

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 1, 2022

Kent Trauernicht, RA
Akt Architects LLC.
PO Box 3366
Albuquerque, NM 87190

Re: Lizard Tail Brewing Remodel/ 9800 Montgomery Blvd. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 10-18-2021 (G21-D007)
Certification dated 9-01-22

Dear Mr. Trauernicht,

Based upon the information provided in your submittal received 08-08-22, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File



P. O. B O X 3366
ALBUQUERQUE, NM 87190
T: (505) 281 - 9560
F: (505) 286 - 1055
C: (505) 259 - 7919
aktarch@earthlink.net

Sept 1, 2022

City of Albuquerque
Public Works Department
Transportation Development Services
600 2nd Street NW
Albuquerque, NM 87102

RE: Traffic Circulation Layout – Certification
BP-2021-27819
File # SI-2021-01426, Proj # PR-2021-005950
Lizard Rail Brewing
Paradise Square
Albuquerque, NM 87111

I, Kent Trauernicht, AKT Architects LLC, certify that this project is in substantial compliance and accordance with the design intent of the attached Traffic Circulation Layout/site plan, approved 10/18/21. I visited the site and determined by visual inspection that the Traffic Circulation Layout site plan is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is for the "Traffic Circulation Layout" substantial construction completion and Certificate of Occupancy.

The record information presented is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose. This document neither expresses nor implies a warranty.



Sept 1, 2022

ADMINISTRATIVE AMENDMENT

FILE #: SI-2021-01426

PROJECT #: PR-2021-005950

Addition of 240 sq ft outdoor patio and shade structure; Results in a reduction of (4)

Parking Spaces; Replacement of existing non-compliant ADA spaces with

compliant ADA spaces via a Traffic Circulation Layout (TCL).



Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2021.10.18 13:43:05 -06'00'

10/18/2021

APPROVED BY

DATE

REVISE PARKING PER ADMIN AMEND:
4 SPACES REMOVED FOR NEW
OUTDOOR PATIO ADDITION AND
REPLACEMENT OF TWO
NONCOMPLIANT ACCESSIBLE
SPACES WITH COMPLIANT SPACES



LIZARD TAIL
BREWING
REMODEL
PARADISE
SQUARE

ADDRESSES
9800 MONTGOMERY
BLVD NE, SUITE 7
ALBUQUERQUE, NM
87111

MARK	DATE	DESCRIPTION

PROJECT NO.:
SHEET TITLE:
ADMINISTRATIVE
AMENDMENT

PROJECT DESCRIPTION
EXISTING TENANT SPACE REMODEL. INSTALL PATIO FOR
CUSTOMER USE. ACCESSORY BY NEW SECTIONAL OVERHEAD
DOOR. EXISTING DRIVEWAY TO BE RELOCATED TO ADJACENT
EXISTING AND SHALL REMAIN WITH NO MODIFICATIONS.

