

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 15, 2022

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: Eastern Hills Church
3100 Morris St. NE
Grading and Drainage Plan
Engineer's Stamp Date: 11/30/22
Hydrology File: G21D005**

Dear Mr. Soule:

PO Box 1293
Based upon the information provided in your submittal received 12/01/2022, the Grading & Drainage Plan is approved for Grading Permit. Once the grading of the project is complete, please provide an as-built for Hydrology's records.

Albuquerque
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov
If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Eastern Hills Church
Building Permit #: _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT a LA REINA DE LOS ALTOS UNIT 2
City Address: 3100 Morris

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:
☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:
☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
BUILDING PERMIT APPROVAL

CERTIFICATE OF OCCUPANCY

PRELIMINARY PLAT APPROVAL

SITE PLAN FOR SUB'D APPROVAL

SITE PLAN FOR BLDG. PERMIT APPROVAL

FINAL PLAT APPROVAL

SIA/ RELEASE OF FINANCIAL GUARANTEE

FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL

SO-19 APPROVAL

PAVING PERMIT APPROVAL

GRADING/ PAD CERTIFICATION

WORK ORDER APPROVAL

CLOMR/LOMR

FLOODPLAIN DEVELOPMENT PERMIT

OTHER (SPECIFY) _____

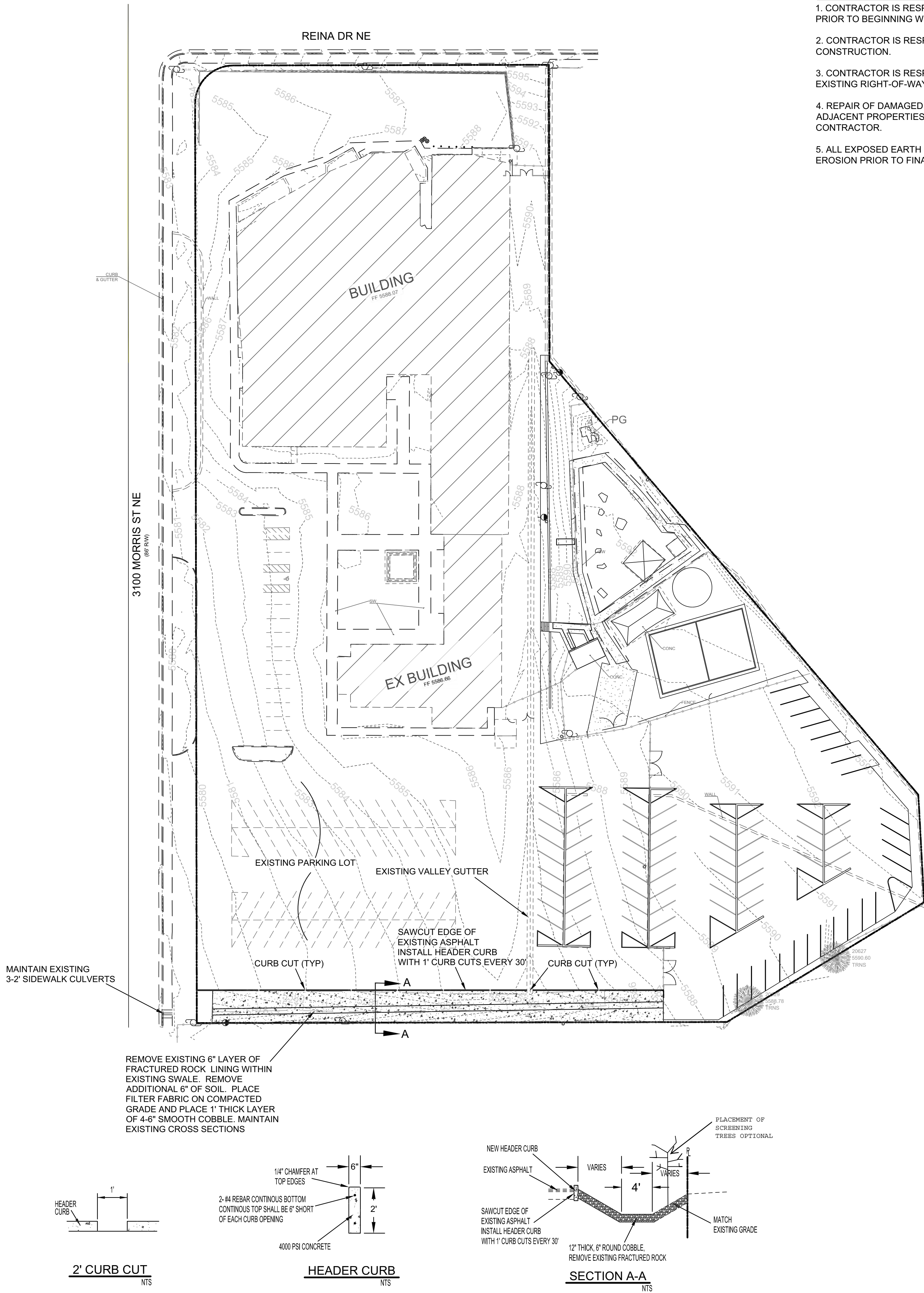
DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

