

DEVELOPMENT & BUILDING SERVICE CENTER
ONE STOP SHOP
600 SECOND ST. N.W.

ATTENTION: Arlene
505-924-3900

Records Withdrawal Form

Project No. G-21/DZIC Date: 5/2/05

Project Title: Juan Tabo Business Park - Senior Group Home

- a. File b. Mylars c. Redlines/Comments
d. Other Drainage Plan - 2003, 1994.

Requested by: Robin HARDER CABBER/Hepler, Inc. Phone No.: 323-1848
Name and Company

Comments:
1 set full-sized copies

Anticipated Return Date: _____

I hereby accept full responsibility for the security of the above noted records/plans until return receipt acknowledgement is completed. Records/plans will be returned to the Development and Building Services Center on or before the indicated anticipated return date.

Delivery Picked Up By:

Name: _____ Organization: Albuquerque Repro
Print

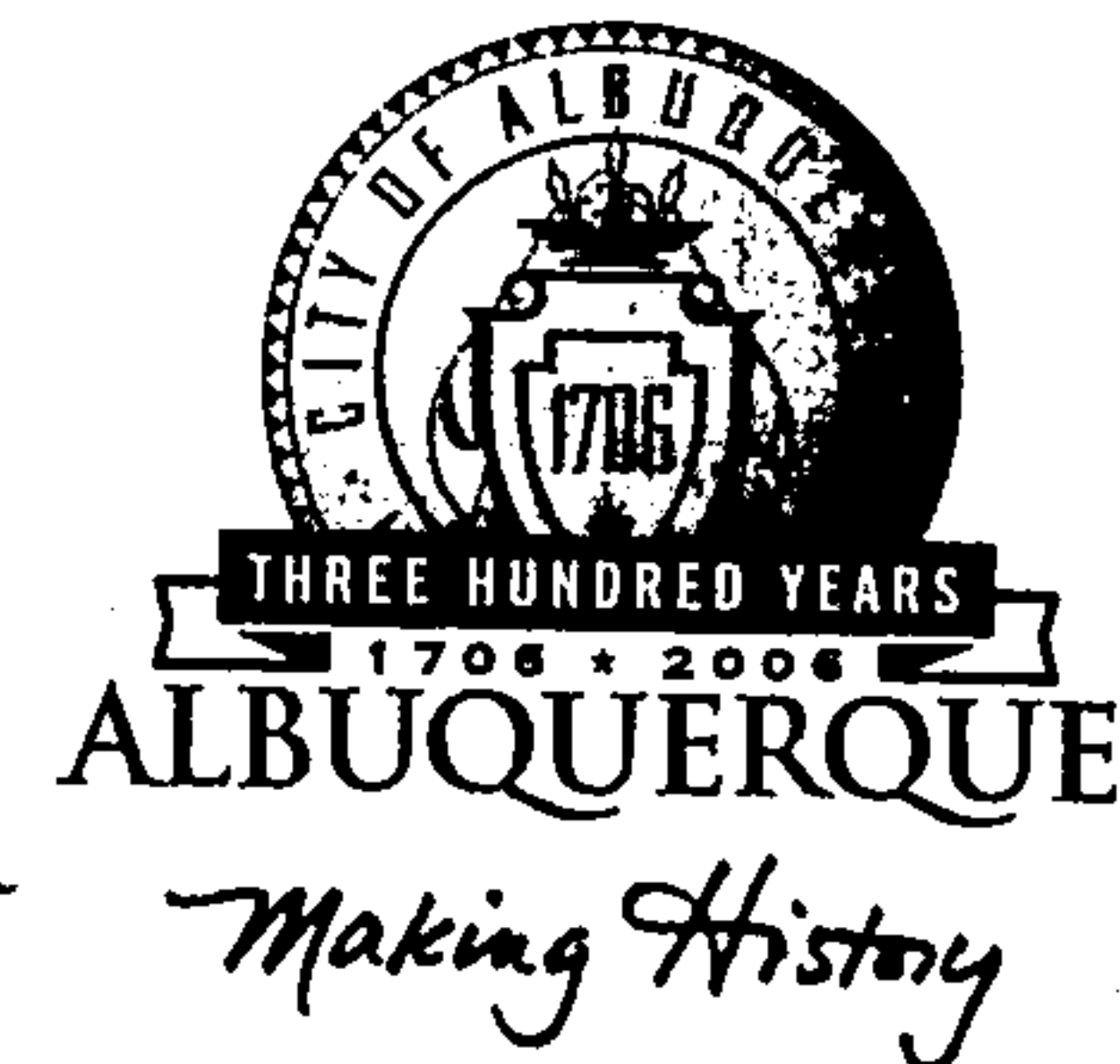
Signed: _____ Date: _____

Office Use Only

Return Acknowledged:

6/20/05 _____ Date: _____
Print
Never picked up! called Robin; she never called back.

CITY OF ALBUQUERQUE



July 14, 2004

Mr. Guy Jackson, P.E.
10522 Florence Ave. NE
Albuquerque, NM 87122

Re: JUAN TABO BUSINESS PARK - SENIOR'S GROUP HOME ADDITION
10916 Juan Tabo Place NE
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 10/27/2003 (G-21/D021C)
Certification dated 07/12/2004

P.O. Box 1293

Dear Guy,

Albuquerque

Based upon the information provided in your submittal received 07/14/2004, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

BVB

www.cabq.gov

C: Phyllis Villanueva
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Juan Tabo Business Park –Senior’s Group Home Addition ZONE MAP/DRG. FILE #: G-21/d21c
DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lots 2 & 3 of the Juan Tabo Business Park
CITY ADDRESS: 10916 Juan Tabo Place NE

ENGINEERING FIRM: Guy Jackson, PE CONTACT: Guy Jackson, PE
ADDRESS: 10522 Florence Ave. NE PHONE: 235-1426
CITY, STATE: ABQ, NM ZIP CODE: 87122

OWNER: (See Architect) CONTACT: _____
ADDRESS: (See Architect) PHONE: (See Architect)
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: AKT Architects CONTACT: Kent T.
ADDRESS: P.O. Box 3366 PHONE: 821-9560
CITY, STATE: ABQ, NM ZIP CODE: 87190

SURVEYOR: _____ CONTACT: (See Architect)
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

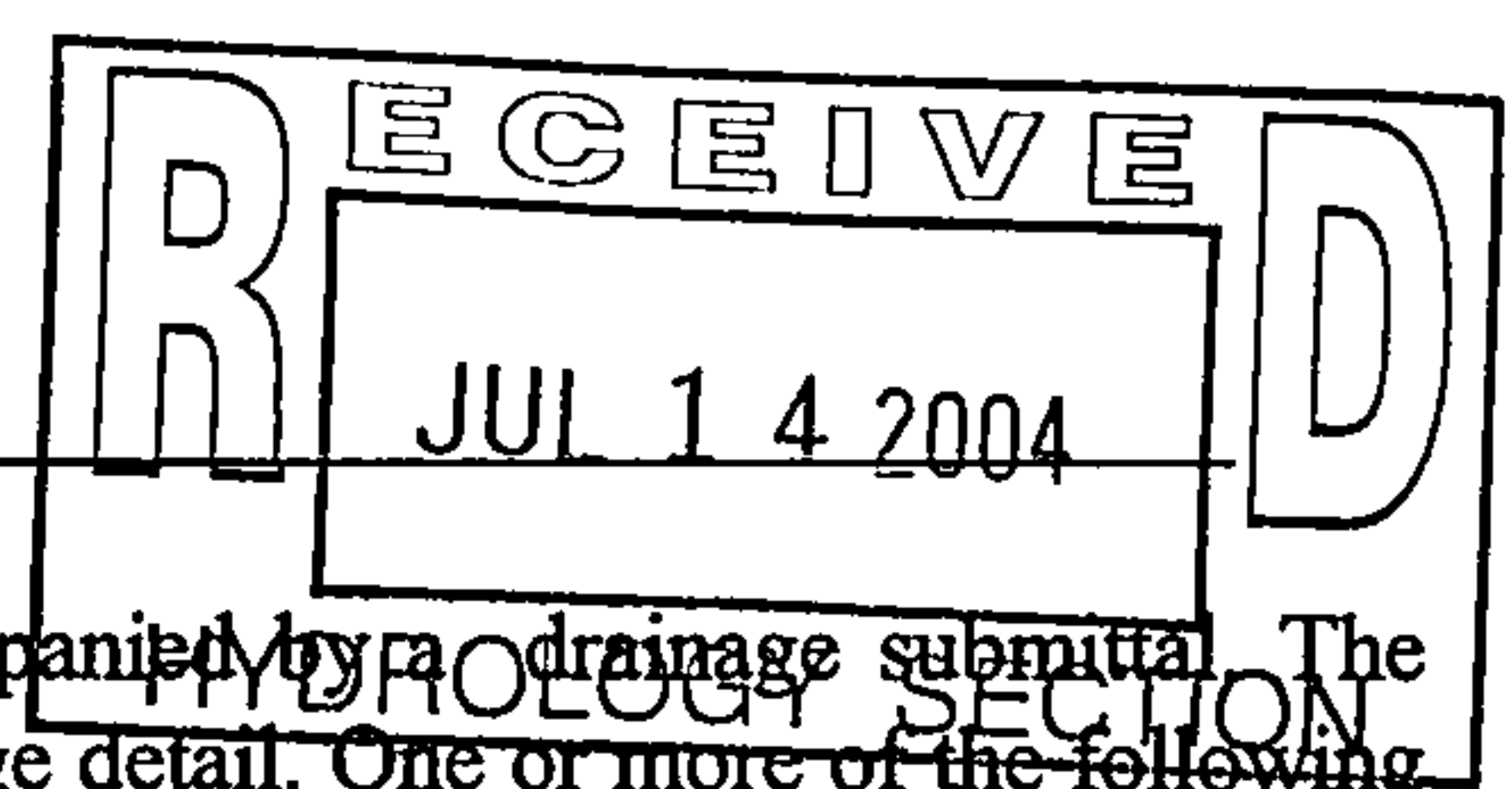
- CHECK TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEER'S CERTIFICATION(TCL)
 - ENGINEER'S CERTIFICATION (Grading & Drainage)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA / FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM.)
 - CERTIFICATE OF OCCUPANCY (TEMP.)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER _____ (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED

- YES
- NO
- COPY PROVIDED

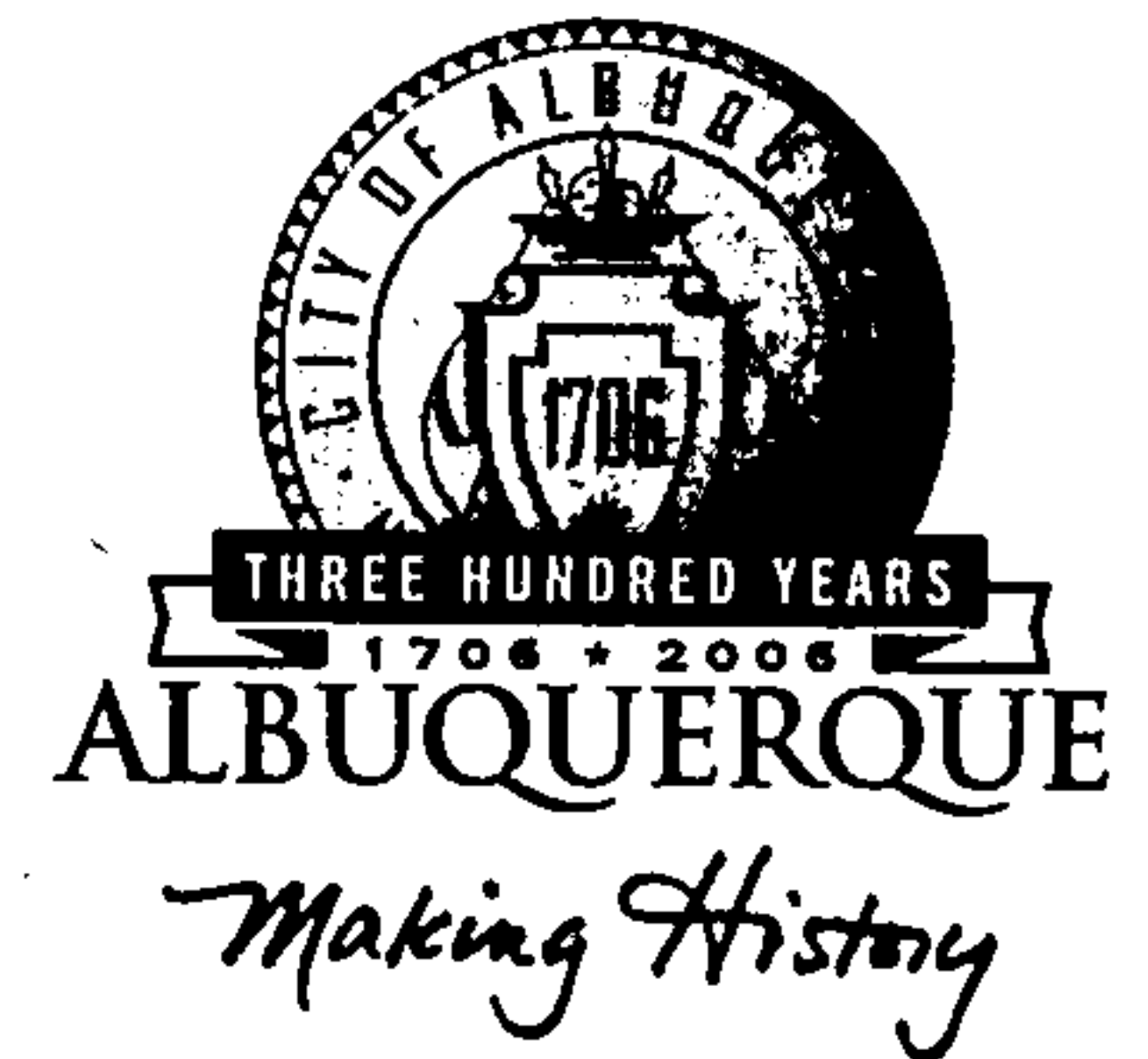
DATE SUBMITTED: July 13, 2004 BY: Guy Jackson, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 15, 2004

Guy Jackson, P.E.
10522 Florence Ave, NE
Albuquerque, NM 87122

Re: Certification Submittal for Final Building Certificate of Occupancy for
Juan Tabo Business Park-Senior's Group Home Addition, [G-21 / D21C]
10916 Juan Tabo Place NE
Engineer's Stamp Dated 07/12/04

Dear Mr. Jackson:

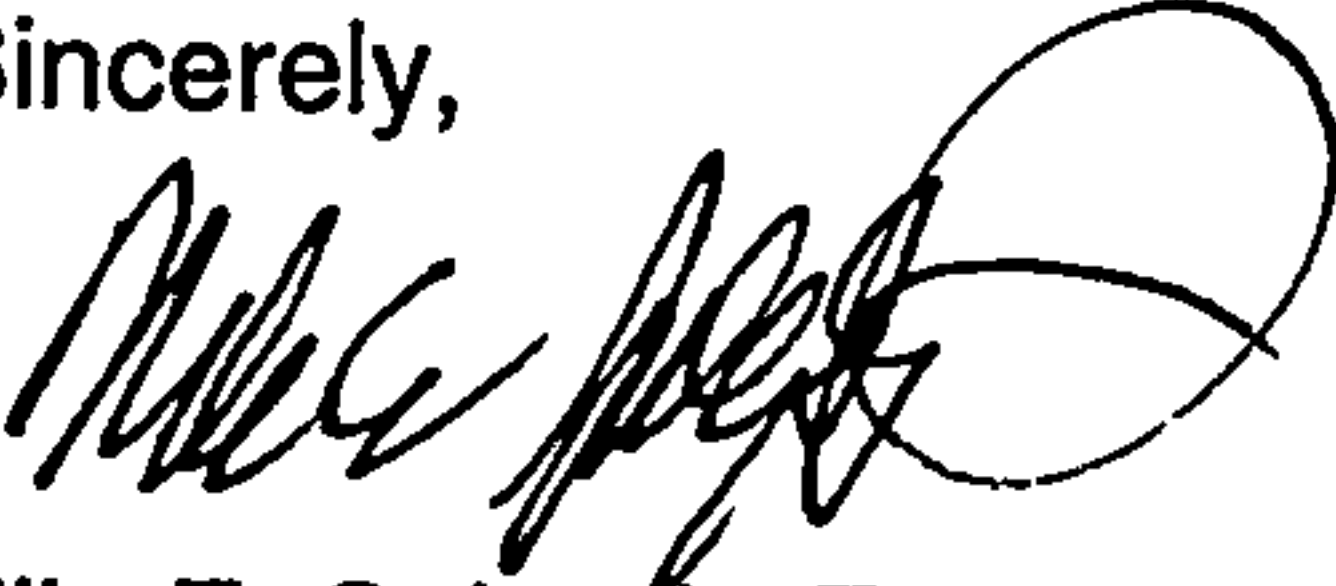
P.O. Box 1293

The TCL / Letter of Certification submitted on July 14, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk:

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

PROJECT TITLE: Juan Tabo Business Park -Senior's Group Home Addition ZONE MAP/DRG. FILE #: G-21/D021C
DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lots 2 & 3 of the Juan Tabo Business Park
CITY ADDRESS: 10916 Juan Tabo Place NE

ENGINEERING FIRM: Guy Jackson, PE CONTACT: Guy Jackson, PE
ADDRESS: 10522 Florence Ave. NE PHONE: 235-1426
CITY, STATE: ABQ, NM ZIP CODE: 87122 Fax 881-1230

OWNER: (See Architect) CONTACT: _____
ADDRESS: (See Architect) PHONE: (See Architect)
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: AKT Architects CONTACT: Kent T.
ADDRESS: P.O. Box 3366 PHONE: 821-9560
CITY, STATE: ABQ, NM ZIP CODE: 87190

SURVEYOR: _____ CONTACT: (See Architect)
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

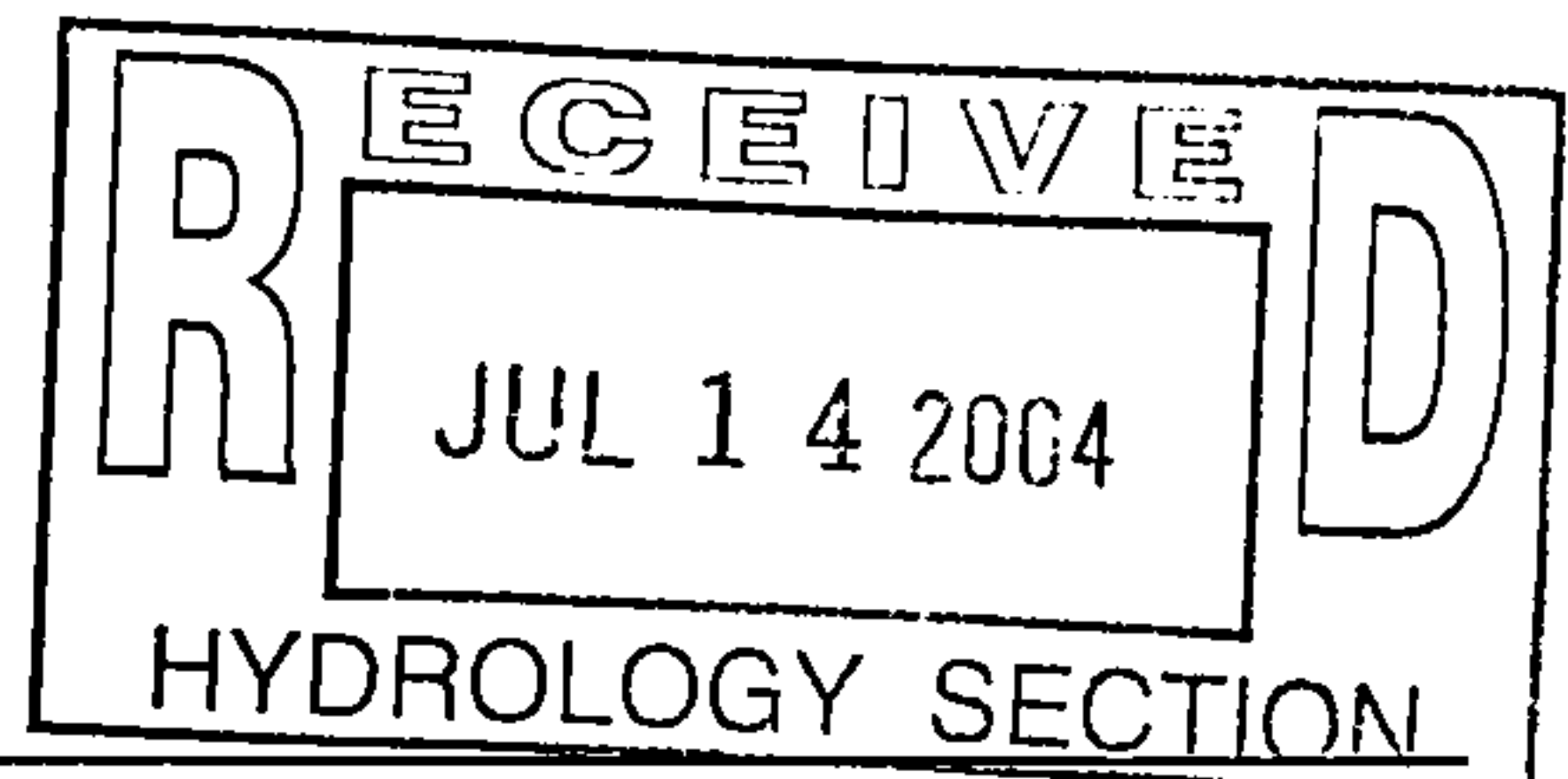
- CHECK TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEER'S CERTIFICATION(TCL)
 - ENGINEER'S CERTIFICATION
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA / FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM.)
 - CERTIFICATE OF OCCUPANCY (TEMP.)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER _____ (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: July 13, 2004 BY: Guy Jackson, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

.....

July 12, 2004

Crystal Metro
Hydrology
COA Public Works
P.O. Box 1293
Albuquerque, NM 87103

Re: Certification for Grading and Drainage Plan and Site Plan for Senior's
Group Home Addition
10916 Juan Tabo Blvd. NE

Dear Crystal:

Attached for your review and comment are the engineer's certifications of the grading & Drainage Plan and the TCL (Site Plan). I've attached one copy each of the as-built/certified plans. Also, please note that I have included a copy of the recorded access agreement per your November 10, 2004 approval letter.

