

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: Sandia Laboratory Federal Credit Union Addition ZONE MAP/DRG. FILE # - G-21/DD27-
DRB#: N/A EPC#: N/A WORK ORDER#: N/A

LEGAL DESCRIPTION: Tract A-1-A Credit Union Center Cont. 5.516 Acres C-1 Zoning
CITY ADDRESS: 3707 Juan Tabo Blvd. NE Albuquerque, NM 87111

ENGINEERING FIRM: Smith Engineering Company
ADDRESS: 2201 San Pedro, Bldg. 4 Suite 200
CITY, STATE: Albuquerque, NM

CONTACT: Patrick J. Conley, PE
PHONE: 884-0700
ZIP CODE: 87110

OWNER: Sandia Laboratory Federal Credit Union Addition
ADDRESS: 3707 Juan Tabo Blvd. NE
CITY, STATE: Albuquerque, NM

CONTACT: Robert Chavez
PHONE: 505-237-7307
ZIP CODE: 87111

ARCHITECT: TGS Architects
ADDRESS: 5323 Spring Valley Road, Suite 200
CITY, STATE: Dallas, TX

CONTACT: Dallas Taylor
PHONE: 972-788-1945
ZIP CODE: 75254

SURVEYOR: Surveying Control, Inc.
ADDRESS: 131 Madison St. NE
CITY, STATE: Albuquerque, NM

CONTACT: Stephen Toler, PS
PHONE: 505-266-0935
ZIP CODE: 87108

CONTRACTOR: Gerald Martin
ADDRESS: 4901 McLeod Rd NE
CITY, STATE: Albuquerque, NM

CONTACT: Bob Cardenas
PHONE: 505-828-1144
ZIP CODE: 87109

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S/ARCHITECT'S CERT (TCL)
☒ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

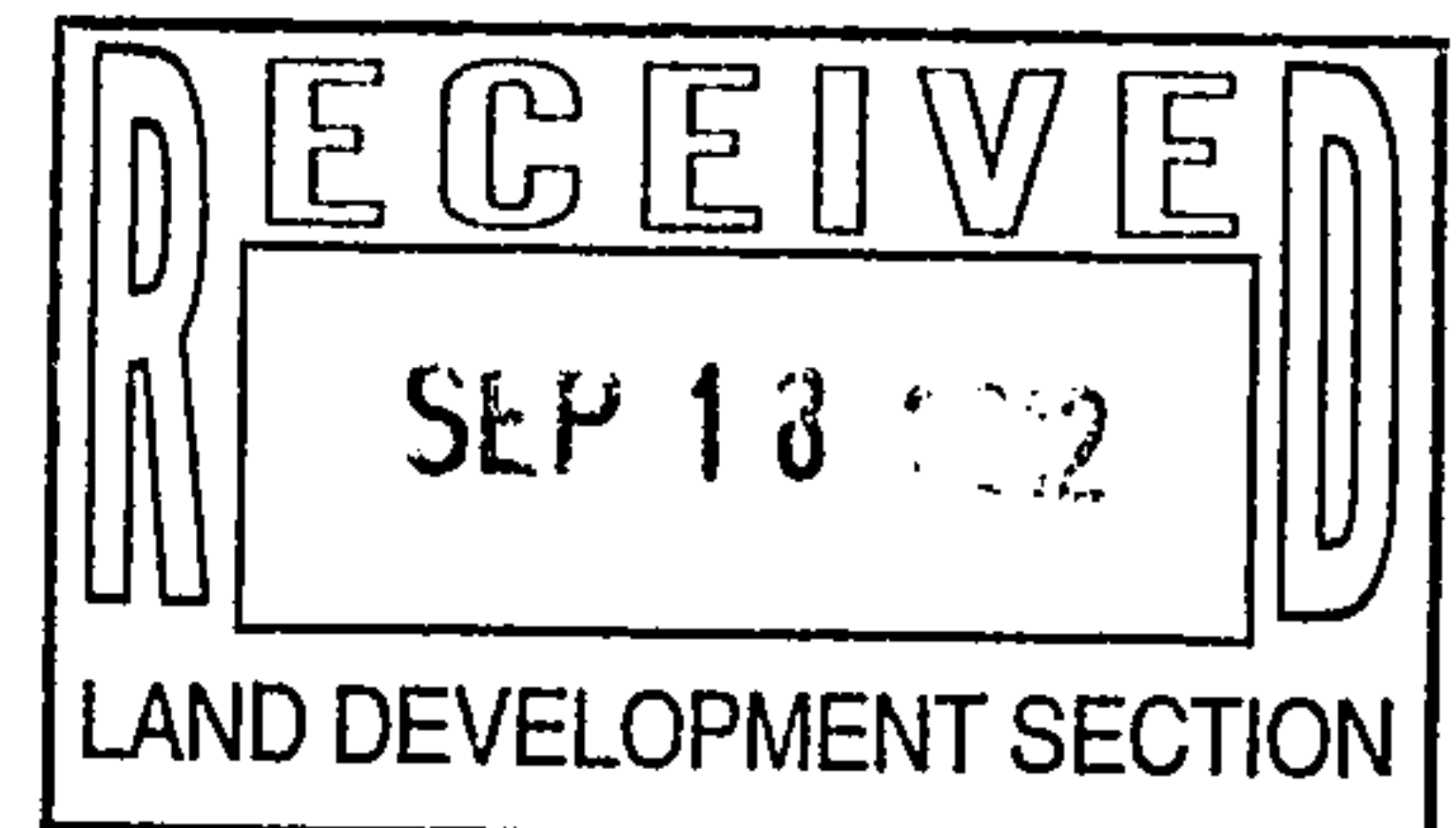
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