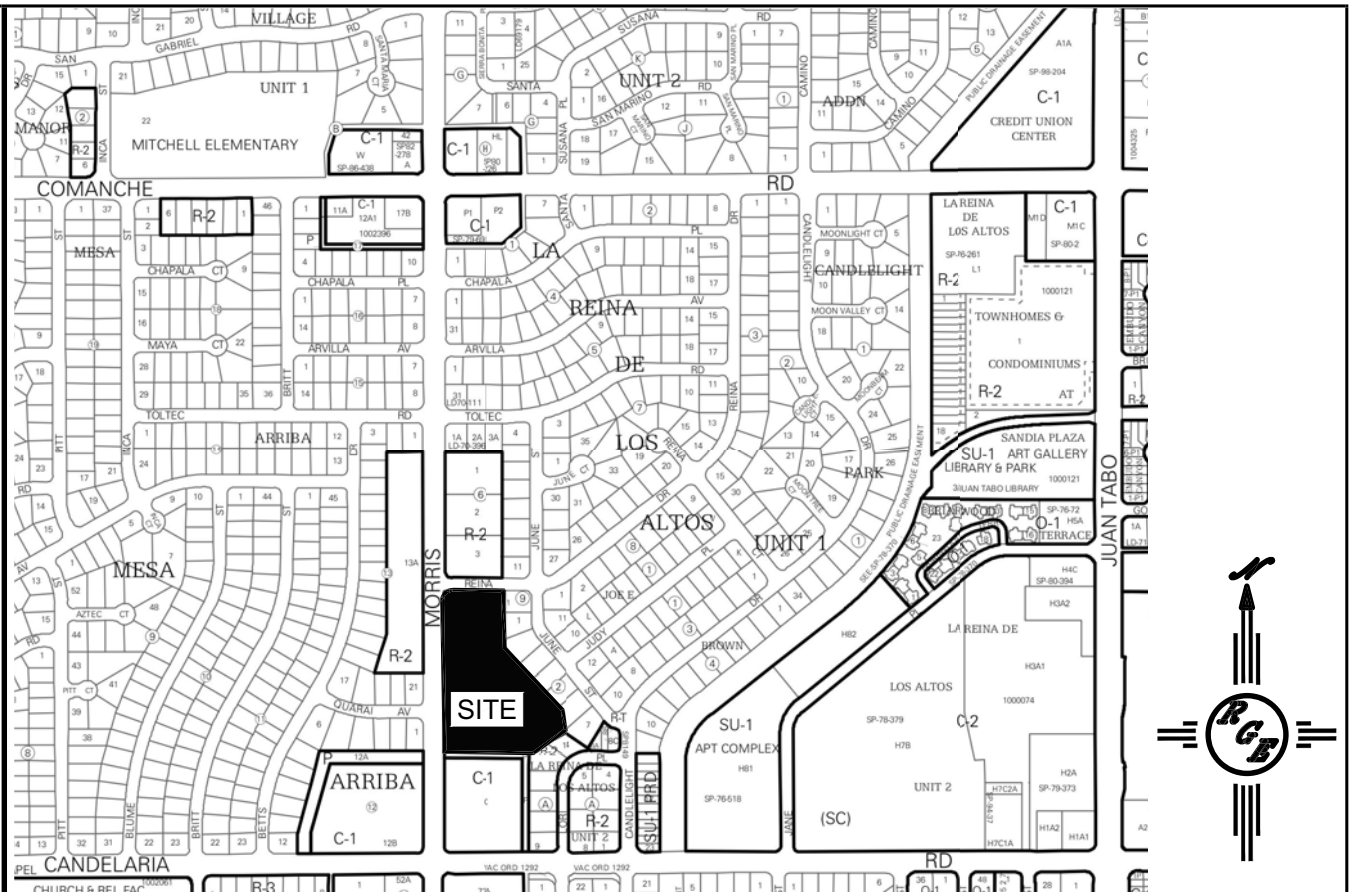
DRAINAGE NARRATIVE:
THE PURPOSE OF THIS PLAN IS TO ALLOW FOR IMPROVED VISUAL APEAL AND SAFETY FOR THE EXISTING ROUGH RIP RAP AND BROKEN CONCRETE LINED CHANNEL. THE SITE HYDRAULICS REMAIN UNCHANGED. NO NEW PAVEMENT PROPOSED, THEREFORE NOT IMPACT TO DRAINAGE NOR WATER QUALITY STANDARDS