Please

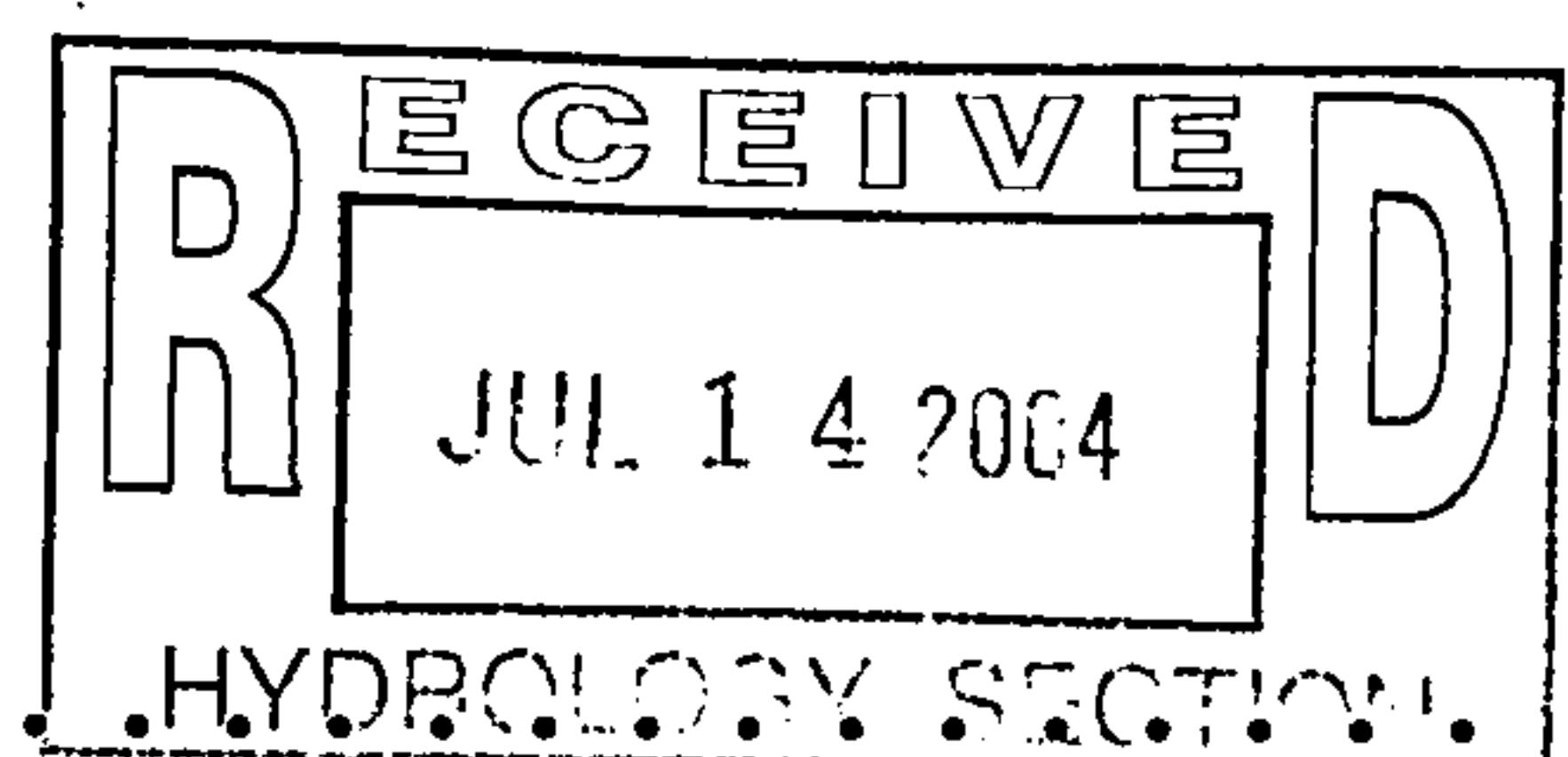
Please call me at 881-2759 if you have any questions or comments.

Sincerely,


Guy C. Jackson, PE

Attachments:

Xc:



.....
[Redacted]
July 12, 2004

Crystal Metro
Hydrology
COA Public Works
P.O. Box 1293
Albuquerque, NM 87103

Re: Certification for Grading and Drainage Plan and Site Plan for Senior's
Group Home Addition
10916 Juan Tabo Blvd. NE

Dear Crystal:

Attached for your review and comment are the engineer's certifications of the grading & Drainage Plan and the TCL (Site Plan). I've attached one copy each of the as-built/certified plans. Also, please note that I have included a copy of the recorded access agreement per your November 10, 2004 approval letter.

Please

Please call me at 881-2759 if you have any questions or comments.

Sincerely,


Guy C. Jackson, PE

Attachments:

Xc:

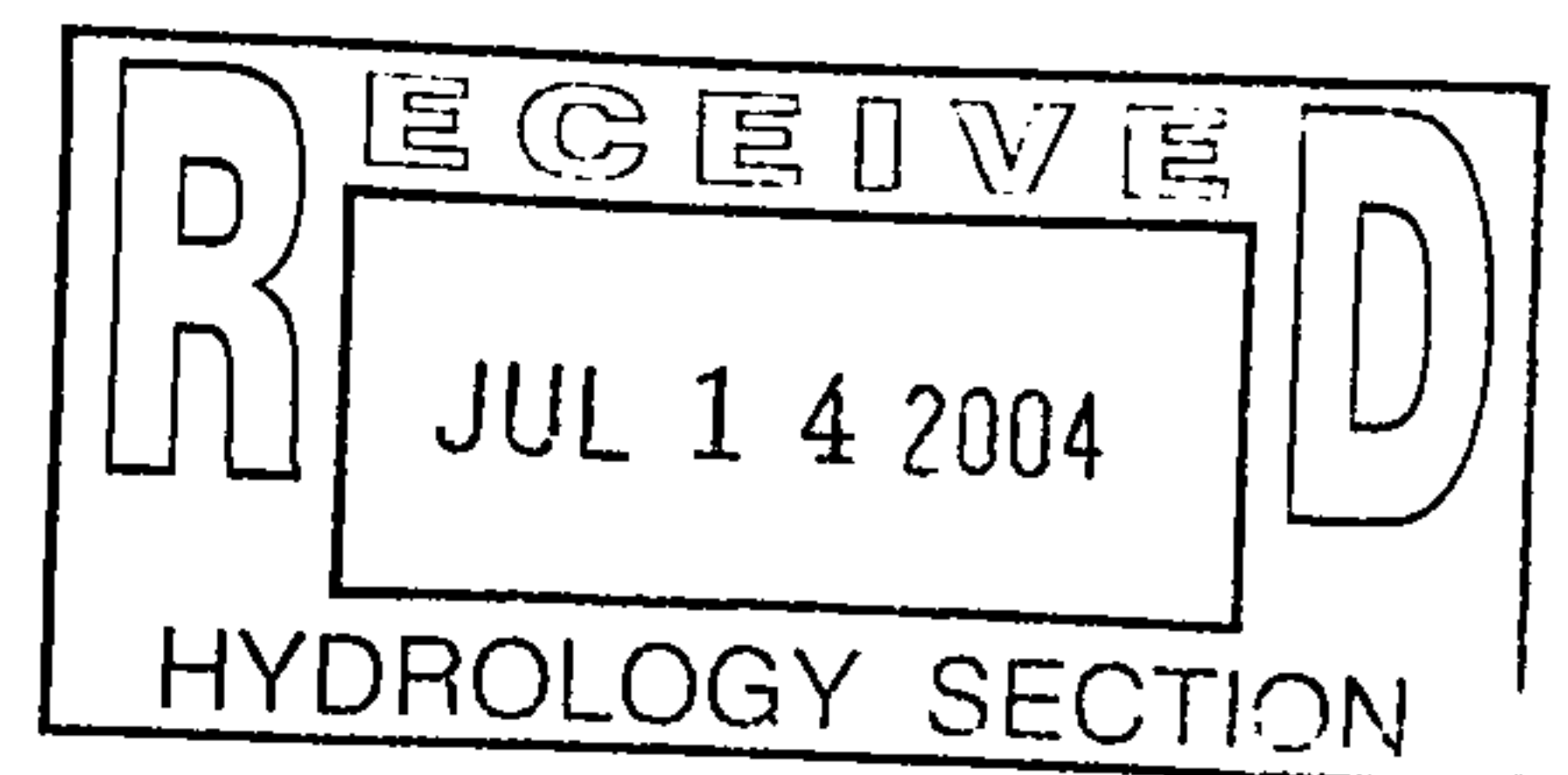
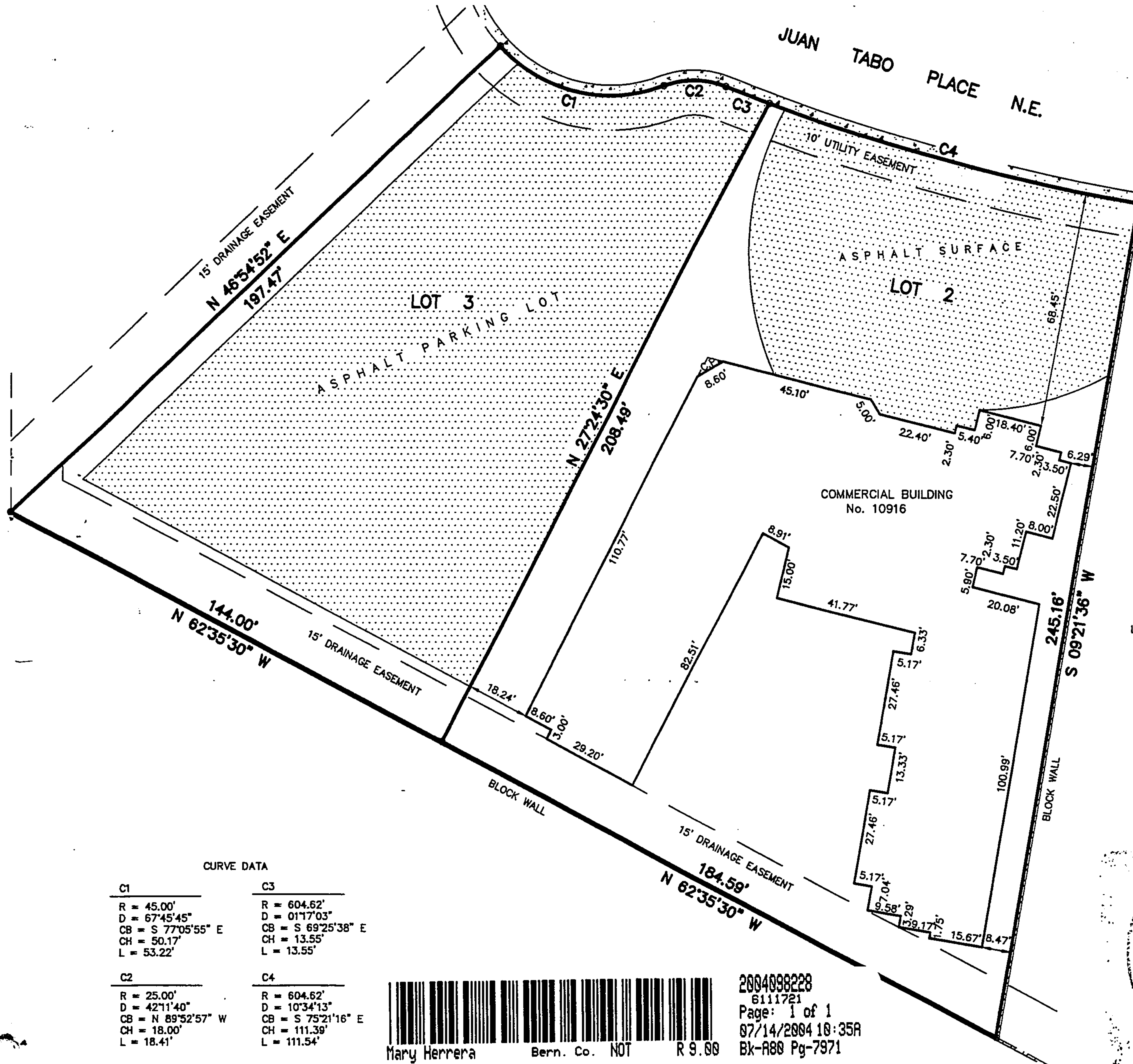


EXHIBIT SHOWING
RECIPROCAL PEDESTRIAN, ACCESS
AND
PARKING EASEMENT
WITHIN
LOT 2 AND 3
JUAN TABO BUSINESS PARK
ALBUQUERQUE, BERNALILLO COUNTY
NEW MEXICO
JULY, 2004



NOTES: BY RECORDING THIS EXHIBIT, A RECIPROCAL PEDESTRIAN, ACCESS AND PARKING EASEMENT IS GRANTED TO BENEFIT LOTS 2 AND 3, JUAN TABO BUSINESS PARK. THIS EASEMENT IS FOR THE BENEFIT OF LOTS 2 AND 3, AND IS TO BE MAINTAINED EQUALLY BY SAID LOTS.

