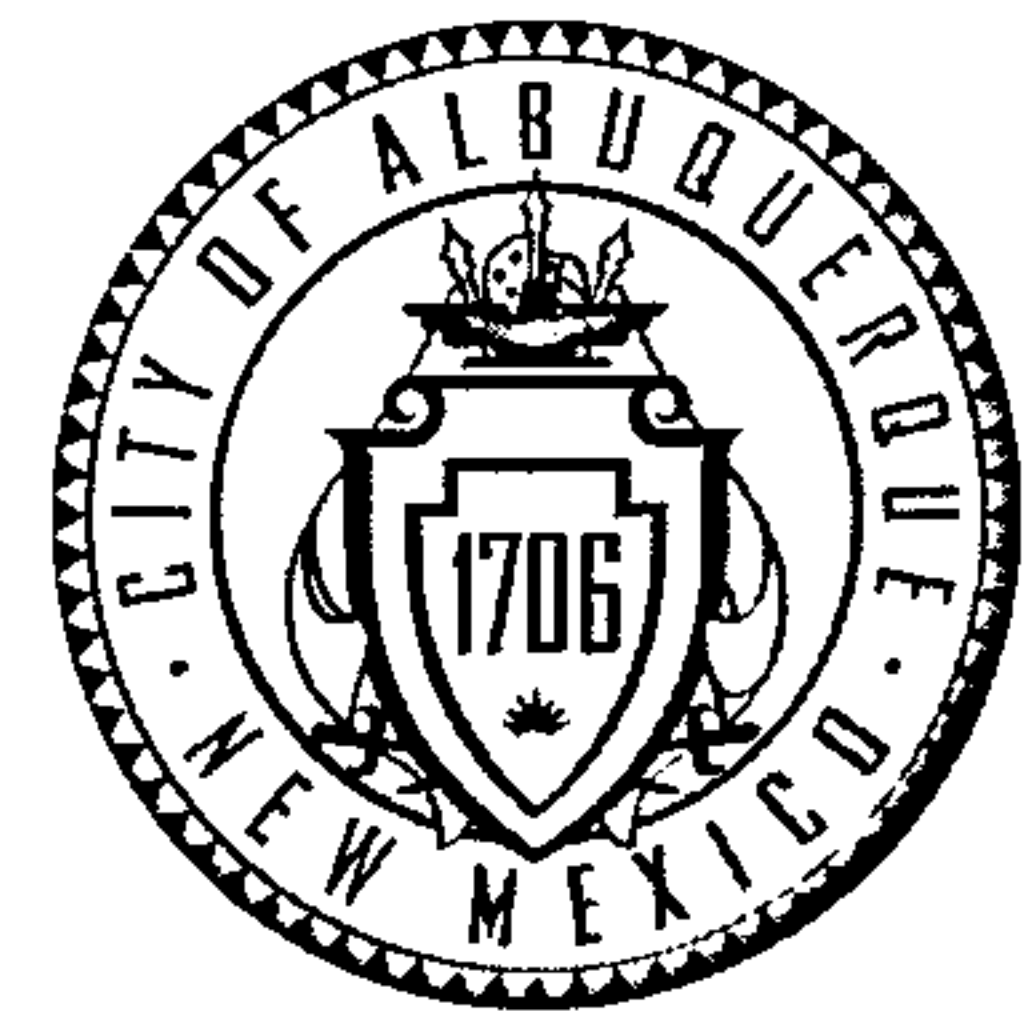


CITY OF ALBUQUERQUE



November 21, 2013

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

**Re: Washington Federal, 3000 Eubank
Request For Permanent C.O.
Engineer's Stamp Date – 04-05-2013 (G21/D012F)
Certification Stamp Date: 11-04-13**

Dear Mr. Arfman,

Based on the Certification received 11/05/2013, the site is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in PDF format, of this certification for our records. This PDF file can be e-mailed to me at: sbiazar@cabq.gov.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk—Katrina Sigala
E-mail

CITY OF ALBUQUERQUE



March 29, 2013

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

**Re: Washington Federal, 3000 Eubank
Conceptual Grading Plan
Engineer's Stamp Date - None (G21D012F)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 3/13/2013, the above referenced plan is approved for Administrative Amendment. The following comments have to be addressed prior to an approval for Building Permits:

- Provide runoff calculations.
- Include a note where the existing driveway will be closed.
- Depress the landscaping areas within the property.
- Add the size of the proposed sidewalk culvert. Include City of Albuquerque Standard Drawing Number 2236 along with the note "to tack weld the plate at bolts".
- Include the flow line elevations in the street at the entrances to assure adequate water block is provided. Are the existing driveway built to ADA standards.
- Provide the back of sidewall spot elevations as well as the spot elevations along the boundary line to the east and to the north.
- Is there a retaining wall at the northwest corner of the project? A double line is shown along the easterly boundary. Is this an existing wall?
- Is there a transformer and light close to the northeast corner of the site that is being relocated?
- Include an elevation for the bench mark shown on the plan.
- Are the hatches close to the entrances speed bumps? Please clarify.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

AA 1000718

PROJECT TITLE: Washington Federal Bank ZONE MAP/DRG. FILE # G21D012F
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A-1-B, Block 7, Mesa Arriba Subdivision, City of Albuquerque, New Mexico
CITY ADDRESS: 3000 Eubank Blvd. NE, 87111

ENGINEERING FIRM: ISAACSON & ARFMAN, PA
ADDRESS: 128 MONROE NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Fred Arfman
PHONE: 268-8828
ZIP CODE: 87108

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Moran & Murhpy Architecture
ADDRESS: 4501 Swiss Ave.
CITY, STATE: Dallas, TX

CONTACT: _____
PHONE: 214-841-4507
ZIP CODE: 75204

SURVEYOR: The Survey Office
ADDRESS: 333 Lomas Blvd. NE
CITY, STATE: Albuquerque, NM