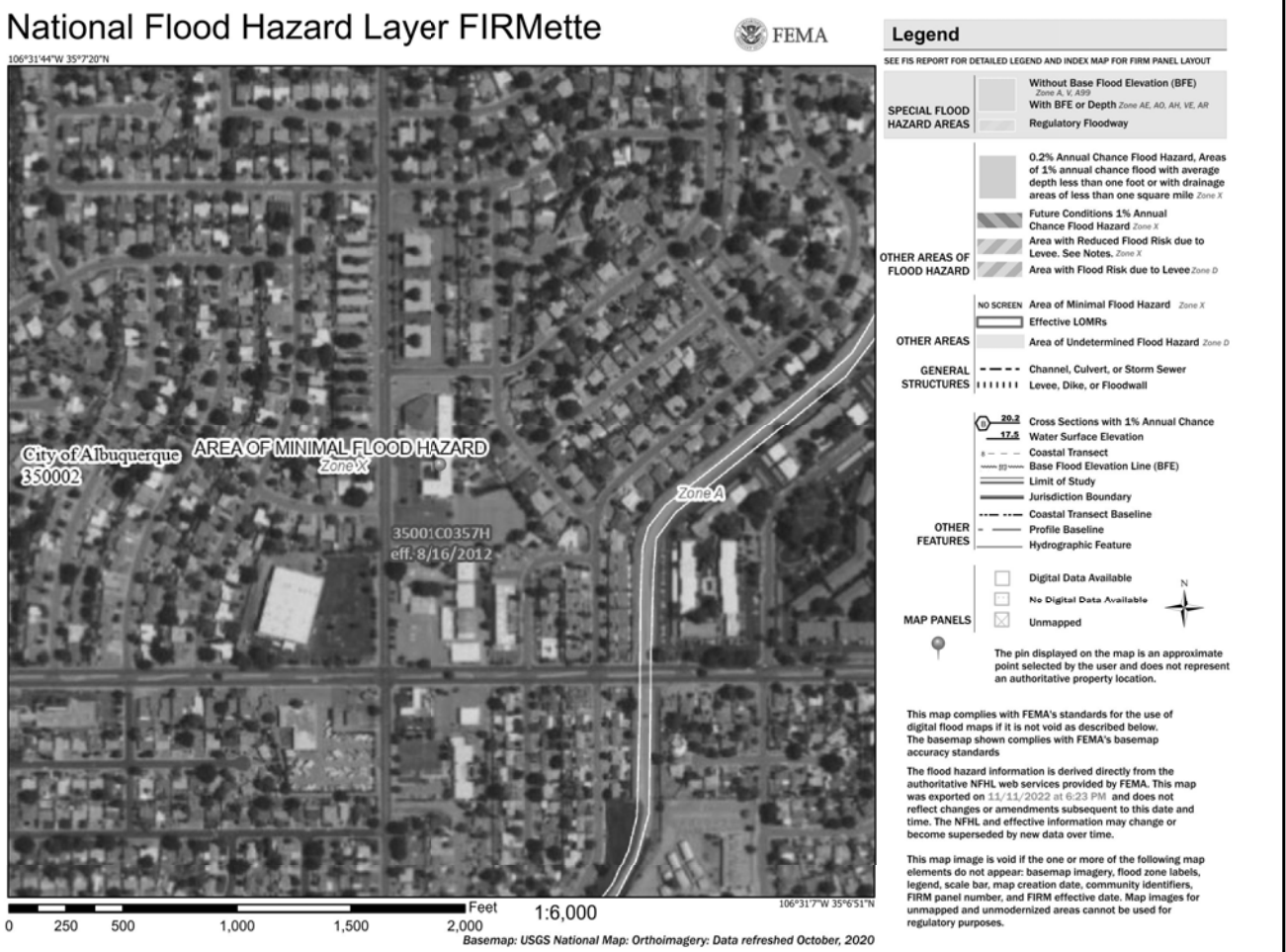
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: G-21-Z