BY: *Chris Petropoulos*
 EASEMENT APPROVED CHRISBUILT CONSTRUCTION
 CHRIS PETROPOULOS PRESIDENT

LOT 1 ACKNOWLEDGMENT
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
 THIS 13 DAY OF JULY, 2004
 BY: CHRIS PETROPOULOS
 OWNERS NAME
 MY COMMISSION EXPIRES: 10/20/2007 BY: *Darrell A. Russell*
 NOTARY PUBLIC

OFFICIAL SEAL
DARRELL A. RUSSELL
 NOTARY PUBLIC
 STATE OF NEW MEXICO

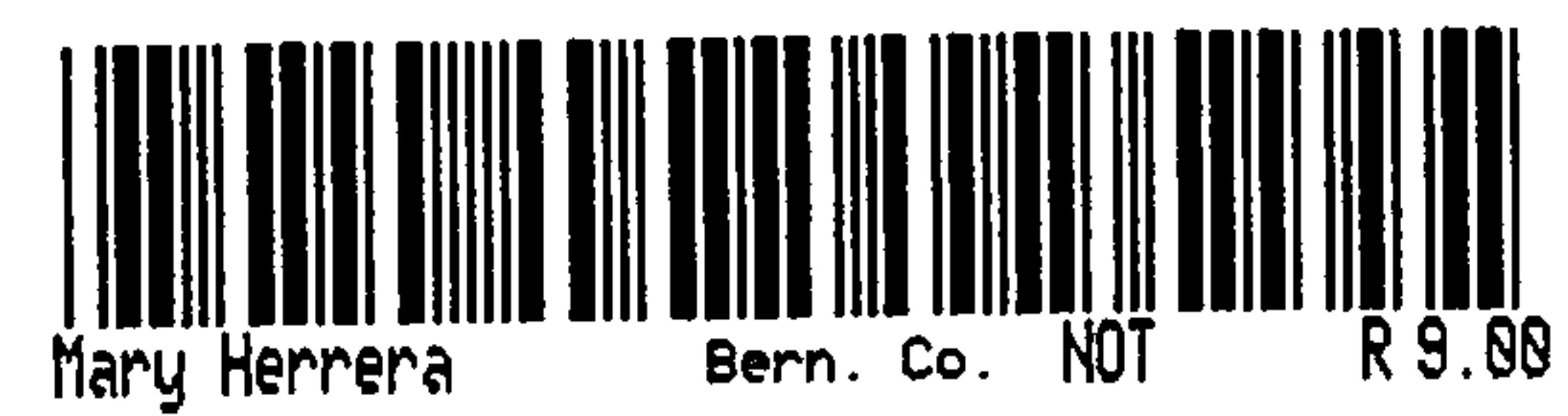
My Commission Expires 10/20/2007

Scale: 1" = 30'
 Order No.: 04-
 Field Book:
 Ordered By: *Anthony L. Harris*

Anthony L. Harris 7-13-04
 Anthony L. Harris, N.M.P.S.#11463 HARRIS SURVEYING, INC.
 2412 D. Monroe Street, NE • Albuquerque, New Mexico 87110
 Telephone (505) 889-8056 • FAX (505) 889-8645

CURVE DATA

C1	C3
R = 45.00'	R = 604.62'
D = 67°45'45"	D = 01°17'03"
CB = S 77°05'55" E	CB = S 69°25'38" E
CH = 50.17'	CH = 13.55'
L = 53.22'	L = 13.55'
C2	C4
R = 25.00'	R = 604.62'
D = 42°11'40"	D = 10°34'13"
CB = N 89°52'57" W	CB = S 75°21'16" E
CH = 18.00'	CH = 111.39'
L = 18.41'	L = 111.54'



2004098228
 6111721
 Page: 1 of 1
 07/14/2004 10:35A
 Bk-A88 Pg-7971

EX-83-JUAN-TABO.dwg(JULY-04)



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 10, 2003

Guy Jackson, P.E.
10522 Florence Ave. NE
Albuquerque, NM 87122

Re: Juan Tabo Business Park – Senior’s Group Home Addition, 10916 Juan Tabo Pl. NE, Traffic Circulation Layout

Engineer’s Stamp dated 10-27-03 (G21/D21C)

Dear Mr. Jackson,

Based upon the information provided in your submittal received 10-28-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Transportation.

A copy of the cross access easement must be received before a Certificate of Occupancy can be issued. Prior to Certificate of Occupancy release, Engineer Certification of this plan will also be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

BB

C: file

In file;
Received
6/14/04

and recorded
with the
County Clerk

.....
[Redacted]
October 24, 2003

Brad Bingham, PE
Sr. Engineer, Planning Dept.
Development & Building Services

Carlos A. Montoya, PE
City Floodplain Administrator

COA Public Works
P.O. Box 1293
Albuquerque, NM 87103

Re: Grading and Drainage Plan and Site Plan for Senior's Group Home Addition
10916 Juan Tabo Blvd. NE

Dear Brad & Carlos:

Attached for your review and comment are two copies each of the revised grading & Drainage Plan and the TCL (Site Paving Plan).

The following are my responses to your comments dated 10/20/03. They are as follows:

Brad's: [Redacted]

- 1) The revised plan shows the width of the existing drive pads.
- 2) The revised plan indicates the existing delivery/service area at the north side of the building.
- 3) The revised plan shows the area of development to be 0.4886 ac.
- 4) The revised plan shows the proposed curb radiuses.
- 5) The revised plan shows the length of all proposed parking spaces.
- 6) The revised plan shows a vicinity map.
- 7) Tabulated code/required parking calculations have been provided.
- 8) A cross lot easement is being prepared as required. Could construction proceed and the

[Redacted]

October 24, 2003

Page 2

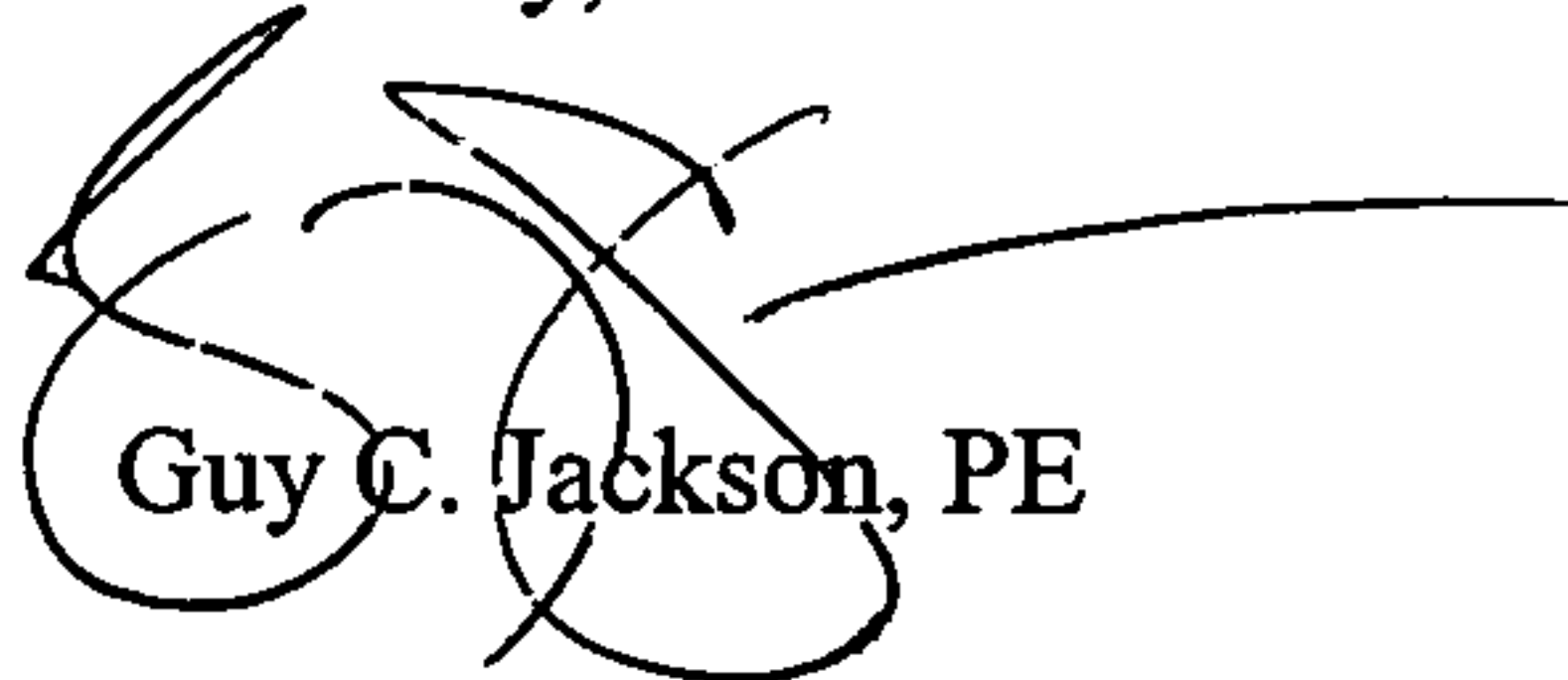
final C.O. be held till the access easement is recorded?

Carlos:

- 1) The revised grading plan shows the entrance points and flow quantities for the offsite flows as well as the adjacent properties within the Juan Tabo Business Park.
- 2) The revised grading plan shows additional spot elevations near the proposed addition.
- 3) The revised grading plan shows the limits of existing sidewalk to remain on lot 2. (This is clarified more on the site plan that Brad reviewed).
- 4) The revised grading plan shows the proximity to the existing Embudito Arroyo with reference to the FIRM map.

Please call me at 235-1426 or 797-0895 if you have any additional questions or comments.