CONTACT: Anthony Harris
PHONE: 505-998-0303
ZIP CODE: 87102

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Fred C. Arfman, PE DATE: 4/11/2013
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Hydrology
HAS
FILE 4/15/13
S



CITY OF ALBUQUERQUE



April 29, 2013

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

**Re: Washington Federal, 3000 Eubank
Conceptual Grading Plan
Engineer's Stamp Date – 04-05-2013 (G21/D012F)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 4/11/2013, the above referenced plan is approved for building permit based on the following comments:

PO Box 1293

Albuquerque

NM 87103


www.cabq.gov

- Existing flow line elevation shown at the entrance on Eubank appears to be 12.2 instead of the 14.2.
- Sidewalk culvert will be built under the City of Albuquerque Work Order. A note should be added for the size of the sidewalk culvert and to also include the City of Albuquerque Standard Drawing Number 2236 along with the note "to tack weld the plate at bolts".

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,


Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: Washington Federal Bank ZONE MAP/DRG. FILE # G21D012F
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A-1-B, Block 7, Mesa Arriba Subdivision, City of Albuquerque, New Mexico
CITY ADDRESS: 3000 Eubank Blvd. NE, 87111

ENGINEERING FIRM: ISAACSON & ARFMAN, PA
ADDRESS: 128 MONROE NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Fred Arfman
PHONE: 268-8828
ZIP CODE: 87108

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Moran & Murhpy Architecture
ADDRESS: 4501 Swiss Ave.
CITY, STATE: Dallas, TX

CONTACT: _____
PHONE: 214-841-4507
ZIP CODE: 75204

SURVEYOR: The Survey Office
ADDRESS: 333 Lomas Blvd. NE
CITY, STATE: Albuquerque, NM

CONTACT: Anthony Harris
PHONE: 505-998-0303
ZIP CODE: 87102

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

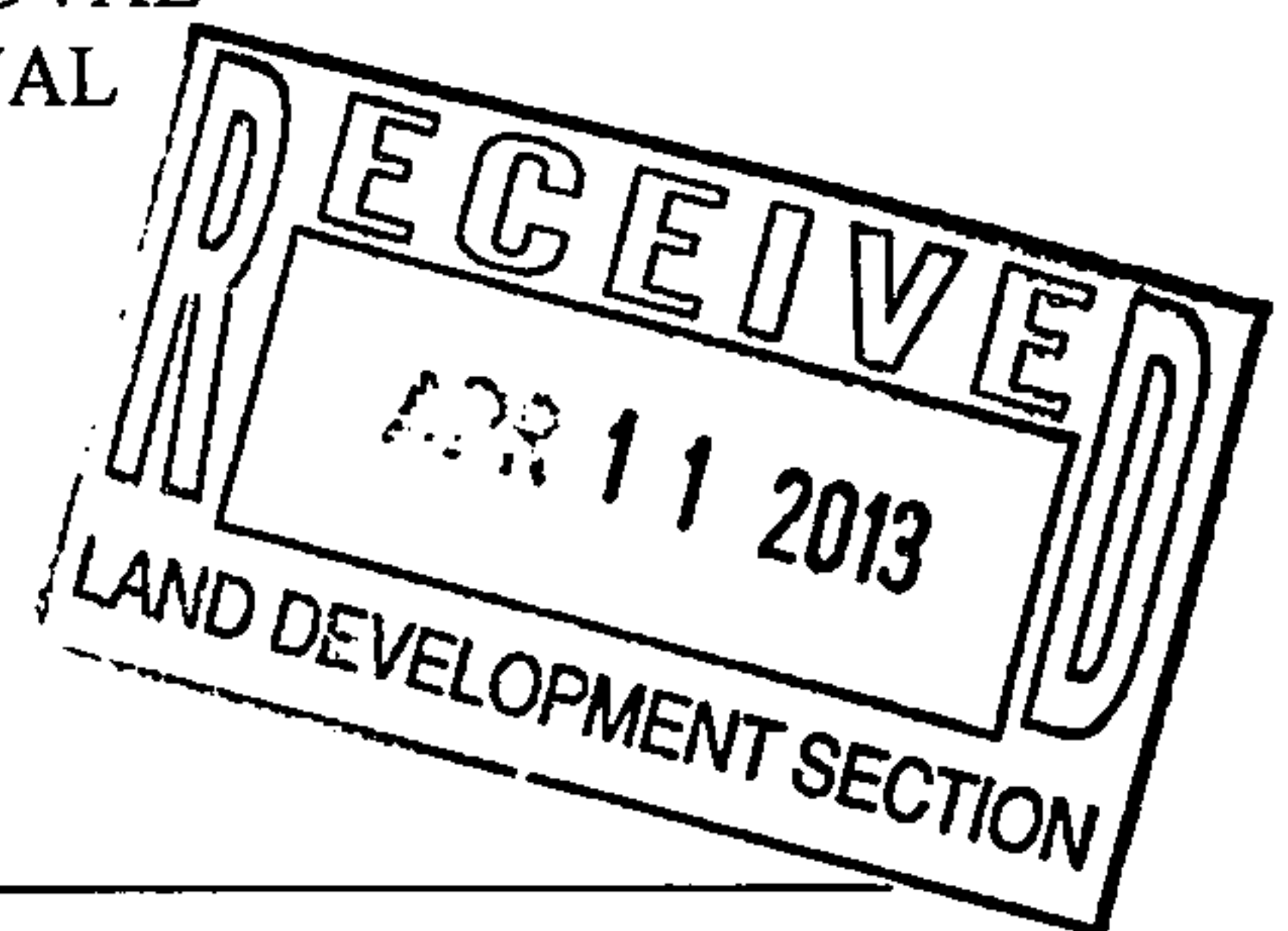
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

\$5000

SUBMITTED BY: Fred C. Arfman, PE DATE: 4/11/2013
Isaacson & Arfman, P.A.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Biazar, Shahab

From: Biazar, Shahab
Sent: Wednesday, November 06, 2013 9:05 AM
To: 'Fred c. Arfman (freda@iacivil.com)'
Subject: Sidewalk Culvert (SO-19) Inspection For Washington Federal Bank at 3000 Eubank Blvd. (Eubank and Candelaria) G21/D012F

Hi,

I do not have a SO-19 inspection for the sidewalk culvert. I also noticed that the bolts were not tack welded to the plate. Would you please let the contractor know to tack weld the bolts at the plate. The contractor must obtain a SO-19 permit and have the sidewalk culvert inspected as well. We will need this prior to approval of the Certification of Occupancy.