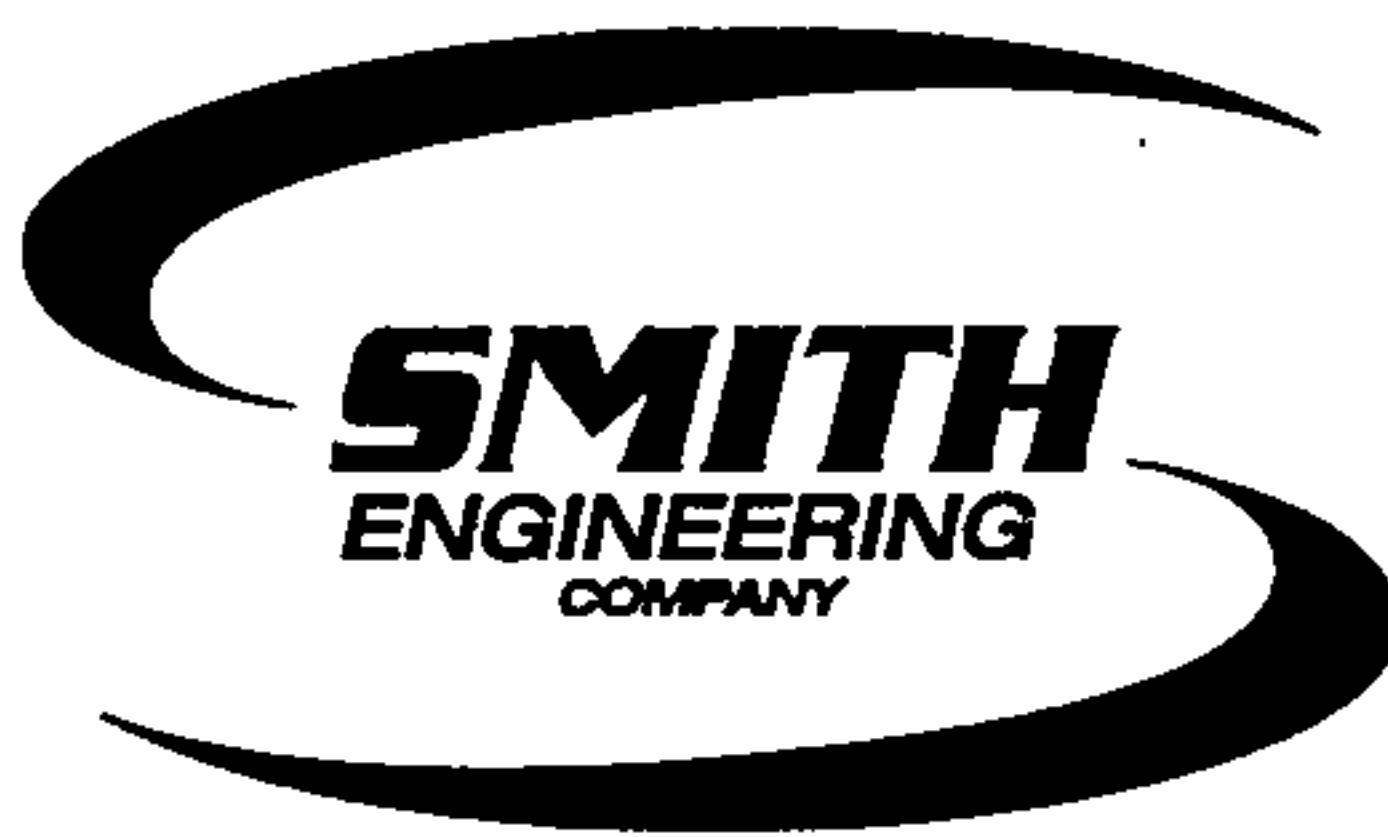
SUBMITTED BY: Patrick J. Conley, PE

DATE: 09/18/2012



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Solutions for Today...

Vision for Tomorrow

September 18, 2012

Mr. Shahab Biazar, PE
COA Development
Plaza Del Sol
600 2nd Street NW
Albuquerque, NM 87102