Sincerely,



Guy C. Jackson, PE

Attachments:

Xc:

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

PROJECT TITLE: Juan Tabo Business Park - Senior's Group Home Addition ZONE MAP/DRG. FILE #: G-21 / D21C
DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lots 2 & 3 of the Juan Tabo Business Park
CITY ADDRESS: 10916 Juan Tabo Place NE

ENGINEERING FIRM: Guy Jackson, PE CONTACT: Guy Jackson, PE
ADDRESS: 10522 Florence Ave. NE PHONE: 235-1426
CITY, STATE: ABQ, NM ZIP CODE: 87122

OWNER: (See Architect) CONTACT: _____
ADDRESS: (See Architect) PHONE: (See Architect)
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: AKT Architects CONTACT: Kent T.
ADDRESS: P.O. Box 3366 PHONE: 821-9560
CITY, STATE: ABQ, NM ZIP CODE: 87190

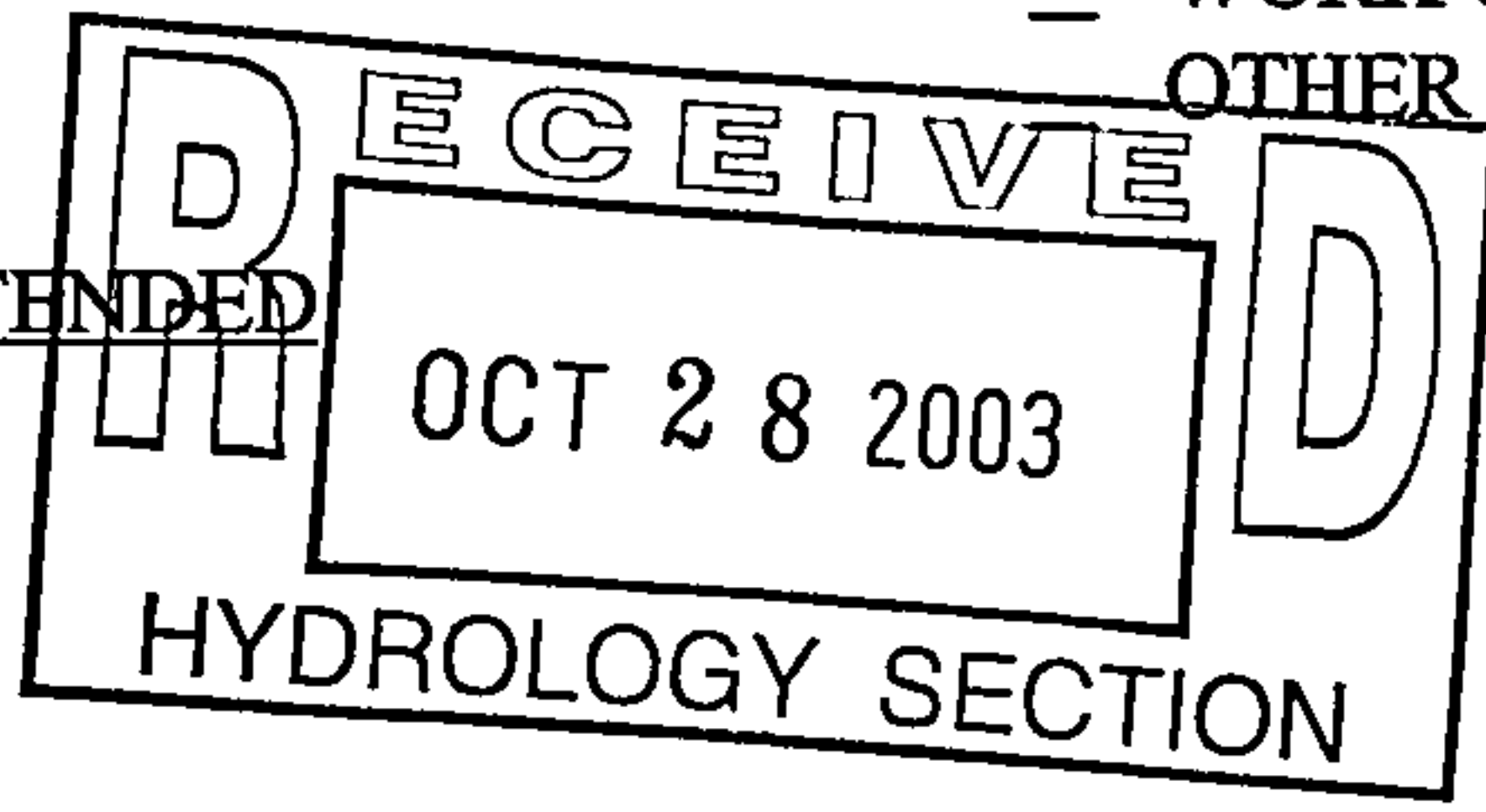
SURVEYOR: _____ CONTACT: (See Architect)
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: S & J Enterprises Inc CONTACT: _____
ADDRESS: 3535 Princeton NE PHONE: 884-6234
CITY, STATE: ABQ, NM ZIP CODE: 87107

- CHECK TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN *RESUBMITTAL*
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEER'S CERTIFICATION(TCL)
 - ENGINEER'S CERTIFICATION(DRB APPR. SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA / FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM.)
 - CERTIFICATE OF OCCUPANCY (TEMP.)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER _____ (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED
 YES
 NO
 COPY PROVIDED



DATE SUBMITTED: October 28, 2003 BY: Guy Jackson, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 21, 2003

Guy Jackson, P.E.
10522 Florence Ave. NE
Albuquerque, NM 87122

Re: Juan Tabo Business Park – Senior’s Group Home Addition, 10916 Juan Tabo Pl. NE, Traffic Circulation Layout
Engineer’s Stamp dated 9-22-03 (G21/D21C)

Dear Mr. Jackson,

Based upon the information provided in your submittal received 9-29-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓1. List the width of the existing drivepad.
- ✓2. Provisions for service vehicles are required; please detail these provisions on the plan.
3. Please list the size of the development.
- ✓4. List the curb radius values.
5. Please show the length of the proposed parking spaces located near note 1.
- ✓6. Please show a vicinity map.
- ✓7. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
8. Provide a cross lot access easement.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Juan Tabo Business Park -Senior's Group Home Addition ZONE MAP/DRG. FILE #: G-21/D21C

DRB#: _____ EPC#: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lots 2 & 3 of the Juan Tabo Business Park

CITY ADDRESS: 10916 Juan Tabo Place NE

ENGINEERING FIRM: Guy Jackson, PE
ADDRESS: 10522 Florence Ave. NE
CITY, STATE: ABQ, NM

CONTACT: Guy Jackson, PE
PHONE: 235-1426
ZIP CODE: 87122

OWNER: (See Architect)
ADDRESS: (See Architect)
CITY, STATE: _____

CONTACT: _____
PHONE: (See Architect)
ZIP CODE: _____

ARCHITECT: AKT Architects
ADDRESS: P.O. Box 3366
CITY, STATE: ABQ, NM

CONTACT: Kent T.
PHONE: 821-9560
ZIP CODE: 87190

SURVEYOR: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____

CONTACT: (See Architect)
ZIP CODE: _____

CONTRACTOR: S & J Enterprises Inc
ADDRESS: 3535 Princeton NE
CITY, STATE: ABQ, NM

CONTACT: _____
PHONE: 884-6234
ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

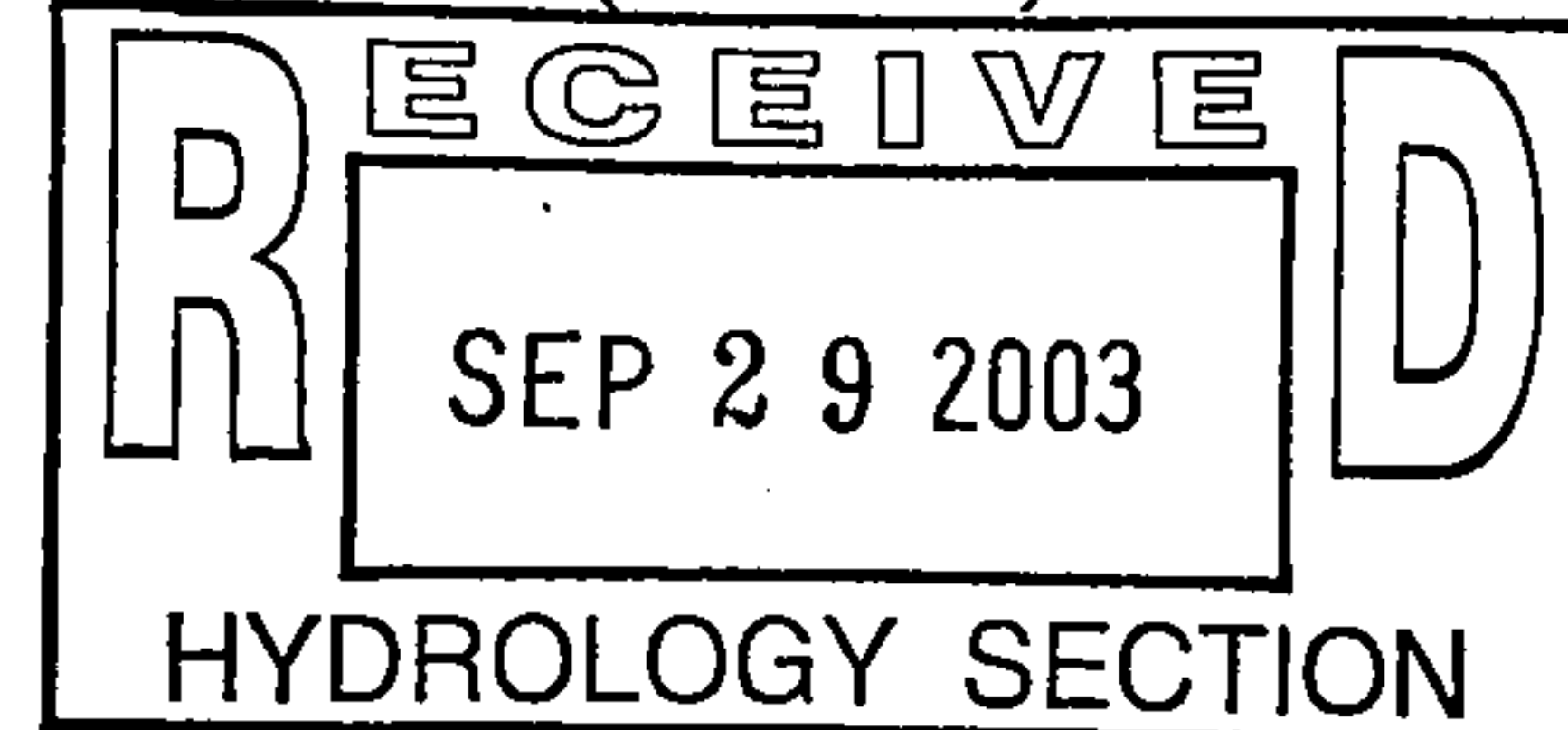
- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERTIFICATION (TCL)
- ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- SIA / FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED

- YES
- NO
- COPY PROVIDED



DATE SUBMITTED: September 29, 2003 BY: Guy Jackson, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 20, 2003

Guy Jackson, P.E.
10522 Florence Ave. NE
Albuquerque, NM 87122

**Re: Juan Tabo Business Park – Senior’s Group Home Addition, 10916 Juan Tabo Pl. NE, Grading and Drainage Plan
Engineer’s Stamp dated 9-22-03 (G21/D21C)**

Dear Mr. Jackson,

Based upon the information provided in your submittal received 9-29-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓1. Please show the entrance points and flow quantities for offsite flow.
- ✓2. Include additional spot elevations near the proposed buiding addition.
- ✓3. Does the existing sidewalk within lot 2 remain?
4. Please define the site’s proximity to a flood zone.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Carlos A. Montoya, PE
City Floodplain Administrator

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Juan Tabo Business Park -Senior's Group Home Addition ZONE MAP/DRG. FILE #: G-21 / D21C

DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lots 2 & 3 of the Juan Tabo Business Park

CITY ADDRESS: 10916 Juan Tabo Place NE

ENGINEERING FIRM: Guy Jackson, PE
ADDRESS: 10522 Florence Ave. NE
CITY, STATE: ABQ, NM