Thanks and have a nice day.

Shahab Biazar, P.E.

Senior Engineer
Planning Department
Development & Building Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
t 505-924-3695
f 505-924-3864

From: Biazar, Shahab
Sent: Wednesday, November 06, 2013 8:56 AM
To: Rodriguez, Jason T.
Cc: Sims, Timothy E.
Subject: Sidewalk Culvert (SO-19) Inspection For Washington Federal Bank at 3000 Eubank Blvd. (Eubank and Candelaria) G21/D012F

Hi,

I was checking to see if you had inspected the sidewalk culvert for Federal Bank at 3000 Eubank Blvd. (Eubank and Candelaria). I noticed that they had not tack welded the bolts at the plate. So if you would let the contractor know if you are going to be inspecting it. I will also notify the engineer to let the contractor and to make sure they obtain a SO-19 permit as well.

Thanks and have a nice day.

Shahab Biazar, P.E.

Senior Engineer
Planning Department
Development & Building Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
t 505-924-3695
f 505-924-3864

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Washington Federal Bank ZONE MAP/DRG. FILE # G21D012F
DRB#: _____ EPC#: _____ WORK ORDER#: 558382

LEGAL DESCRIPTION: Tract A-1-B, Block 7, Mesa Arriba Subdivision, City of Albuquerque, New Mexico
CITY ADDRESS: 3000 Eubank Blvd. NE, 87111

ENGINEERING FIRM: ISAACSON & ARFMAN, PA CONTACT: Fred Arfman
ADDRESS: 128 MONROE NE PHONE: 268-8828
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108

OWNER: Washington Federal Bank CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Moran & Murhpy Architecture CONTACT: _____
ADDRESS: 4501 Swiss Ave. PHONE: 214-841-4507
CITY, STATE: Dallas, TX ZIP CODE: 75204

SURVEYOR: The Survey Office CONTACT: Anthony Harris
ADDRESS: 333 Lomas Blvd. NE PHONE: 505-998-0303
CITY, STATE: Albuquerque, NM ZIP CODE: 87102

CONTRACTOR: Baker Construction CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

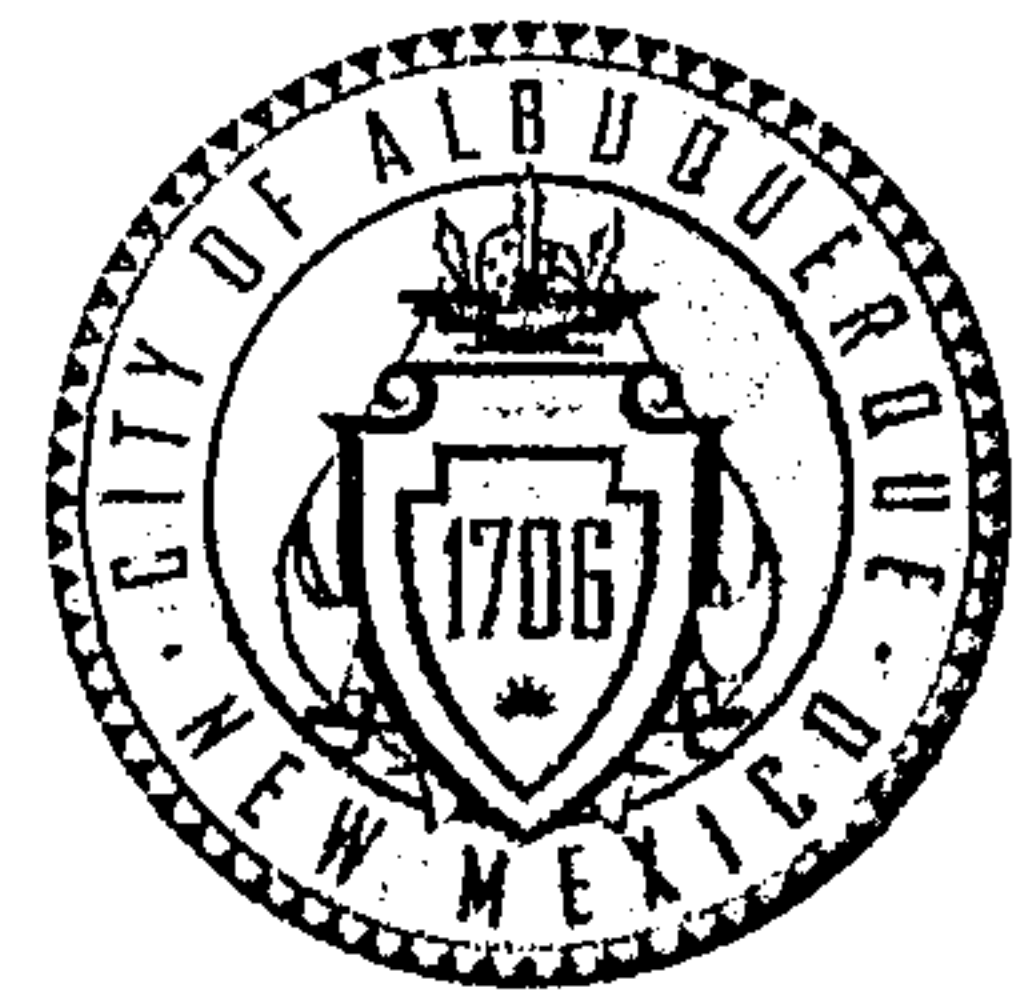
SUBMITTED BY: Fred C. Arfman, PE DATE: 11/4/2013
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 21, 2013