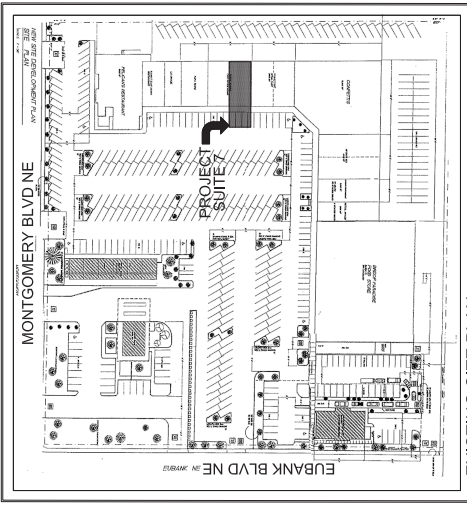
SITE PLANS KEYED NOTES

1. DETAIL EXISTING PARKING AS REQUIRED BY PROJECT MINIMUM
STOPS AS REQUIRED. 1/A-5.0.
2. RAMP. SEE DETAIL 2/A-5.0.
3. ACCESSIBLE PARKING SYMBOL PER COA STANDARD DETAIL 2426.
AT VAN SPACE. 5/6. PAINTED WITH LETTERS "VAN" AS SHOWN.
4. EXISTING DRIVEWAY TO BE RELOCATED TO ADJACENT EXISTING
TO INSTALL PATCH BACK WITH NONSKIDER GROUT.
5. EXISTING DRIVEWAY TO BE RELOCATED TO ADJACENT EXISTING
TO INSTALL PATCH BACK WITH NONSKIDER GROUT.
6. ACCESSIBLE PARKING SYMBOL PER COA STANDARD DETAIL 2426.
AT VAN SPACE. 5/6. PAINTED WITH LETTERS "VAN" AS SHOWN.
7. ACCESSIBLE DRIVEWAY ENTRANCE (MAX 1:48 SLOPE) FROM ADA
PARKING TO BUILDING ENTRANCES. SEE DETAILS SHEET A-5.0.
8. 5/6-5.0.
9. INSTALL PRECAST CONC WHEEL STOPS. INSTALL WITH #6x48"
CONCRETE. MINIMUM 12" x 48" WIDE STRIPING (YELLOW ON
CONCRETE, WHITE ON ASPHALT). TOP THROUGHOUT RETIRED
AS REQUIRED TO VISUALLY ELIMINATE.
10. TWO COATS TRAFFIC PAINT. 4-INCH WIDE STRIPING (YELLOW ON
CONCRETE, WHITE ON ASPHALT). TOP THROUGHOUT RETIRED
AS REQUIRED TO VISUALLY ELIMINATE.
11. RAISED CONCRETE PATIO, SEE PLAN.
12. EXISTING DRIVEWAY TO BE RELOCATED TO ADJACENT EXISTING
TO INSTALL PATCH BACK WITH NONSKIDER GROUT.
13. EXISTING DRIVEWAY TO BE RELOCATED TO ADJACENT EXISTING
TO INSTALL PATCH BACK WITH NONSKIDER GROUT.
14. EXISTING DRIVEWAY TO BE RELOCATED TO ADJACENT EXISTING
TO INSTALL PATCH BACK WITH NONSKIDER GROUT.
15. EXISTING DRIVEWAY TO BE RELOCATED TO ADJACENT EXISTING
TO INSTALL PATCH BACK WITH NONSKIDER GROUT.
16. EXISTING DRIVEWAY TO BE RELOCATED TO ADJACENT EXISTING
TO INSTALL PATCH BACK WITH NONSKIDER GROUT.
17. EXISTING DRIVEWAY TO BE RELOCATED TO ADJACENT EXISTING
TO INSTALL PATCH BACK WITH NONSKIDER GROUT.
18. EXISTING DRIVEWAY TO BE RELOCATED TO ADJACENT EXISTING
TO INSTALL PATCH BACK WITH NONSKIDER GROUT.