CONTACT: Guy Jackson, PE
PHONE: 235-1426
ZIP CODE: 87122

OWNER: (See Architect)
ADDRESS: (See Architect)
CITY, STATE: _____

CONTACT: _____
PHONE: (See Architect)
ZIP CODE: _____

ARCHITECT: AKT Architects
ADDRESS: P.O. Box 3366
CITY, STATE: ABQ, NM

CONTACT: Kent T.
PHONE: 821-9560
ZIP CODE: 87190

SURVEYOR: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____

CONTACT: (See Architect)
ZIP CODE: _____

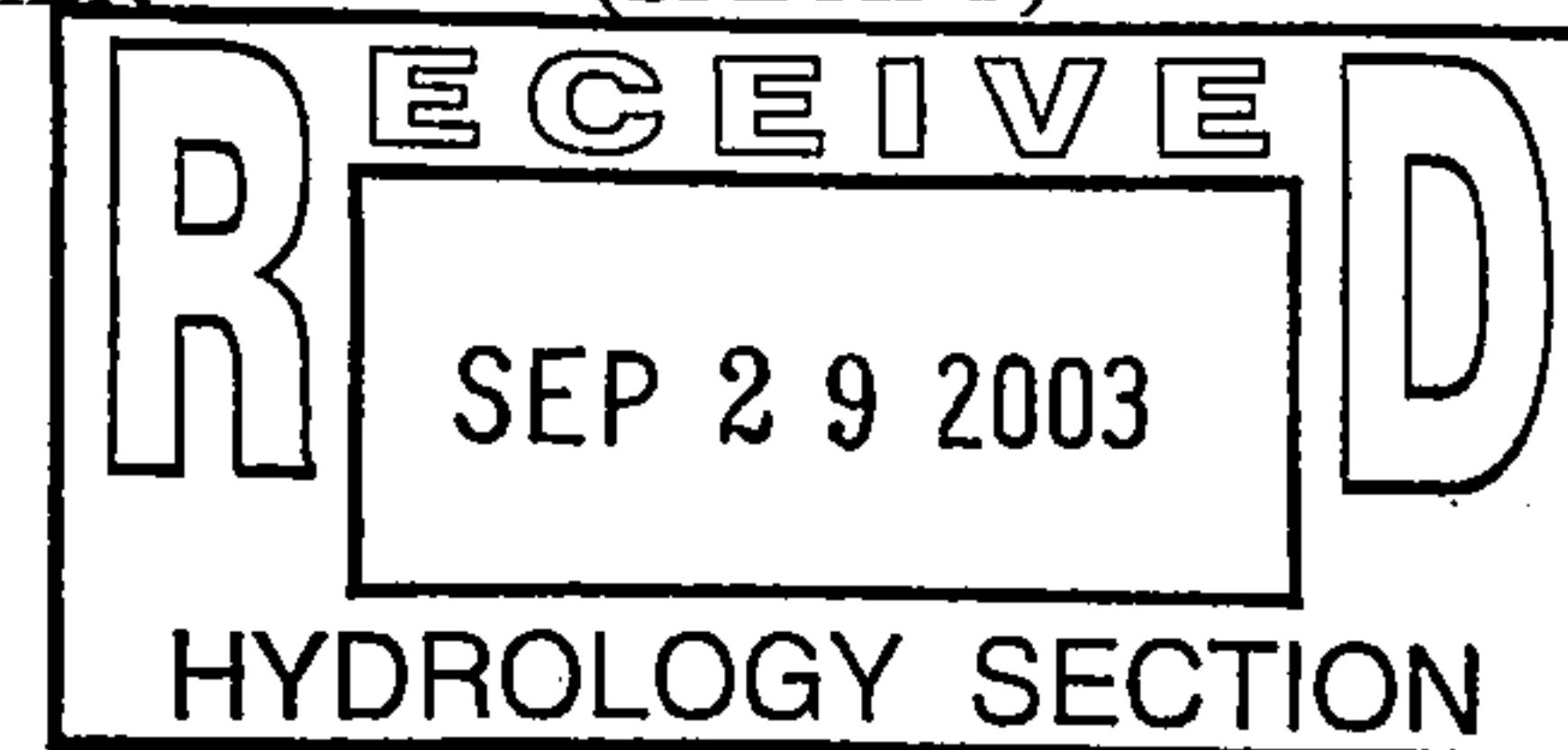
CONTRACTOR: --- S & J Enterprises Inc
ADDRESS: 3535 Princeton NE
CITY, STATE: ABQ, NM

CONTACT: _____
PHONE: 884-6234
ZIP CODE: 87107

- CHECK TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - ~~DRAINAGE PLAN~~
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - ~~GRADING PLAN~~
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEER'S CERTIFICATION(TCL)
 - ENGINEER'S CERTIFICATION(DRB APPR. SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA / FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM.)
 - CERTIFICATE OF OCCUPANCY (TEMP.)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED
 YES
 NO
 COPY PROVIDED



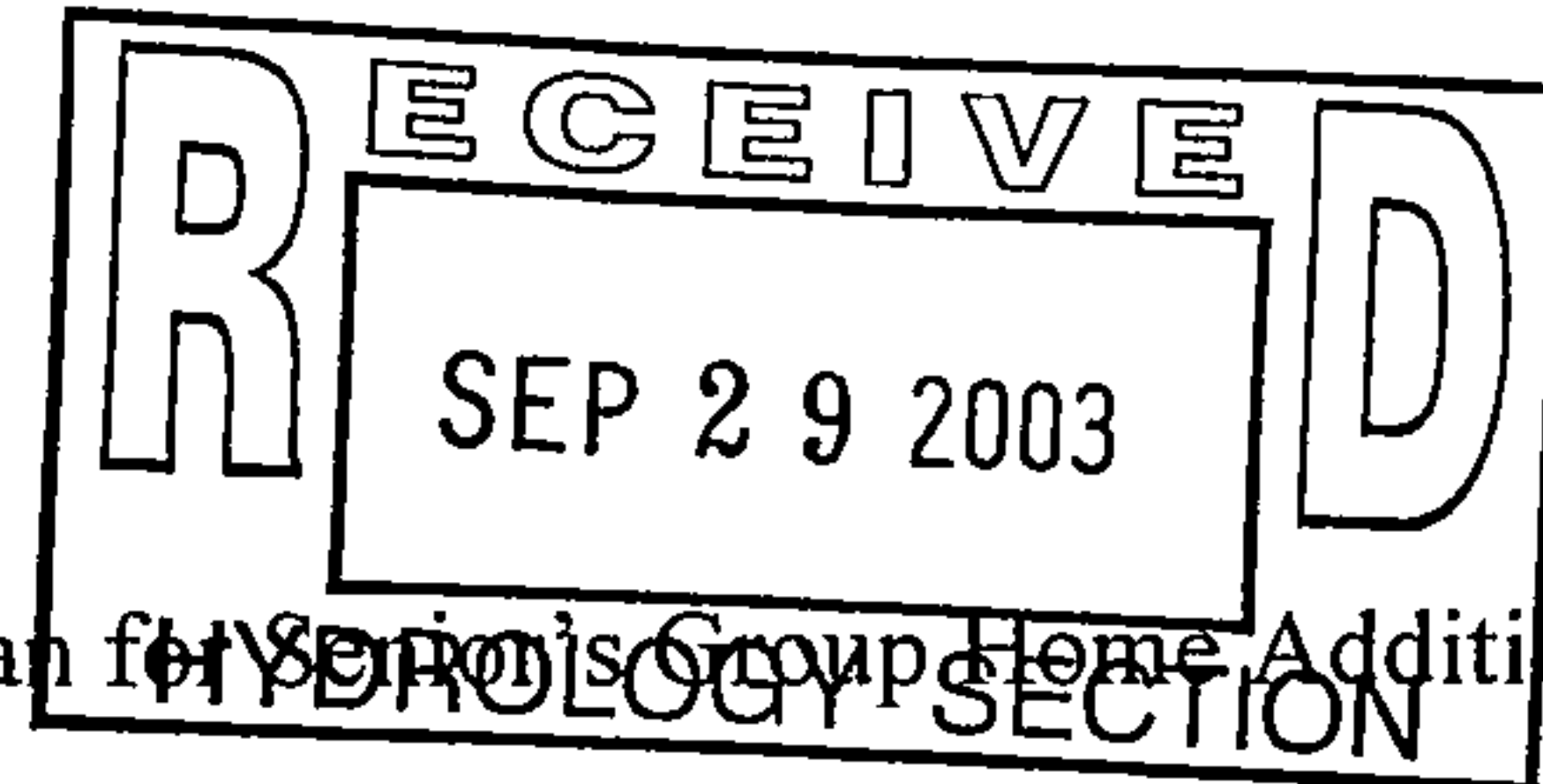
DATE SUBMITTED: September 29, 2003 BY: Guy Jackson, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

September 29, 2003

Brad Bingham, PE
Hydrology
COA Public Works
P.O. Box 1293
Albuquerque, NM 87103



Re: Grading and Drainage Plan and Site Plan for Senior's Group Home Addition
10916 Juan Tabo Blvd. NE

Dear Brad:

Attached for your review and comment are two copies each of the grading & Drainage Plan and the TCL (Site Paving Plan).

The proposed work on Lot 2 consists of construction of a building addition to the existing care home. The proposed work on Lot 3 shows a parking lot and accompanying landscaping on Lot 3. Both lots are infill lots located in Juan Tabo Business Park. The grading and drainage that I'm submitting is in compliance with the original mater drainage plan prepared by Bohannan-Huston in 1982 as shown in file G-21-D-21 of the COA Hydrology records. Please forward the TCL plans (attached Site Plans) to Transportation for their review.

Please call me at 235-1426 or 797-0895 if you have any questions or comments.

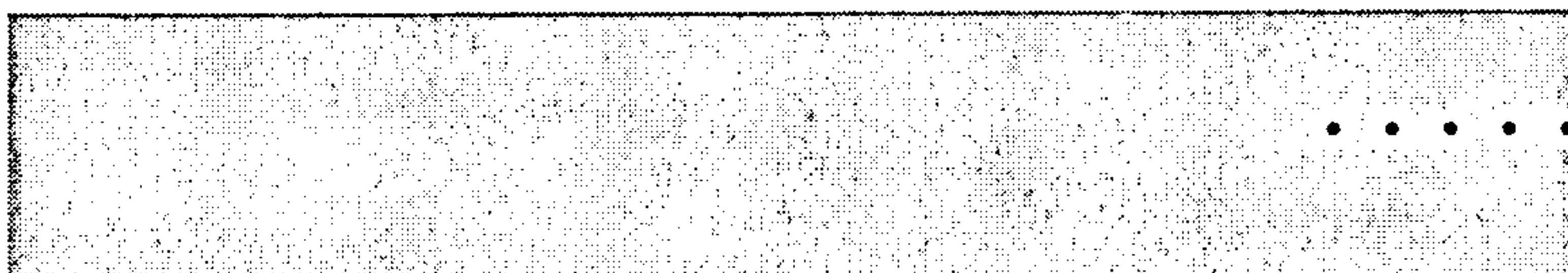
Sincerely,

A handwritten signature in black ink, appearing to read "Guy C. Jackson".

Guy C. Jackson, PE

Attachments:

Xc:





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 21, 1995

Guy Jackson
BPLW Architects & Engineers
2900 Louisiana NE Suite 400
Albuquerque, NM 87110

RE: SENIORS GROUP HOME (G-21/D21C) ENGINEER'S STAMP DATED 2/14/95

Dear Mr. Jackson:

Based upon the as-built information supplied in your 2/15/95 submittal, Engineer's Certification for the referenced site is acceptable for Certificate of Occupancy release.

If I can be of further assistance, feel free to contact me at 768-3622.

Sincerely,

Scott Davis
PWD, Hydrology Division

c: Andrew Garcia
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 22, 1994

Mr. Guy Jackson
BPLW Architects & Engineers
2900 Louisiana NE Suite 400
Albuquerque, NM 87110

RE: BUILDING PERMIT & GRADING PERMIT APPROVAL FOR SENIORS GROUP HOME
(G-21/D21C) ENGINEER'S STAMP DATED 6/9/94

Dear Mr. Jackson:

Based upon your 6/10/94 submittal, the referenced project is approved for Grading and Building Permit. As we discussed on the phone today, please make the revision to your Drainage Plan concerning the storm inlets. Your plan currently does not show an Erosion Control plan to be followed during construction. Prior to signoff, you will need to include it. Please keep in mind that prior to Certificate of Occupancy release, we will need an Engineer's Certification per the Certification Checklist. Be sure to include a copy of this approval letter with the construction drawings for signoff.