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

Re: **Certification for Permanent Building Certificate of Occupancy (C.O.)**
Washington Federal Bank, (G21-D012F)
3000 Eubank Blvd. NE
Engineer's Stamp Dated 11-21-13
Certification Dated 11-21-13

Dear Mr. Arfman:

Based upon the information provided in your submittal received 11-21-13, Transportation Development has no objection to the issuance of a **Permanent Certificate of Occupancy**. This letter serves as a "green tag" from Transportation Development for a **Permanent Certificate of Occupancy** to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

New Mexico 87103

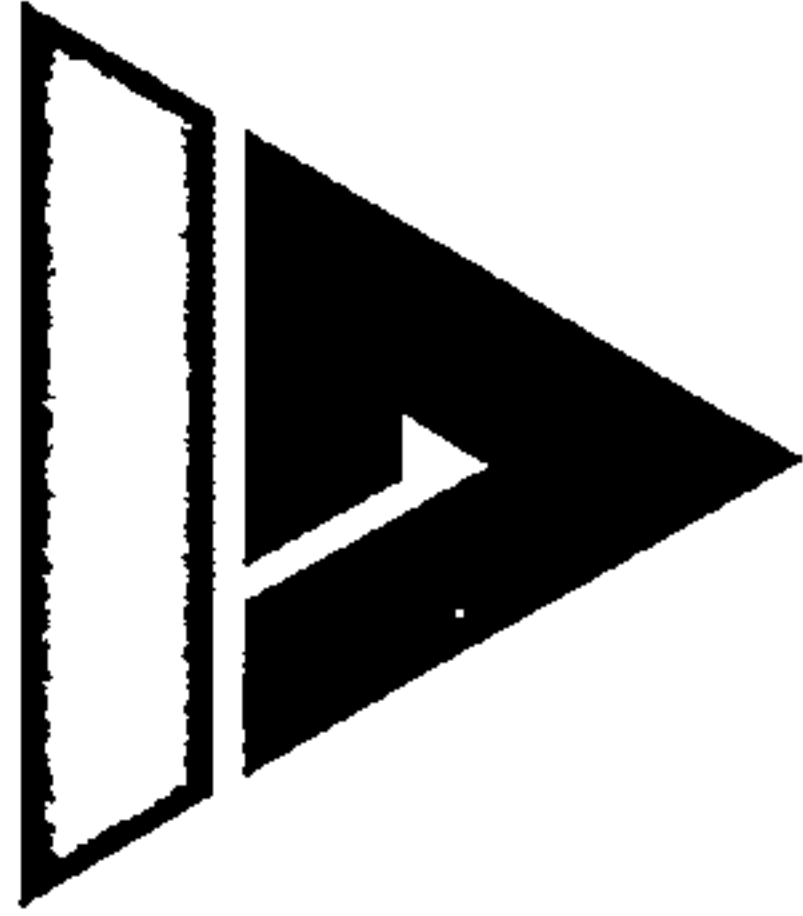
www.cabq.gov

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Milo Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development Review Services
Planning Department

c: Engineer, Hydrology file, CO Clerk



Isaacson & Arfman, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

November 21, 2013

Nilo Salgado-Rernandez, P.E.
Senior Traffic Engineer
Development Review Services
Planning Department PO BOX 12193
Albuquerque, NM 87103

Re: Washington Federal Bank (G21-D012F)
3000 Eubank Blvd. NE

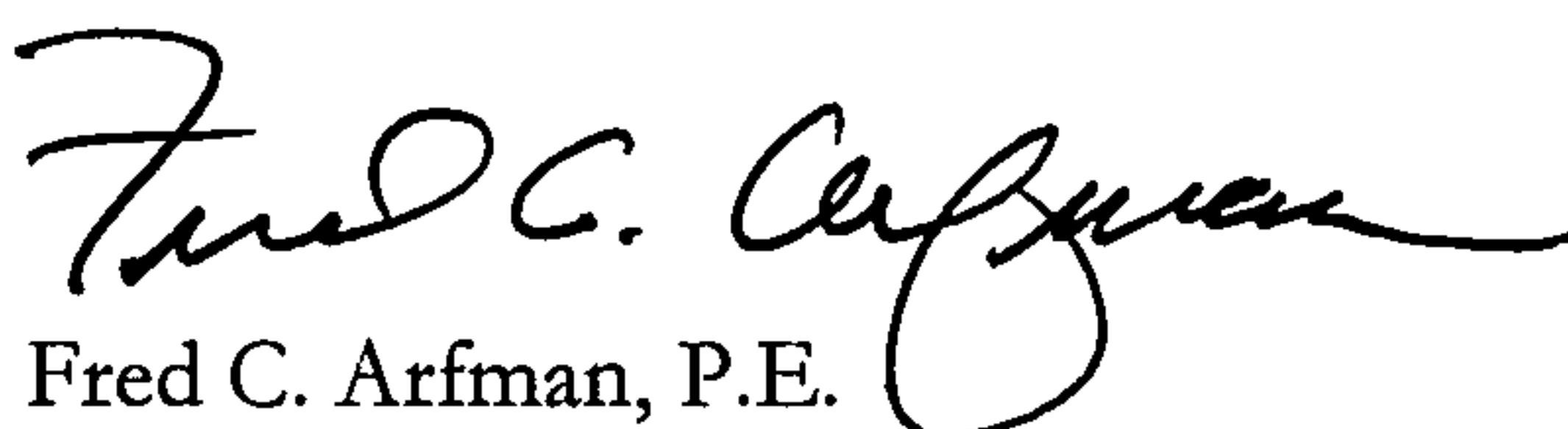
Subject: Permanent Certificate of Occupancy

Dear Mr. Salgado-Fernandez,

Isaacson & Arfman, PA has conducted the follow up site observations of the onsite traffic punch list and can confirm that the four bullet point items as found in your November 7, 2013 letter have been satisfactorily addressed. We therefore respectfully request that the Permanent Certificate of Occupancy be released to Baker Construction.