FIRM MAP:

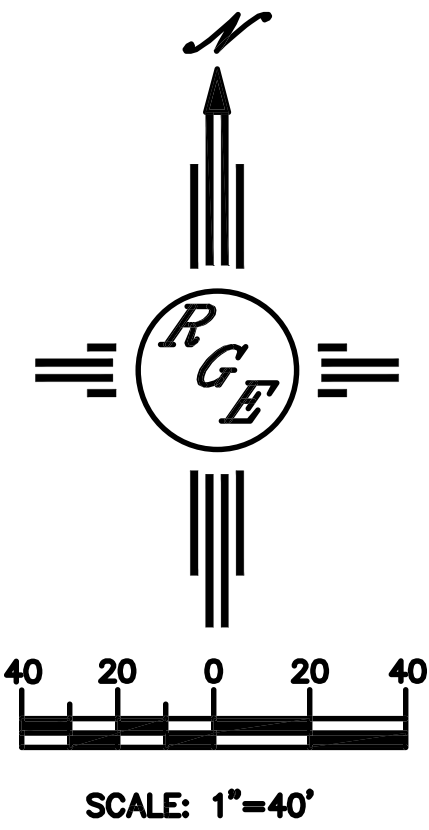
LEGAL DESCRIPTION:

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

- XXXX--- EXISTING CONTOUR
- XXXX----- EXISTING INDEX CONTOUR
- XXXX----- PROPOSED CONTOUR
- XXXX----- PROPOSED INDEX CONTOUR
- + XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- ===== FUTURE PHASE
- ===== PROPOSED CONCRETE



<div>ENGINEER'S SEAL</div> <div></div> <div>DAVID SOULE P.E. #14522</div>	<div>EASTERN HILLS CHURCH</div> <div>3100 MORRIS ST NE</div> <div>GRADING AND DRAINAGE PLAN</div>	<div>DRAWN BY DEM</div> <div>DATE 11-15-22</div> <div>3100 Morris.dwg</div>
	<div></div> <div>Rio Grande Engineering</div> <div>PO BOX 93824 ALBUQUERQUE, NM 87199 (505) 321-9099</div>	<div>SHEET #</div> <div>C1</div>
		<div>JOB #</div>