Re: Sandia Laboratory Federal Credit Union Addition
SEC Project #111118

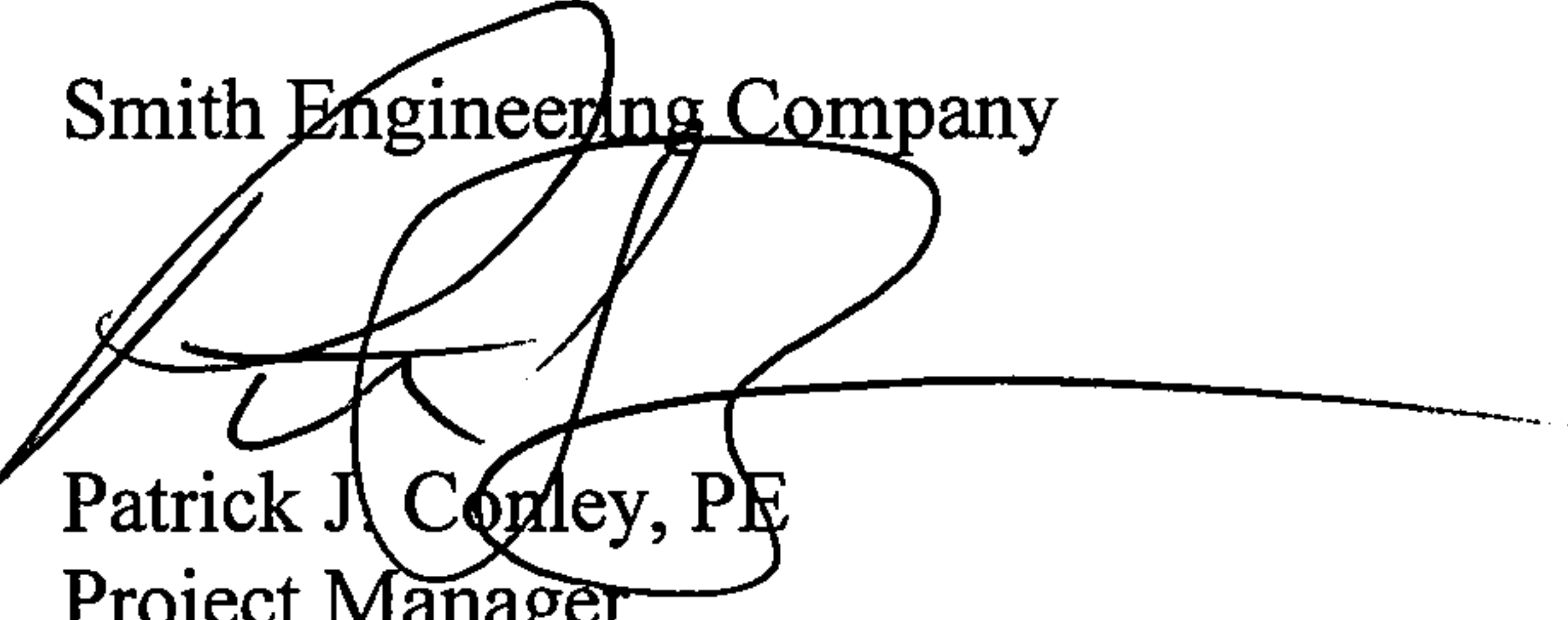
Dear Shahab:

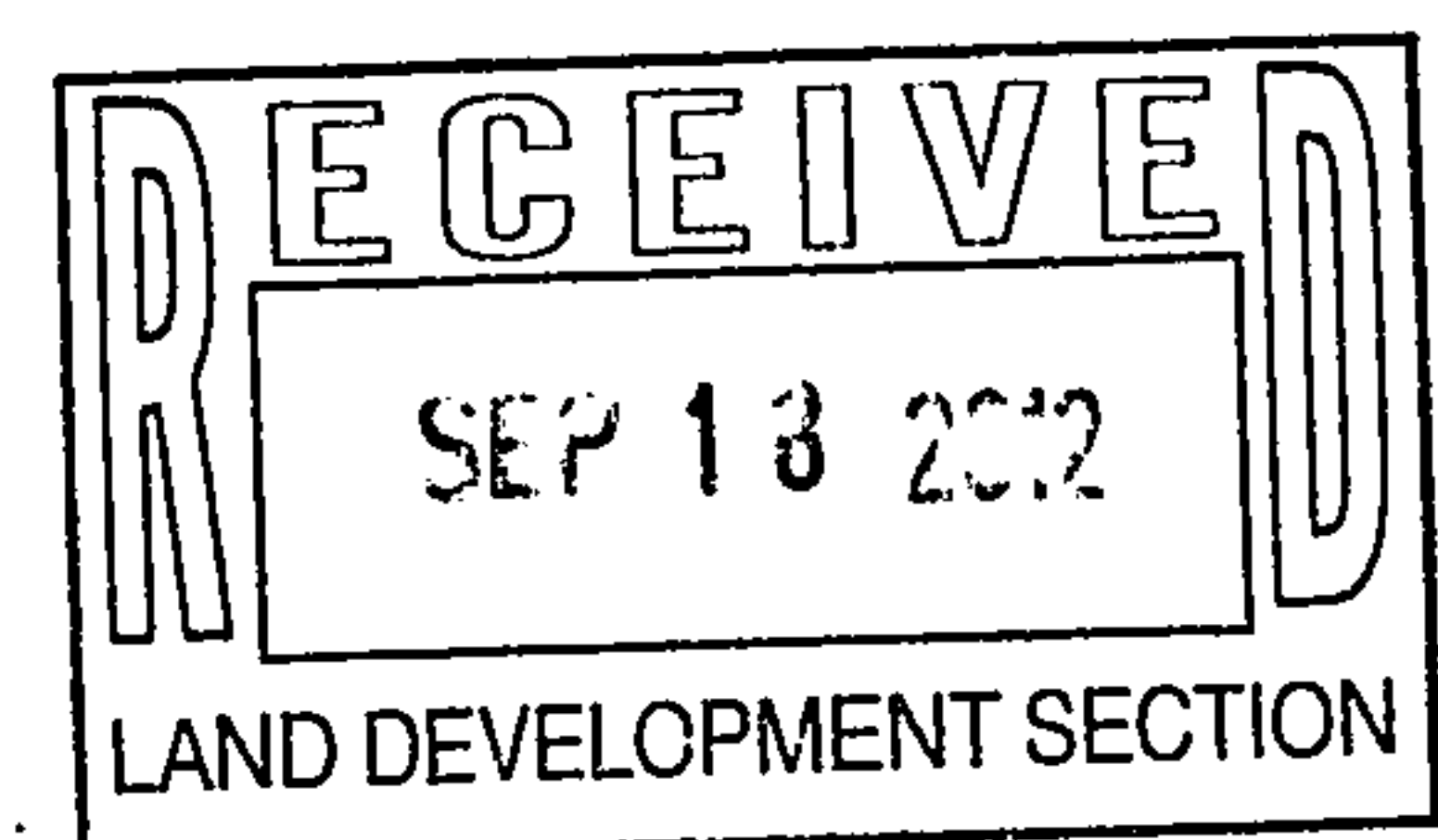
Smith Engineering Company (SEC) is submitting the grading and drainage plan for the referenced project, including as-built information and engineer's certification. The original grading and drainage plan submitted and approved by the City of Albuquerque was dated September 22, 2011. The plan was subsequently amended on December 14, 2011 to accommodate relocation of an electrical transformer from the downstream side to the upstream side of the sidewalk culvert on the northeast side of the building. The amended plan does not affect the overall design intent of the original approved grading and drainage plan. Please also find enclosed the accompanying drainage and transportation information sheet with our request for a permanent certificate of occupancy for your review and approval.