Please contact our office if there are any questions regarding this correspondence.

Sincerely,
ISAACSON & ARFMAN P.A.


Fred C. Arfman, P.E.



Cc: Joel Boswick; Baker Construction

11-21-13

Salgado-Fernandez, Nilo E.

From: John Yeckel [john.yeckel@wafd.com]
Sent: Wednesday, November 20, 2013 2:22 PM
To: Salgado-Fernandez, Nilo E.
Cc: freda@iacivil.com; Terry Kelly (tkelly@bakerconstruct.com)
Subject: Owners' sign approval 3000 Eubank Blvd NE
November 20, 2013

John Yeckel – Facilities Manager
Washington Federal Bank
425 Pike Street
Seattle, WA 98101

Re: Certification for Permanent Building Certificate of Occupancy (C.O.)
Washington Federal Bank, (G21-D012F)
3000 Eubank Blvd. NE
Engineer's Stamp Dated 11-06-13
Certification Dated 11-06-13

Dear Mr. Salgado-Fernandez,

The "Do Not Enter" signage on the egress side of our drive through lanes, within our property, is our standard custom signage and approved by the bank to be installed on site. Please feel free to call if you have any questions. (206-777-8303)

Sincerely,

John Yeckel
Facilities Manager

Washington Federal.
Invested here.

425 Pike Street
Seattle, WA 98101
john.yeckel@wafd.com
Office 206-777-8303
Cell 206-849-5068

John Yeckel
Facilities Manager

Washington Federal.
Invested here.