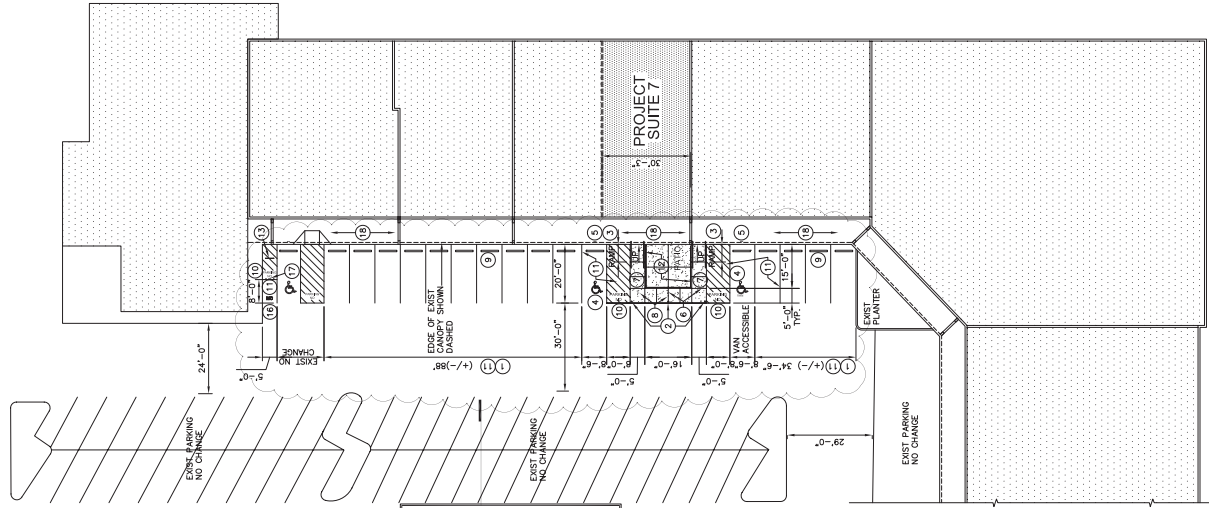
SITE DATA

PROJECT NO. 2024-001, FRIEDMAN SUBDIVISION
LAND USE: RETAIL CENTER
EXISTING TENANT AND ADDRESS:
9800 MONTGOMERY BLVD. NE
ALBUQUERQUE, NM 87111

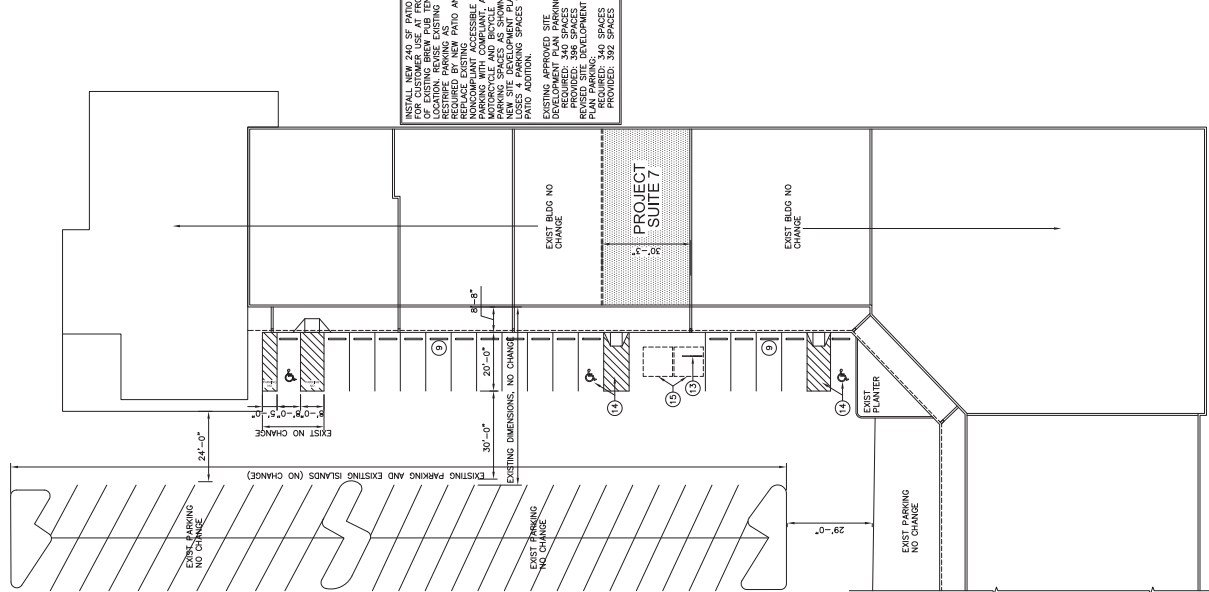
EXISTING TENANT AREA: 1,792 SF
TOTAL TENANT AREA WITH PATIO: 2,112 SF
TOTAL TENANT AREA WITH PATIO = 17 SPACES
ENTIRE RETAIL CENTER PARKING IS RECONFIGURED
REAR FIRE LANE ACCESS ADJACENT. 17 SPACES REPLACED WITH
COA COMPLIANT SPACES: 2 SPACES (1 VAN,
1 MOTORCYCLE AND BICYCLE)
TENANT IMPROVEMENT MOTORCYCLE PARKING: 1-SPACE
REQUIRED PER 20 AUTO PARKING... 1-SPACE PROVIDED (ALL
OTHER EXISTING).
TENANT IMPROVEMENT BICYCLE PARKING: 1-SPACE REQUIRED
PER 20 AUTO PARKING (MINIMUM 21.2-SPACE PROVIDED).



