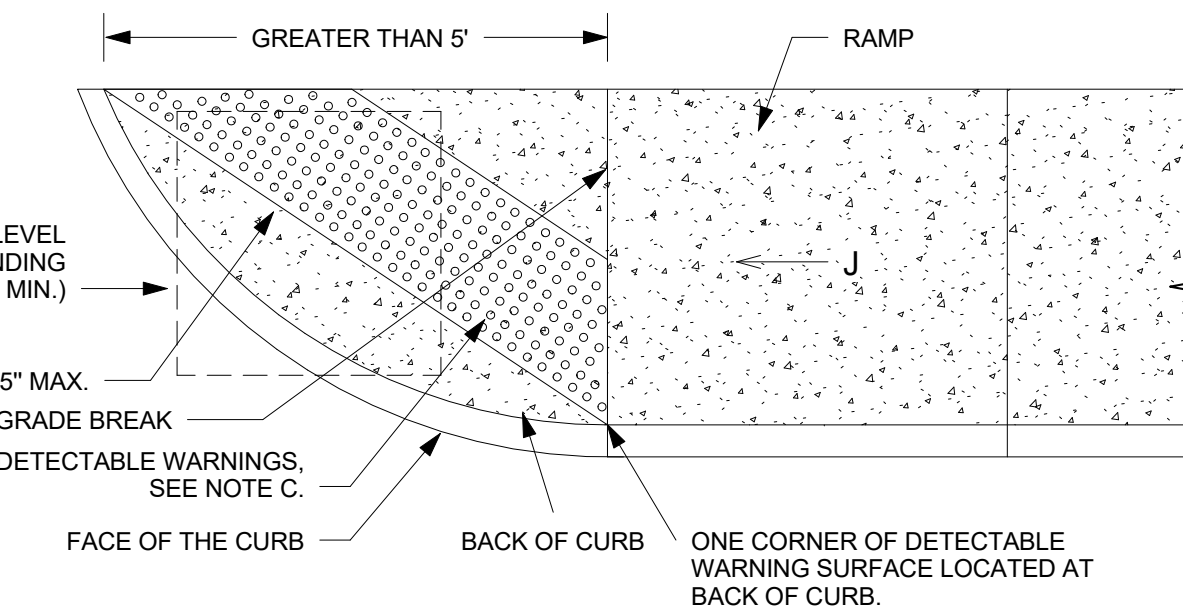
Drafting 1
1/4" = 1'-0"



PLACEMENT - PROFILE



PLACEMENT ON PARALLE CURB RAMPS



PLACEMENT ON PERPENDICULAR CURB RAMP

GENERAL NOTES FOR DWG 2446:

1. PROVIDE DETECTABLE WARNINGS ON ANY CURB RAMP OR LANDING WHERE THE ACCESSIBLE ROUTE CROSSES A PUBLIC STREET. DETECTABLE WARNINGS ARE NOT REQUIRED AT DRIVEWAYS UNLESS THE DIVEWAY IS PROVIDED WITH TRAFFIC CONTROL DEVICES OR IS PERMITTED TO OPERATE LIKE A PUBLIC STREET AS DETERMINED BY THE CITY ENGINEER.
2. SELECT A DETECTABLE WARNING SURFACE THAN CONTRASTS VISUALLY (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH ADJACENT SURFACES.
3. IN NEW CONSTRUCTION, INSTALL CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING PLATES, PANELS, TILES, OR PAVERS. IN RETROFITS, INSTALL SURFACE-APPLIED DETECTABLE WARNING PANELS SHALL BE MECHANICALLY ANCHORED.

CONSTRUCTION NOTES:

- A. INSTALL DETECTABLE WARNING SURFACE SO THAT IT EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH (NOT INCLUDING SIDE FLARES) OF THE RAMP OR LANDING.
- B. PLACE DETACTABLE WARNINGS SO THAT THE ROWS OF TRUNCATED DOMES ARE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP OR LANDING AND THE ROADWAY
- C. ON PARALLEL CURB RAMPS, PLACE DETECTABLE WARNINGS ON THE RAMP SURFACE AT THE GRADE BREAK IF GRADE BREAK IS WITHING 5' FROM BACK OF CURB. IF THE GRADE BREAK IS GREATER THAN 5' FROM BACK OF CURB, PLACE DETACTABLE WARNINGS AT A DIAGONAL USING A MAXIMUM DISTANCE OF 5' FROM FACE OF CURB.
- D. ON PERPENDICULAR CUB RAMPS, PLACE DETECTABLE WARNINGS AT THE BACK OF CURB,
- E. ON CUT-THROUGH ISLANDS, PLACE DETECTABLE WARNINGS IN LINE WITH THE BACK OF CURB IF DETECTABLE WIRNINGS SUREFACES ON THE ENTRANCE AND EXIT SIDES OF THE ISLAND CAN BE SEPARATED BY 2' MIN. OF WALKWAY. IF NECESSARY TO ACHIEVE 2' MIN. SEPERATION, PLACE DETECTABLE WARNINGS IN LINE WITH THE FACE OF CURB. IF THE ISLAND HAS NO CURB, PLACE DETECTABLE WARNINGS AT THE EDGE OF ROADWAY. SEE COA STD DWG. 2448.
- F. PLACE DETECTABLE WARNINGS AT RAIL CROSSINGS SO THAT THE EDGE NEAREST THE RAIL IS 6' TO 15' FROM THE CENTERLINE OF THE NEAREST RAIL ALIGH ROWS OF TRUNCATED DOMES PARALLEL TO THE DIRECTION OF TRAVEL.
- G. RECESS OR CAST-IN DETECTABLE WARNINGS SO THAT THE SURFACE TO WHICH THE TRUNCATED DOMES ARE ATTACHED IS FLUSH WITH ADJACENT CONCRETE.
- H. IN RETROFITS, DETECTABLE WARNING MAT MAY BE MECHANICALLY ANCHORED TO THE SURFACE OF THE CONCRETE IF THE MAT EDGE IS BEVELED WITH A MAXIMUM SLOPE OF 2H: 1V.
- J. 8.3% MAX SLOPE, 7% PREFERRED SLOPE.
- K. SIDE FLARED SLOPES.