425 Pike Street
Seattle, WA 98101
john.yeckel@wafd.com
Office 206] 777-8303
Cell 206 849-5068

11/21/2013

Wash. Fed sign is in



Washington Fan - Curo is complete

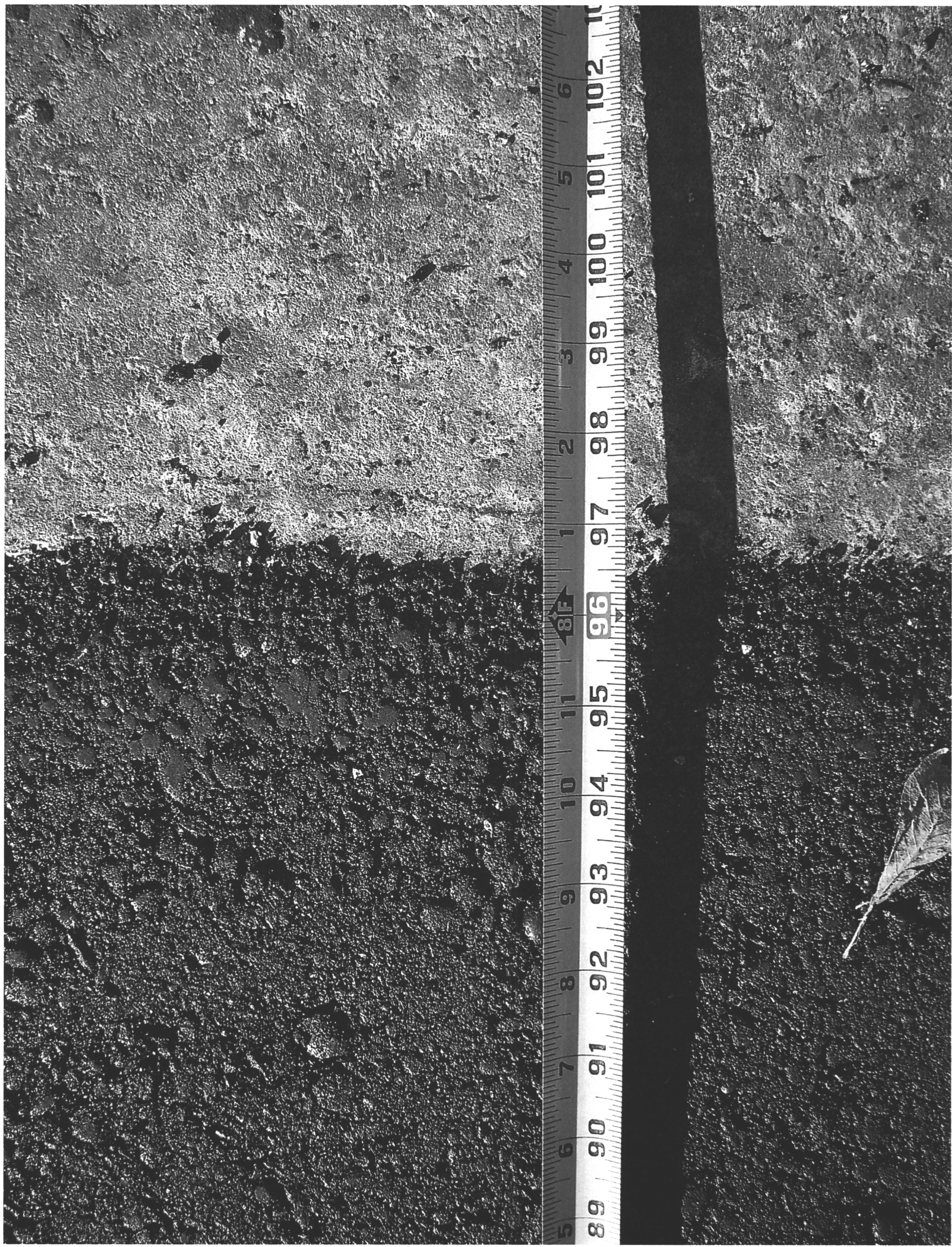


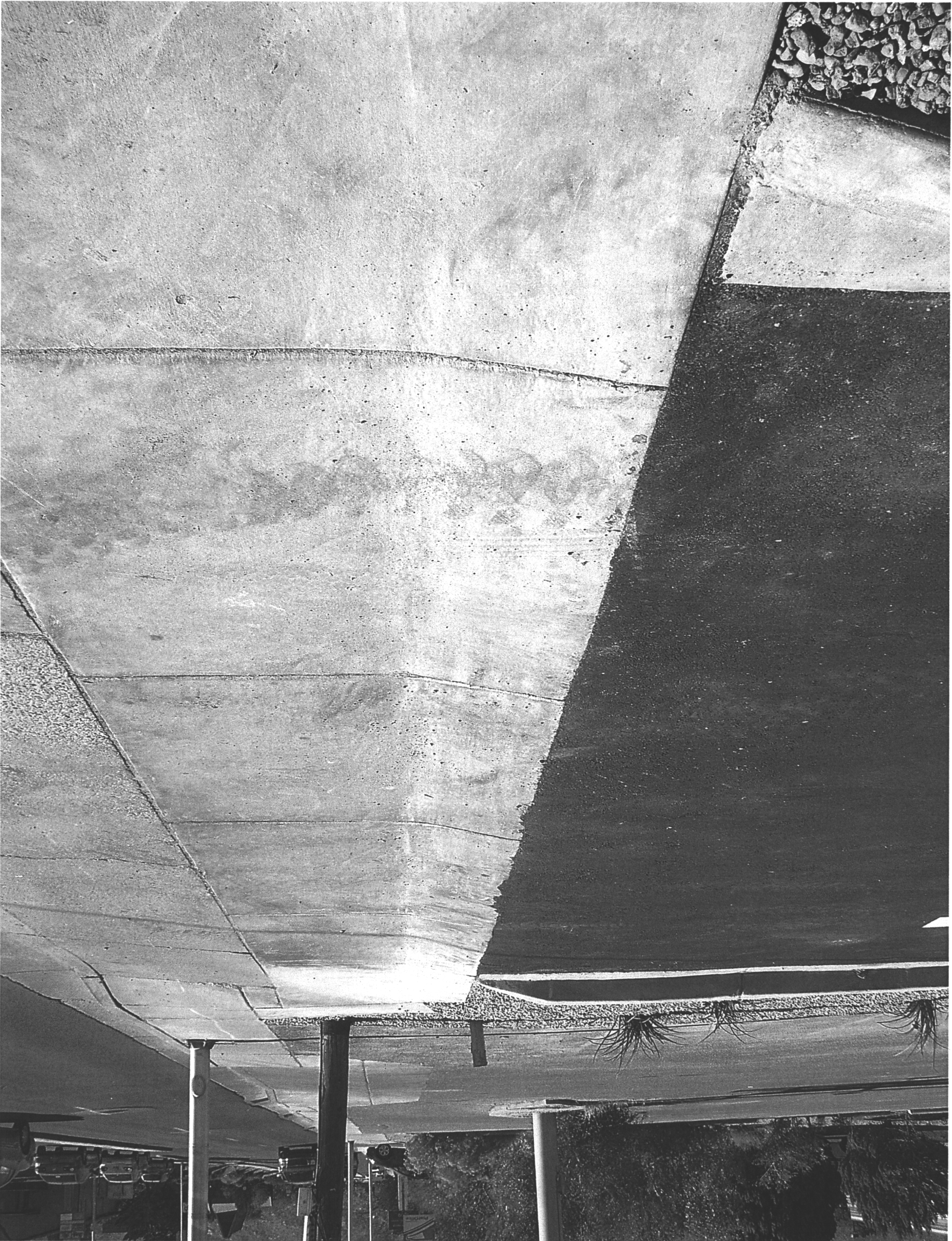




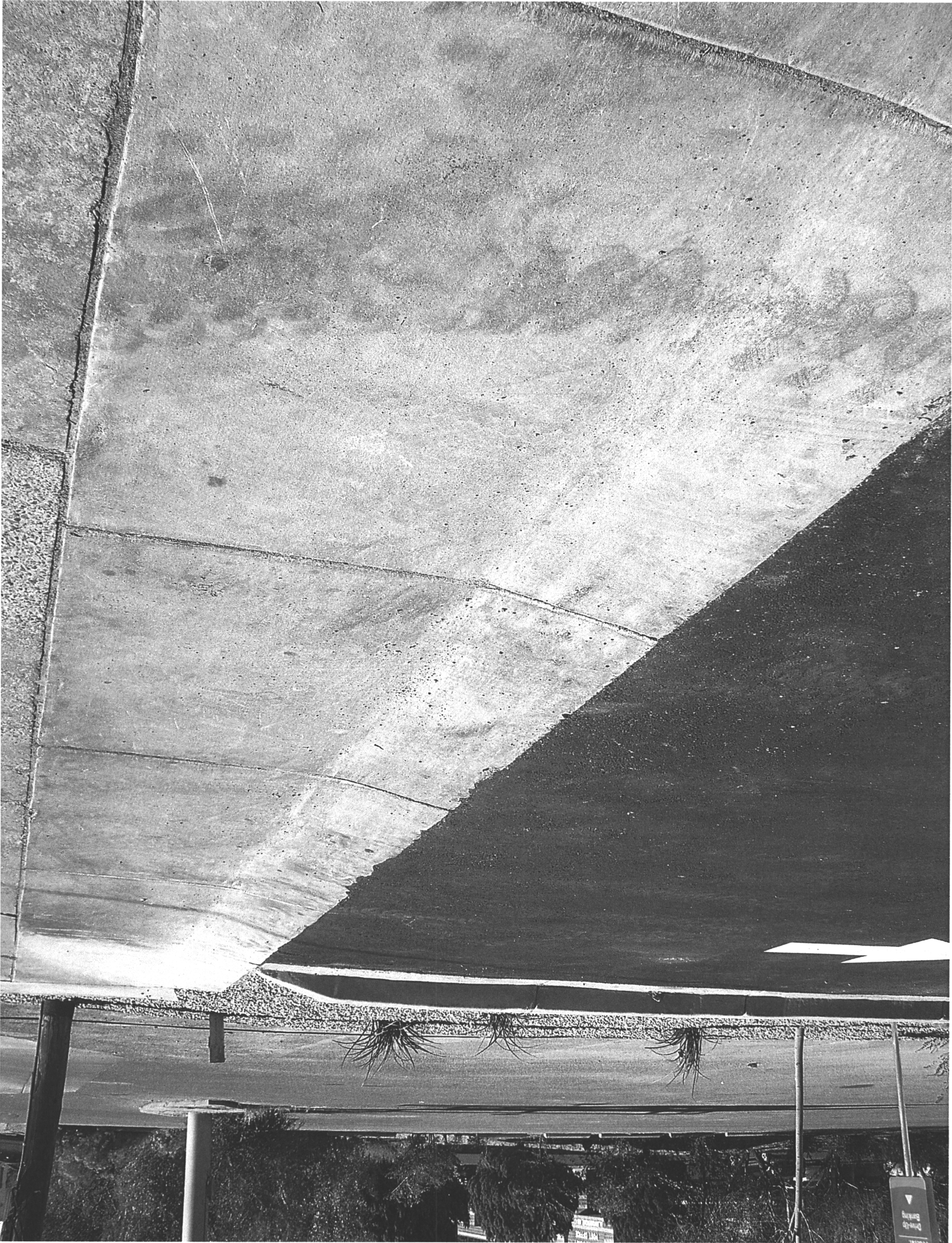








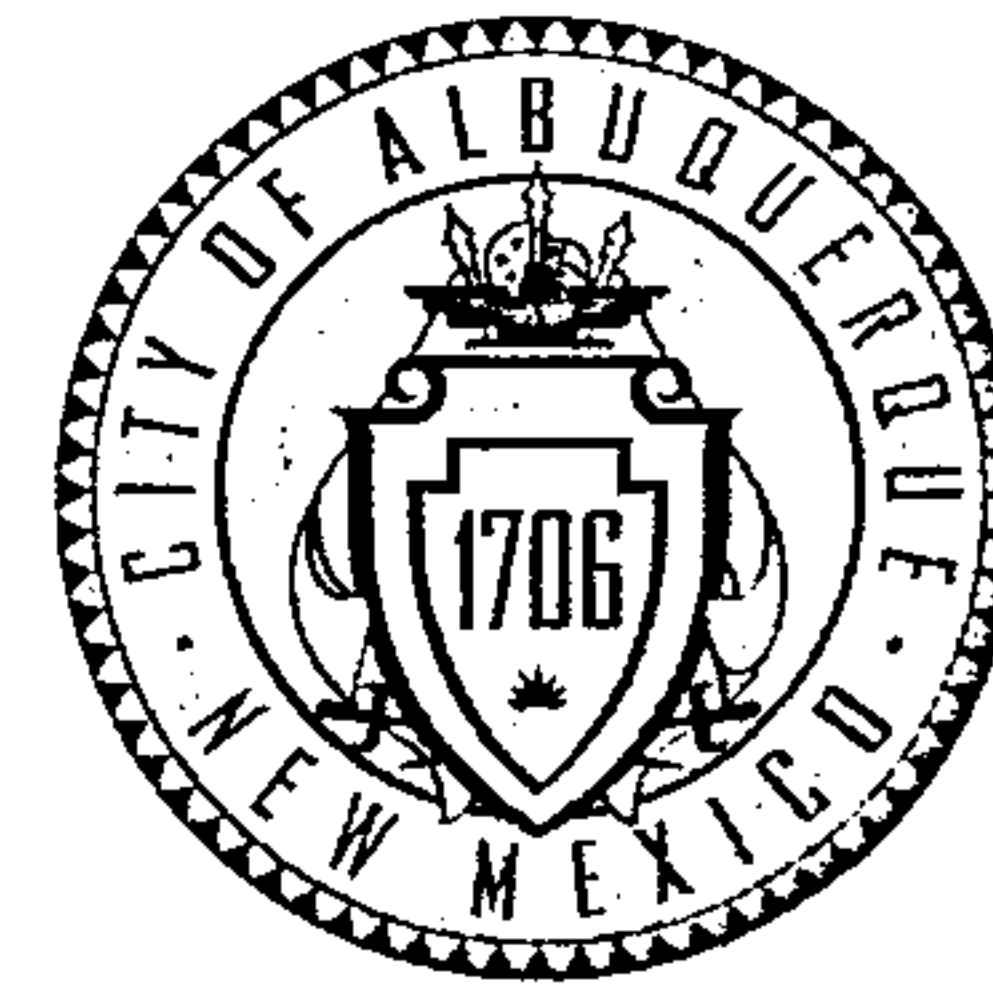
Washington
Federal
3000 Edmund
G21-D012F







CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

November 7, 2013

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

Re: **Certification for Permanent Building Certificate of Occupancy (C.O.)**
Washington Federal Bank, (G21-D012F)
3000 Eubank Blvd. NE
Engineer's Stamp Dated 11-06-13
Certification Dated 11-06-13

Dear Mr. Arfman:

The Letter of Certification submitted on 11-05-13 is not sufficient for acceptance by this office for Permanent Certificate of Occupancy (C.O.). The following items need to be addressed and completed prior to issuance of green tag for Permanent C.O.:

PO Box 1293

Albuquerque

New Mexico 87103

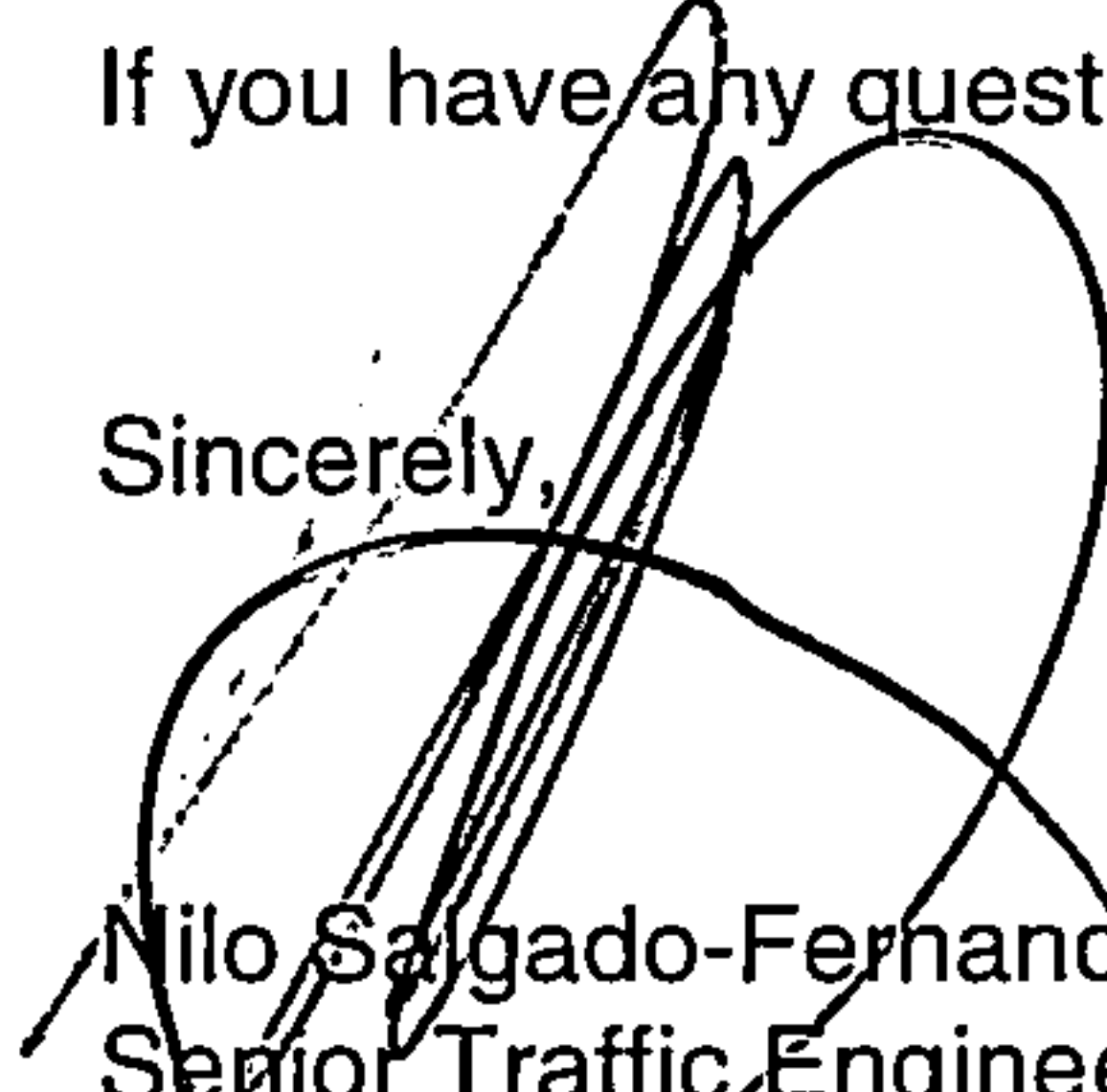
www.cabq.gov

- Provide a letter/email from Washington Federal Bank stating that a custom sign for 'Do Not Enter' instead of the MUTCD sign R5-1 will use for their drive through (egress) driving lanes within private property.
- Construct/place curbing adjacent to the Eubank drivepad as discussed in the field.
- Modify Candelaria's drivepad per discussion/agreement in the field.
- The drive up only signage is missing and will need to be installed adjacent to drive through entrance.

The issuance of a **120-day Temporary Certificate of Occupancy** has been provided until the above item has been addressed. This letter serves as a "green tag" from Transportation Development for a **120-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development Review Services
Planning Department

c: Engineer, Hydrology file, CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: Washington Federal Bank ZONE MAP/DRG. FILE # G21D012F
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A-1-B, Block 7, Mesa Arriba Subdivision, City of Albuquerque, New Mexico
CITY ADDRESS: 3000 Eubank Blvd. NE, 87111

ENGINEERING FIRM: ISAACSON & ARFMAN, PA
ADDRESS: 128 MONROE NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: Fred Arfman
PHONE: 268-8828
ZIP CODE: 87108

OWNER: Washington Federal Bank (WFB)
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: Moran & Murhpy Architecture
ADDRESS: 4501 Swiss Ave.
CITY, STATE: Dallas, TX

CONTACT: _____
PHONE: 214-841-4507
ZIP CODE: 75204

SURVEYOR: The Survey Office
ADDRESS: 333 Lomas Blvd. NE
CITY, STATE: Albuquerque, NM

CONTACT: Anthony Harris
PHONE: 505-998-0303
ZIP CODE: 87102

CONTRACTOR: Baker Construction
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☒ OTHER (SPECIFY) ENGR CERT AA-SDP

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Fred C. Arfman, PE
Isaacson & Arfman, P.A.

DATE: 11/6/2013

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following: safety concerns.

- Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