We appreciate your review of this submittal, and if you have any questions regarding this submittal, please contact us at 884-0700.

Sincerely,

Smith Engineering Company


Patrick J. Conley, PE
Project Manager



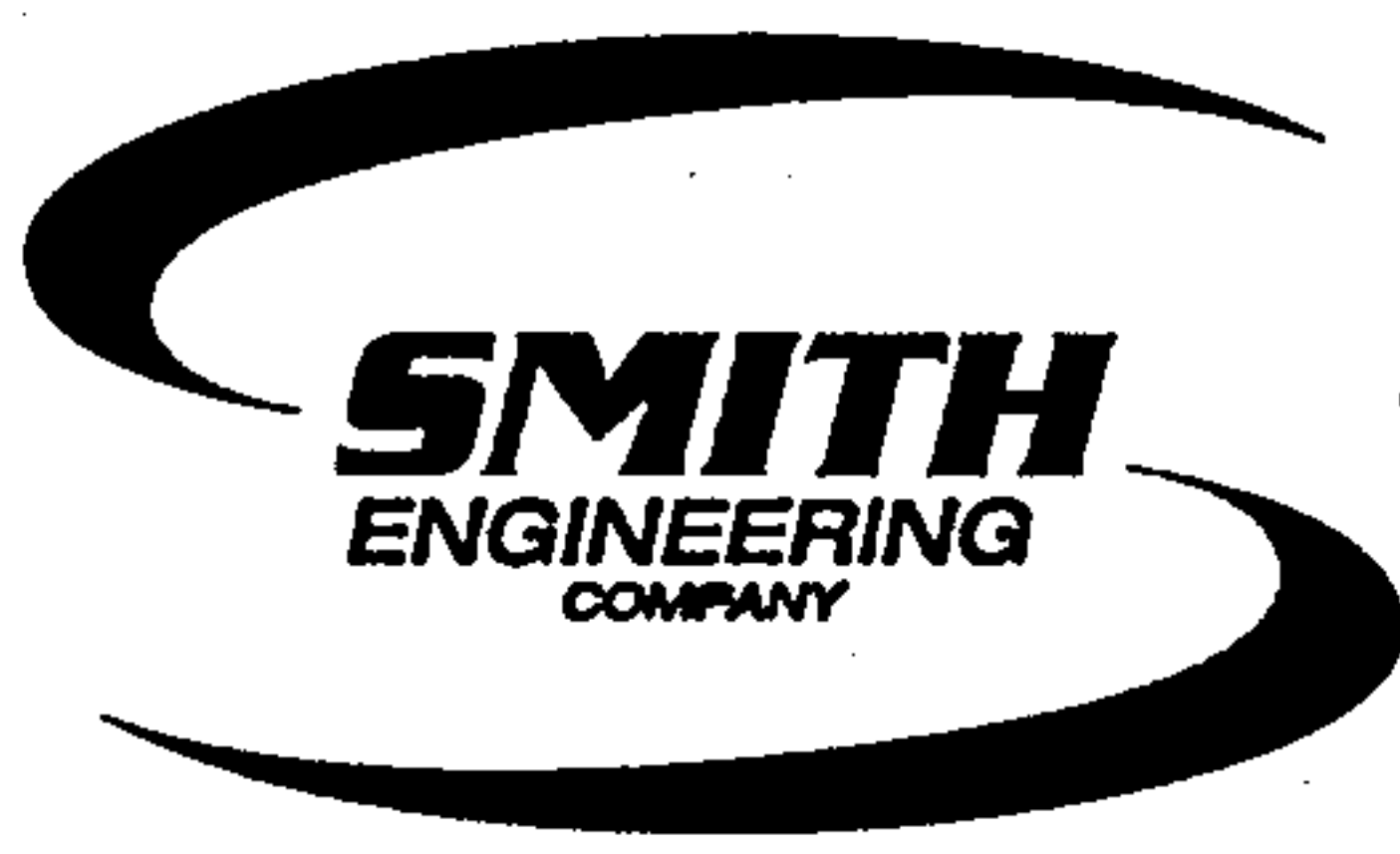
Enclosure

cc: File

2201 San Pedro Drive, NE
Tel: 505.884.0700

Building 4, Suite 200
PatC@smithengineering.pro

Albuquerque, NM 87110
Fax: 505.884.2376



Solutions for Today...