EXISTING SITE PLAN
PARADISE SQUARE (RETAIL CENTER) 9800 MONTGOMERY BLVD. NE
ALBUQUERQUE, NM 87111
ZONING: MX-M (MODERATE INTENSITY DISTRICT RETAIL CENTER)



REVISED SITE PLAN
1" = 20'-0"
10' 5' 0' 20'



EXISTING SITE PLAN
1" = 20'-0"
10' 5' 0' 20'



CONSULTANT



PROJECT

LIZARD TAIL
BREWING
REMODEL

PARADISE
SQUARE

ADDRESS
9800 MONTGOMERY
BLVD NE, SUITE 7
ALBUQUERQUE, NM
87111

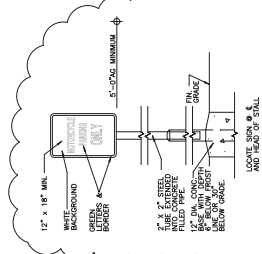
	CORRECTIONS PER BUILDING AND TRANSPORTATION			
	7/29/21			
MARK	DATE			DESCRIPTION

ISSUE DATE:

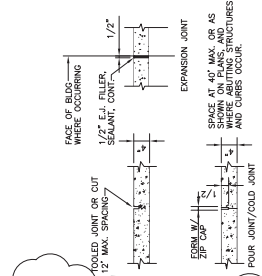
PROJECT NO:
COPYRIGHT AKT ARCHITECTS, LLC
SHEET TITLE

DETAILS AND PATIO SECTIONS

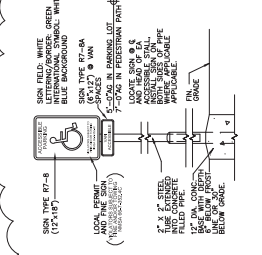
A-5.0



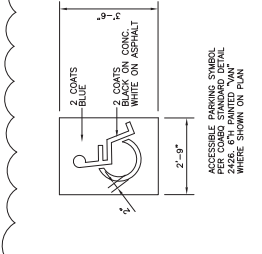
6 MOTORCYCLE PARKING SIGN ^A
N.T.S.