If I can be of further assistance, feel free to contact me at 768-3622.

Cordially,

Scott Davis
PWD, Hydrology Division

c: Andrew Garcia
File

(WP+8610)



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 10, 2003

Guy Jackson, P.E.
10522 Florence Ave. NE
Albuquerque, NM 87122

Re: Juan Tabo Business Park – Senior’s Group Home Addition, 10916 Juan Tabo Pl. NE, Grading and Drainage Plan

Engineer’s Stamp dated 10-27-03 (G21/D21C)

Dear Mr. Jackson,

Based upon the information provided in your submittal received 10-28-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

cam Engineering Associate, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Juan Tabo Business Park -Senior's Group Home Addition ZONE MAP/DRG. FILE #: G-21/D21C
DRB#: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lots 2 & 3 of the Juan Tabo Business Park
CITY ADDRESS: 10916 Juan Tabo Place NE

ENGINEERING FIRM: Guy Jackson, PE CONTACT: Guy Jackson, PE
ADDRESS: 10522 Florence Ave. NE PHONE: 235-1426
CITY, STATE: ABQ, NM ZIP CODE: 87122

OWNER: (See Architect) CONTACT: _____
ADDRESS: (See Architect) PHONE: (See Architect)
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: AKT Architects CONTACT: Kent T.
ADDRESS: P.O. Box 3366 PHONE: 821-9560
CITY, STATE: ABQ, NM ZIP CODE: 87190

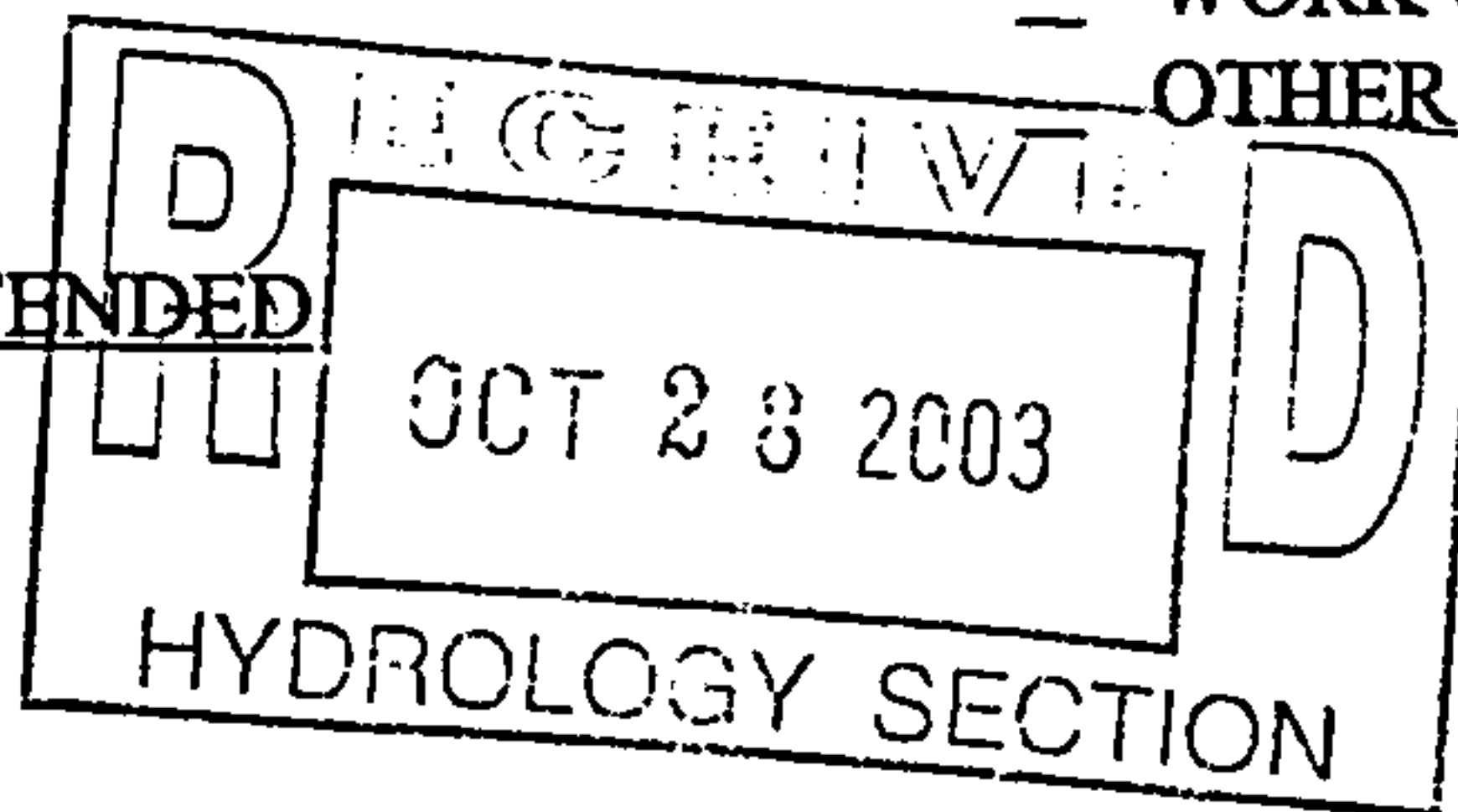
SURVEYOR: _____ CONTACT: (See Architect)
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: S & J Enterprises Inc CONTACT: _____
ADDRESS: 3535 Princeton NE PHONE: 884-6234
CITY, STATE: ABQ, NM ZIP CODE: 87107

- CHECK TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - ~~DRAINAGE PLAN~~ *RESUBMITTAL*
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - ~~GRADING PLAN~~
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEER'S CERTIFICATION(TCL)
 - ENGINEER'S CERTIFICATION(DRB APPR. SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:**
- SIA / FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM.)
 - CERTIFICATE OF OCCUPANCY (TEMP.)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER _____ (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED
 YES
 NO
 COPY PROVIDED



DATE SUBMITTED: October 28, 2003 BY: Guy Jackson, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 21, 1995

Guy Jackson
BPLW Architects & Engineers
2900 Louisiana NE Suite 400
Albuquerque, NM 87110

RE: SENIORS GROUP HOME (G-21/D21C) ENGINEER'S STAMP DATED 2/14/95

Dear Mr. Jackson:

Based upon the as-built information supplied in your 2/15/95 submittal, Engineer's Certification for the referenced site is acceptable for Certificate of Occupancy release.

If I can be of further assistance, feel free to contact me at 768-3622.

Sincerely,

Scott Davis
PWD, Hydrology Division

c: Andrew Garcia
File

PROJECT TITLE: Seniors Group Home ZONE ATLAS/DRNG. FILE #: G 21/021C

DPE #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lot 2 of The Juan Tabo Business Park

CITY ADDRESS: 90916 Juan Tabo Place NE

ENGINEERING FIRM: BPLW Arch's & Eng's CONTACT: Guy Jackson

ADDRESS: 2900 Louisiana NE PHONE: 881-2759

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: AKT Architects CONTACT: Kent Trauernicht

ADDRESS: P.O. Box 3366 Albuq. NM 87109 PHONE: 281-9560

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: S & S Enterprises CONTACT: John Trian

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER _____

CHECK TYPE OF APPROVAL SOUGHT:

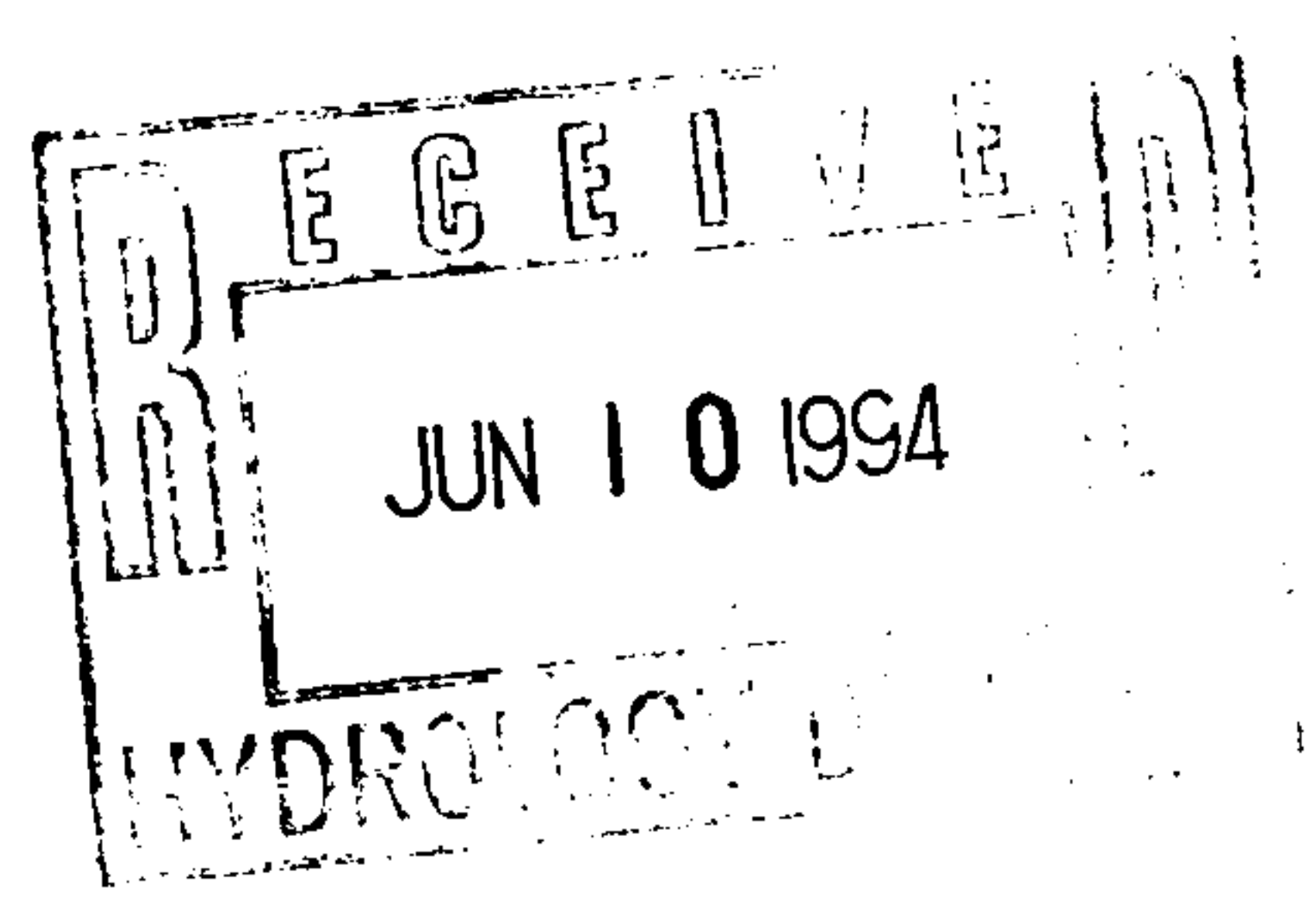
- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: 6/6/94

BY: Guy Jackson



BPLW

Architects & Engineers, Inc.