Vision for Tomorrow

September 14, 2011

Mr. Shahab Biazar, PE
COA Development
Plaza Del Sol
600 2nd Street NW
Albuquerque, NM 87102

Re: Sandia National Laboratory Federal Credit Union Addition
SEC# 111118

Dear Mr. Biazar:

Smith Engineering Company (SEC) is submitting the grading and drainage plan for the referenced project for your review and approval. Please also find enclosed the accompanying drainage and transportation information sheet with our request for a building permit.

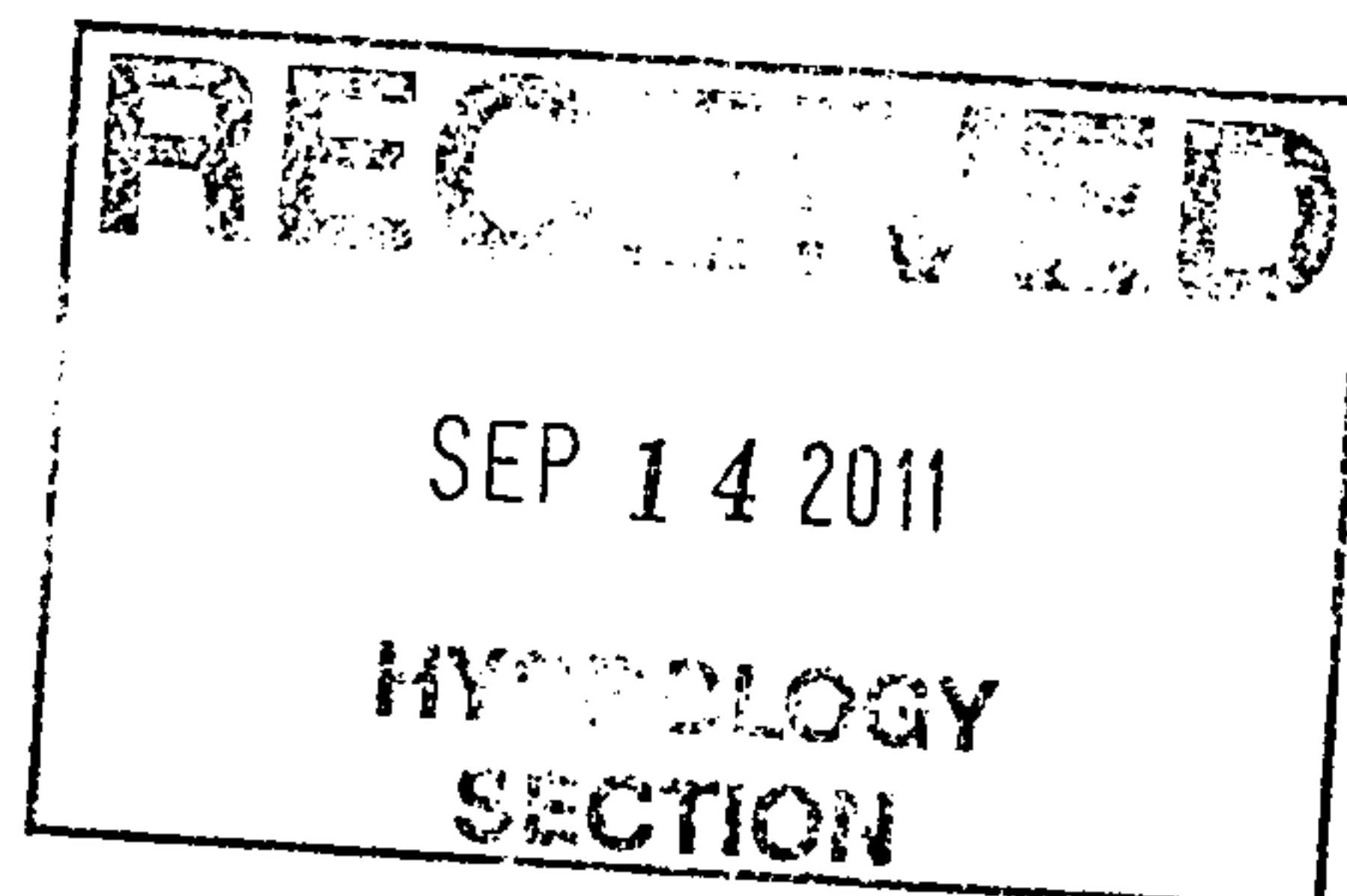
We appreciate your review of this submittal, and if you have any questions regarding this submittal, please contact us at 884-0700.