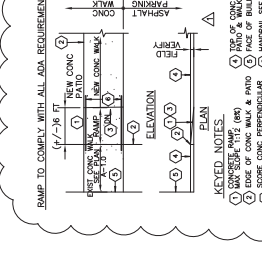
5 CONCRETE JOINT DETAILS



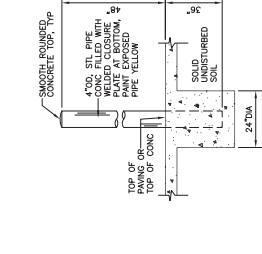
4 ACCESSIBLE PARKING SIGN 



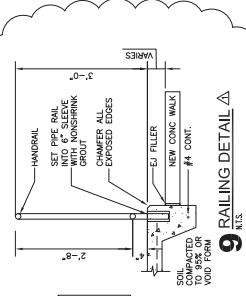
3 ACCESSIBLE PAINT STRIPING N.15



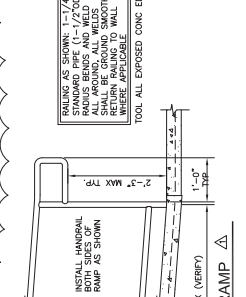
2 ACCESSIBLE RAMP



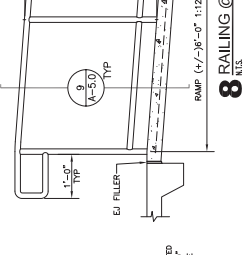
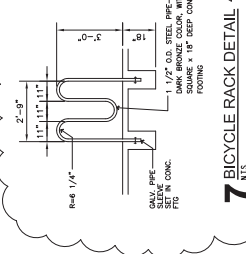
1 TYPICAL PIPE BOLLARD



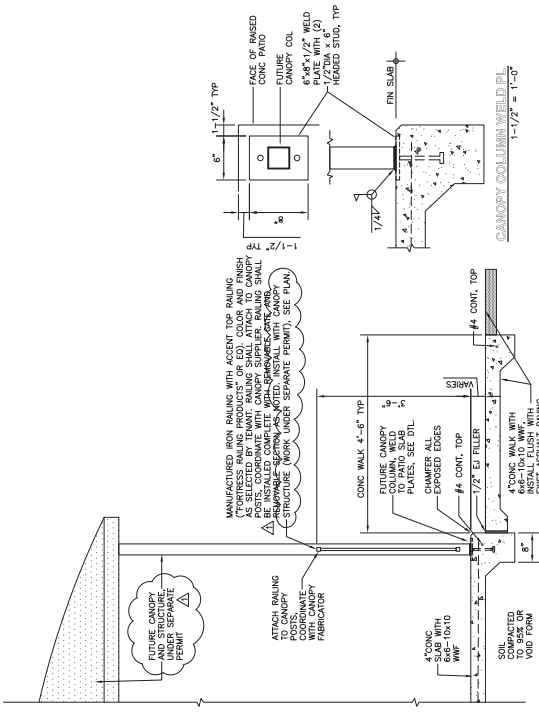
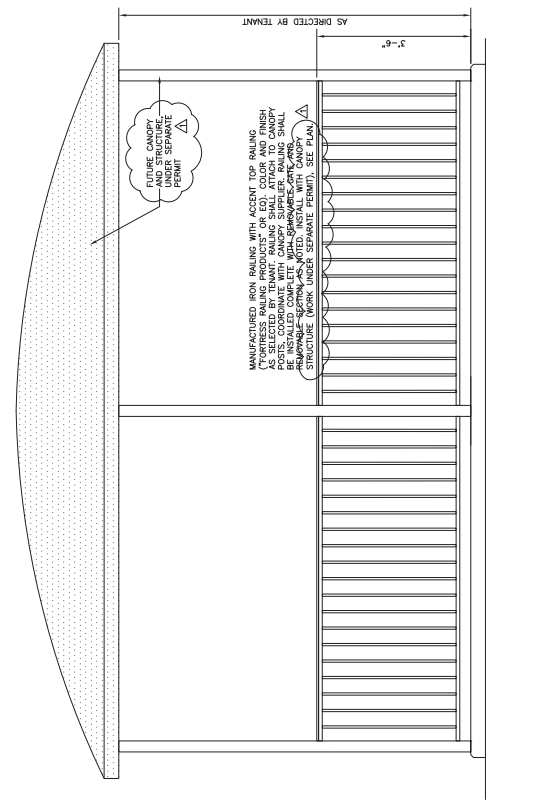
9 RAILING DETAIL



CAMP Δ

8 $\frac{R}{N.T.}$ 

7 BICYCLE RACK DETAIL



7 PATIO ENCLOSURE RAILING - WEST FACE ELEVATION

6 PATIO SLAB, CANOPY, WALK DTL SCALE: 3/4"=1'-0"