American Financial Center #5
2400 Louisiana Blvd. NE
Suite 400
Albuquerque, New Mexico 87110
(505) 881-BPLW (2759)
FAX (505) 881-1230

June 6, 1994

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Jeffrey A. Stone, MIES
Maureen M. Walter, AIA, CCS
W. Paul Waters, AIA

Fred Aguirre, PE
Hydrology Chairman
COA - Public Works
PO Box 1293
Albuquerque, New Mexico 87103

**Re: Grading and Drainage Plan for
The Seniors Group Home
BPLW Project Number: 94027**

Dear Fred:

Attached for your review and comment are the following:

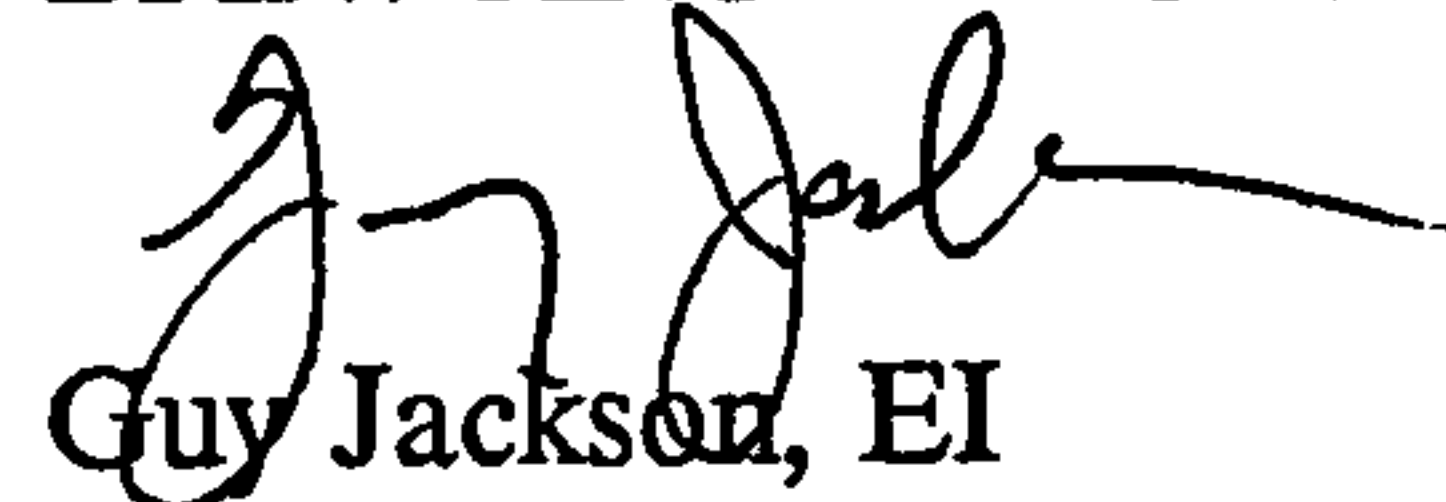
One (1) Drainage Information Sheet
One (1) Set of the Grading and Drainage Plans

The proposed project is located at 90916 Juan Tabo Place NE between Montgomery Boulevard and Comanche Road NE. The infill site consists of a proposed 7916 SF building with adjacent drivepads and walls. A copy of the previously approved plan for the Juan Tabo Business Park has been shown for reference.

If you have any questions concerning this project, please call me.

Sincerely,

BPLW ARCHITECTS & ENGINEERS, INC.



Guy Jackson, EI
Civil Engineering Department

Attachments

xc: John Triandafilidas, S&J Enterprises, Inc.
Jeff Bergmann, BPLW Architects & Engineers, Inc.

192046.001

JUN 10 1994



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: _____ DATE: 6/1/94
EPC NO.: _____ DRB NO.: _____ ZONE: _____
SUBJECT: ~~Juan Tabo Business Park~~ Seniors Group Home
STREET ADDRESS: Juan Tabo & Juan Tabo Place
LEGAL DESCRIPTION: _____

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN _____ BUILDING PERMIT
_____ GRADING/PAVING PERMIT _____ OTHER

	WHO	REPRESENTING
ATTENDANCE:	<u>Cory Jackson</u>	<u>BPLW</u>
	<u>Teff Bergmann</u>	<u>BPLW</u>
	<u>Scott Davis</u>	<u>City</u>

FINDINGS:
1. Drainage Plan will be required to update the original Master Plan. (Juan Tabo Bus. Pk.)
2. Will need to verify that existing inlet @ SE corner has suff. cap.

RECEIVED
JUN 10 1994
HYDROLOGY DIV

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>[Signature]</u>	SIGNED: <u>[Signature]</u>
TITLE: <u>BPLW</u>	TITLE: <u>City Hydro</u>
DATE: <u>6/1/94</u>	DATE: <u>6/1/94</u>

NOTE PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.

BPLW

Architects & Engineers, Inc.

American Financial Center #5
2400 Louisiana Blvd. NE
Suite 400
Albuquerque, New Mexico 87110
(505) 881-BPLW (2759)
FAX (505) 881-1230

February 14, 1995

Officers

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Charlie M. Otero, AIA

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Jeffrey A. Stone, MIES
Maureen M. Walter, AIA, CCS
W. Paul Waters, AIA

Mr. Scott Davis, CE
Hydrology Department
City of Albuquerque Public Works
P.O. Box 1293
Albuquerque, NM 87103

**Re: Certification of Occupancy for Juan Tabo Business Park
Senior's Group Home
Zone Map G-21
BPLW Project No. 94027**

Dear Scott:

The following has been attached for review and issuance of a Certificate of Occupancy (C.O.) for the above-referenced project:

- One drainage information sheet
- Two sets of plans with as-built elevations and certification language along with Dated Engineers Stamps(s)

Please contact me upon your issuance of the C.O. Also, please call me if you have any questions or comments.

Sincerely,

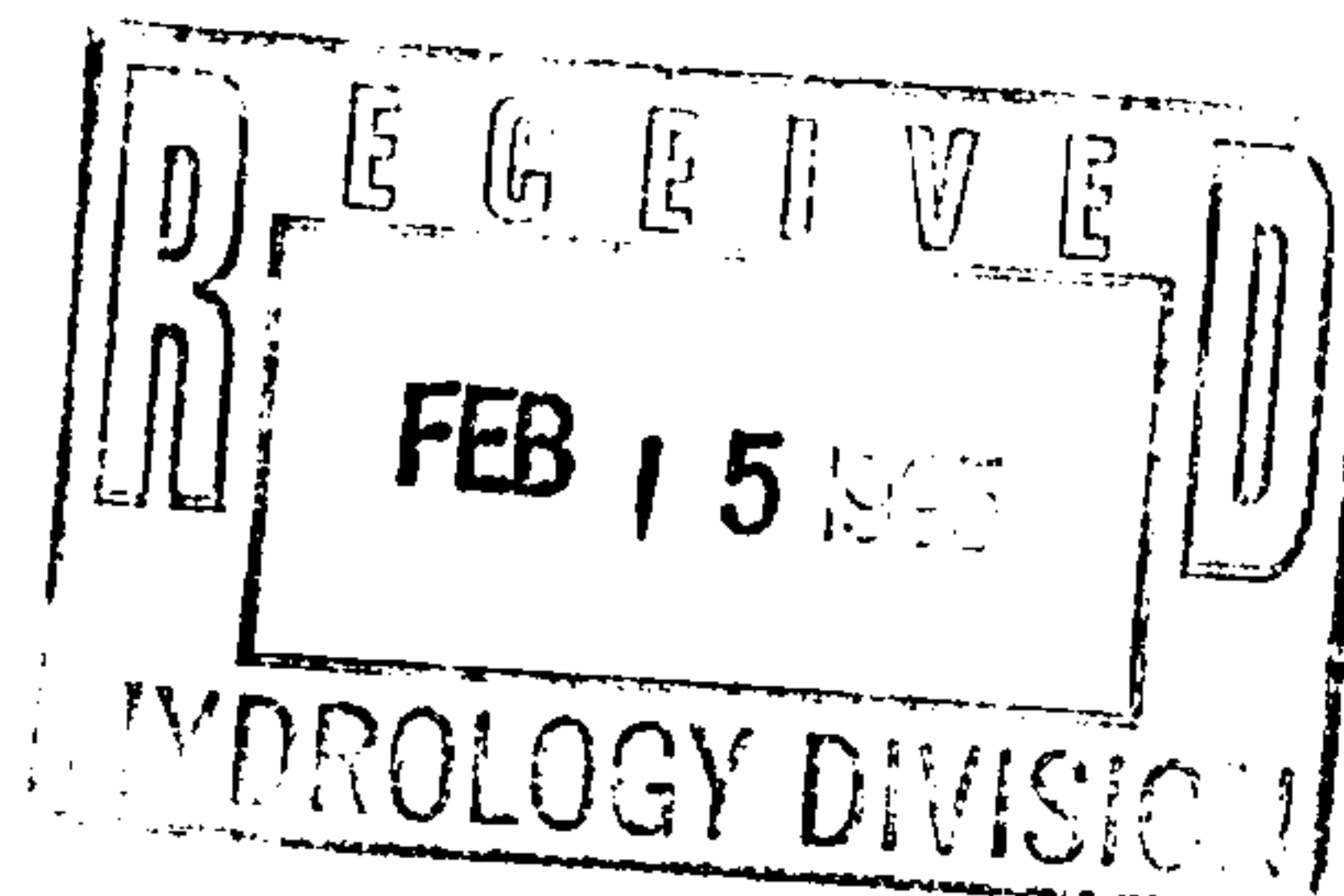
BPLW ARCHITECTS & ENGINEERS, INC.

Guy Jackson c/o Craig Catved

Guy C. Jackson, EIT
Civil Engineering

xc: Mr. Stephen Triandafilidis
S & J Enterprises, Inc.

1-94027.002 cas





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 22, 1994

Mr. Guy Jackson
BPLW Architects & Engineers
2900 Louisiana NE Suite 400
Albuquerque, NM 87110

RE: BUILDING PERMIT & GRADING PERMIT APPROVAL FOR SENIORS GROUP HOME
(G-21/D21C) ENGINEER'S STAMP DATED 6/9/94

Dear Mr. Jackson:

Based upon your 6/10/94 submittal, the referenced project is approved for Grading and Building Permit. As we discussed on the phone today, please make the revision to your Drainage Plan concerning the storm inlets. Your plan currently does not show an Erosion Control plan to be followed during construction. Prior to signoff, you will need to include it. Please keep in mind that prior to Certificate of Occupancy release, we will need an Engineer's Certification per the Certification Checklist. Be sure to include a copy of this approval letter with the construction drawings for signoff.

If I can be of further assistance, feel free to contact me at 768-3622.

Cordially,

Scott Davis
PWD, Hydrology Division

c: Andrew Garcia
File

(WP+8610)

DRAINAGE INFORMATION SHEET

PROJECT TITLE Juan Tabo Business Park - Senior's Group Home ZONE ATLAS/DRWG. FILE # G-21/ 021C

DRB#: _____ EPC # _____ WORK ORDER # _____

LEGAL DESCRIPTION: Lot 2 of the Juan Tabo Business Park

CITY ADDRESS: _____

ENGINEERING FIRM: BPLW CONTACT: Guy Jackson

ADDRESS: 2400 Louisiana Blvd. AFC#5, Suite 400 PHONE: 881-2759

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: --- CONTACT: _____

ADDRESS: --- PHONE: _____

SURVEYOR: BPLW Architects & Engineers, Inc. CONTACT: Guy Jackson

ADDRESS: _____ PHONE: 881-2759

CONTRACTOR: S & J Enterprises, Inc. CONTACT: Stephen Triandafilidis

ADDRESS: 3535 Princeton NE PHONE: 884-6234

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER _____

CHECK TYPE OF APPROVAL SOUGHT:

- SKETCH PLAT APPROVAL
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- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVALS
- PAVING PERMIT APPROVAL
- S.A.B. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: February 14, 1995

BY: Guy Jackson