Sincerely,

Smith Engineering Company


Michelle Madrid
for

Patrick J. Conley, PE
Project Manager



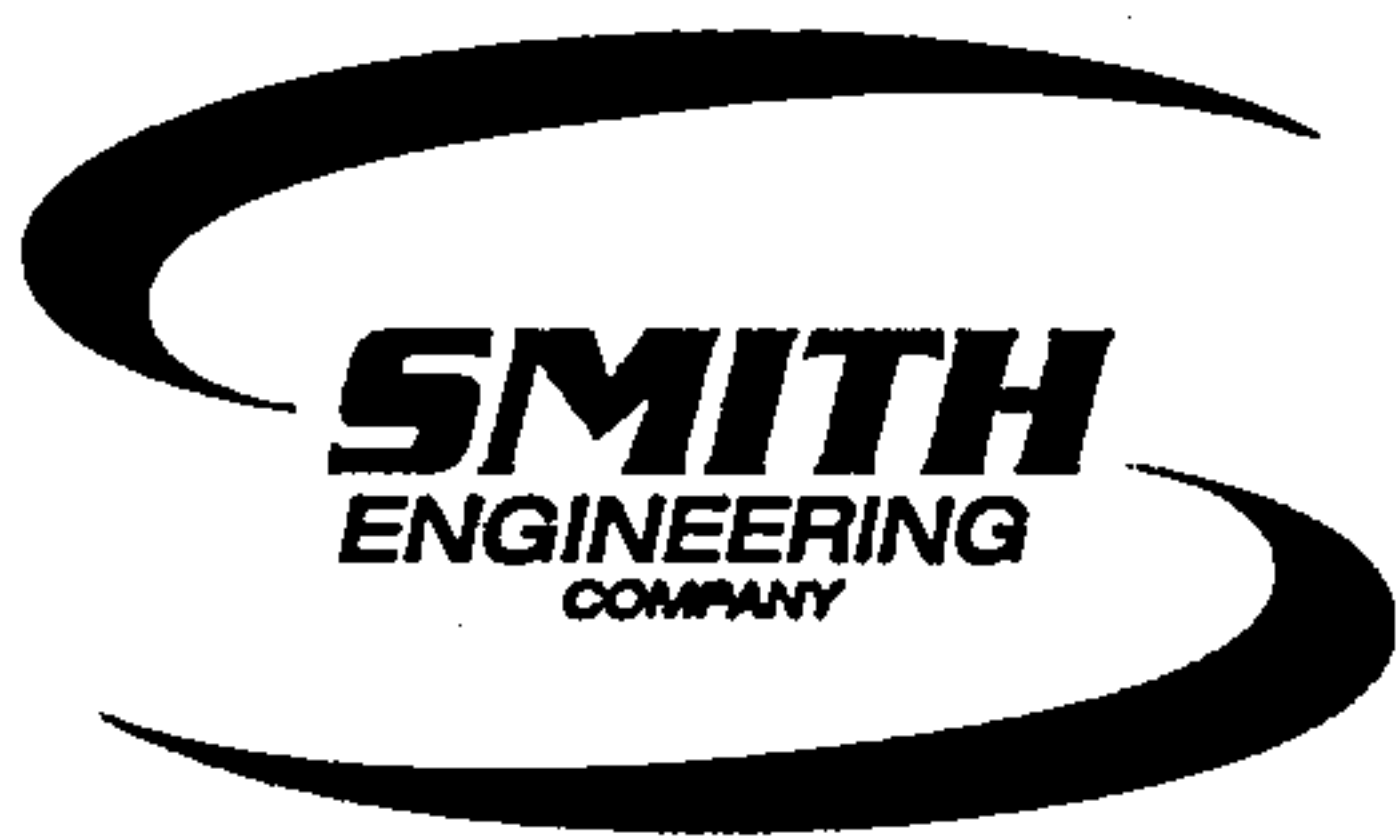
Enclosure

cc: File

2201 San Pedro Drive, NE
Tel: 505.884.0700

Building 4, Suite 200
MichelleW@smithengineering.pro

Albuquerque, NM 87110
Fax: 505.884.2376



Transmittal Form

Solutions for Today... Vision for Tomorrow

To: COA Development

Date: 9/14/2011 14:43

Plaza del Sol

Project No: 111118 BG

600 2nd Street NW, Albuquerque NM 87102

Reference: Sandia National Laboratory Federal

Attn: Shahab Biazar

Credit Union Addition

We are sending you:

☒ Attached

☐ Under Separate Cover

☐ Delivered By Hand

The Following:

☐ Originals

☐ Prints

☐ Reproducibles

☐ Shop Drawings

☐ Reports

☐ Correspondence

☒ Other

Quantity	Description
1	Grading and Drainage Plan
1	Drainage and Transportation Information Sheet

These are transmitted as indicated below:

☐ As Requested

☒ For Final Approval

☐ For Field Use

☐ For Your Information

☐ For Distribution

☐ Return Approved Copies

☐ For Review and Comment

☐ Returned For Correction

☐

Remarks:

Submitted by,

cc: File

Michelle Madrid
Michelle Madrid
Smith Engineering Company

Received By:	
Printed Name:	
Date	Time:

2201 San Pedro Drive, NE
Tel: 505.884.0700

Building 4, Suite 200
MichelleW@smithengineering.pro

Albuquerque, NM 87110
Fax: 505.884.2376

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/2005)

G-21/0027

PROJECT TITLE: Sandia Laboratory Federal Credit Union Addition ZONE MAP/DRG. FILE # G-21-Z
 DRB#: N/A EPC#: N/A WORK ORDER#: N/A

LEGAL DESCRIPTION: Tract A-1-A Credit Union Center Cont. 5.516 acres, C-1 Zoning
 CITY ADDRESS: 3707 Juan Tabo Blvd. NE, Albuquerque, NM 87111

ENGINEERING FIRM: Smith Engineering Company CONTACT: Patrick J. Conley, PE
 ADDRESS: 2201 San Pedro, Bldg. 4 Suite 200 PHONE: 884-0700
 CITY, STATE: Albuquerque, NM ZIP CODE: 87110

OWNER: Sandia Laboratory Federal Credit Union CONTACT: _____
 ADDRESS: 3707 Juan Tabo Blvd. NE PHONE: _____
 CITY, STATE: Albuquerque, NM ZIP CODE: 87111

ARCHITECT: TGS Architects CONTACT: Hans Hertner
 ADDRESS: 5323 Spring Valley Road, Suite 200 PHONE: 972-788-1945
 CITY, STATE: Dallas, TX ZIP CODE: 75254

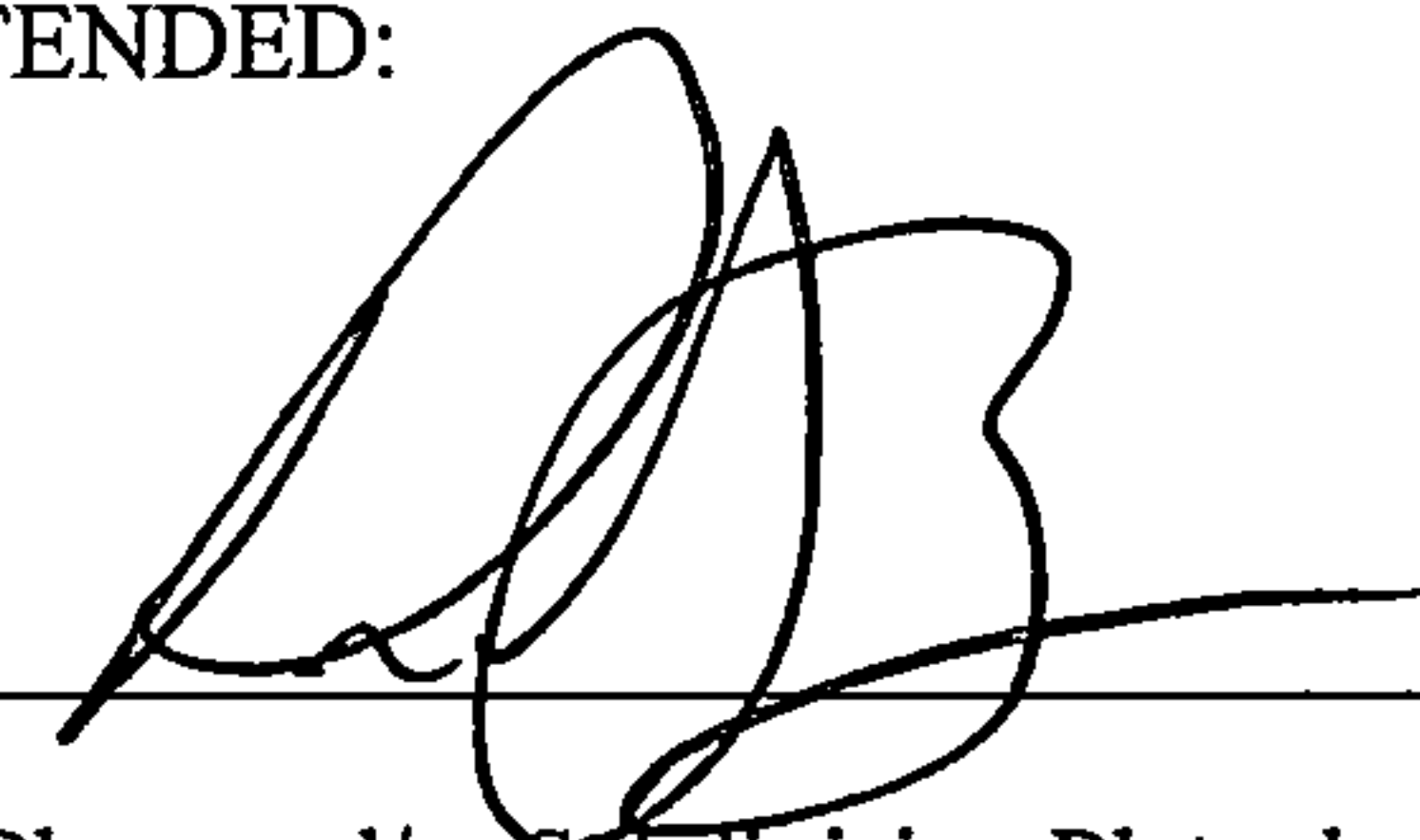
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 CITY, STATE: Albuquerque, NM ZIP CODE: 87108

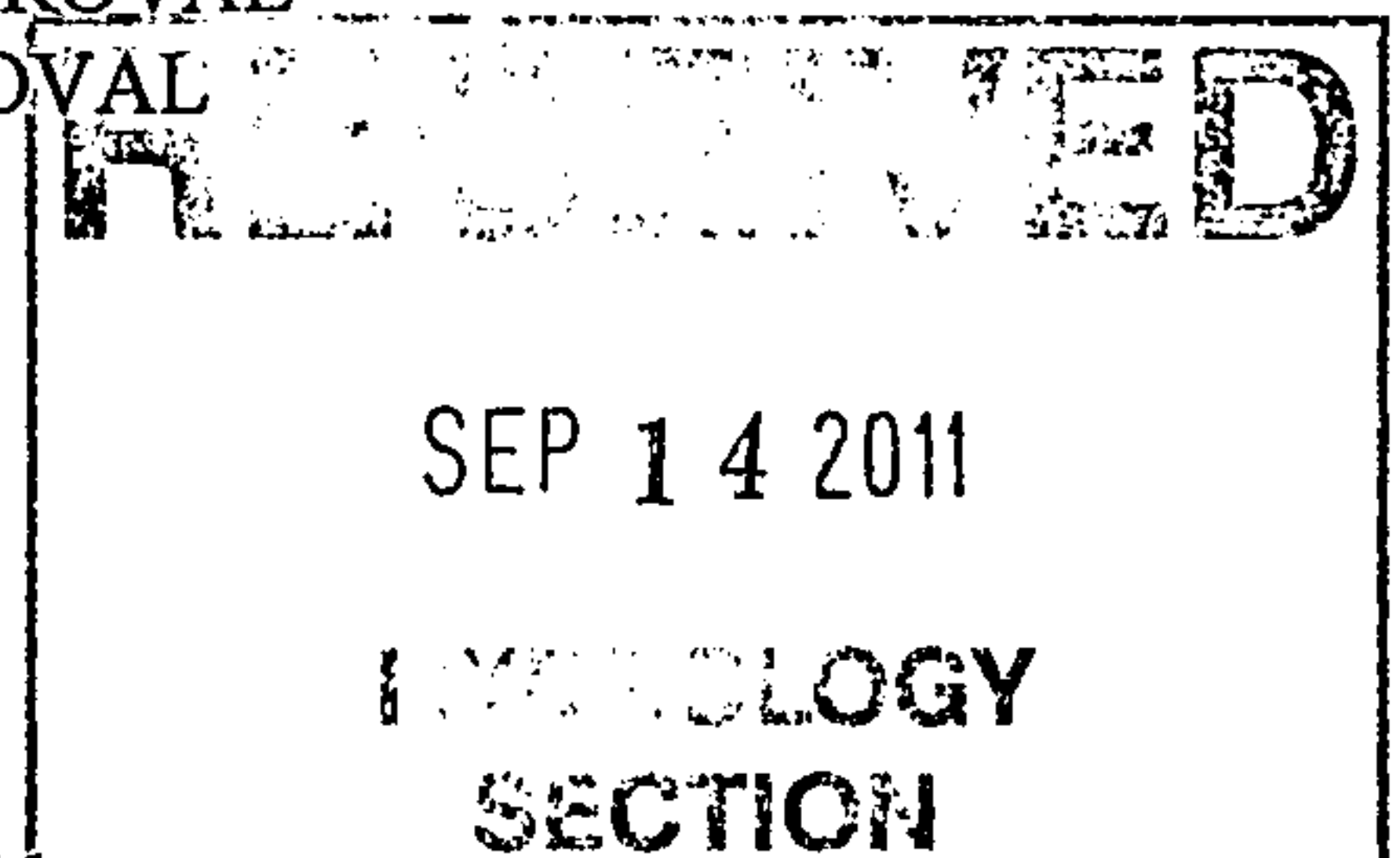
CONTRACTOR: Gerald Martin CONTACT: Jim Karnes
 ADDRESS: 8501 Jefferson NE PHONE: 828-1144
 CITY, STATE: Albuquerque, NM ZIP CODE: 87113

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S/ARCHITECT'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
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☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Patrick J. Conley, PE  DATE: 08/01/11



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



September 21, 2011

Patrick J. Conley, P.E.
Smith Engineering Company
2201 San Pedro NE
Albuquerque, NM 87110

**Re: Sandia Laboratory Federal Credit Union Addition, Grading and Drainage
Plan, 3700 Juan Tabo Blvd. NE, Engineer's Stamp dated 9-12-11
(G21/D027)**

Dear Mr. Conley,

PO Box 1293

Based upon the information provided in your submittal dated 9-14-11, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

NM 87103

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO

DRB PROJECT NO: 1007490

AGENDA ITEM NO: 4

SUBJECT:

Site Plan for Building Permit

ENGINEERING COMMENTS:

Hydrology has no objection.

Future drainage plans with outfalls to the North
Diversion Channel should be coordinated with
AMAFCA.

RESOLUTIONCOMMENTS:

SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 8-17-11

A copy of the approved
AA is req'd for Builders

Permit Approval
ce 8-17-11



City of Albuquerque

December 15, 1999

George Nemeth, P.E.
Easterling and Associates
2600 American Road SE
Suite 100
Rio Rancho, NM 87124

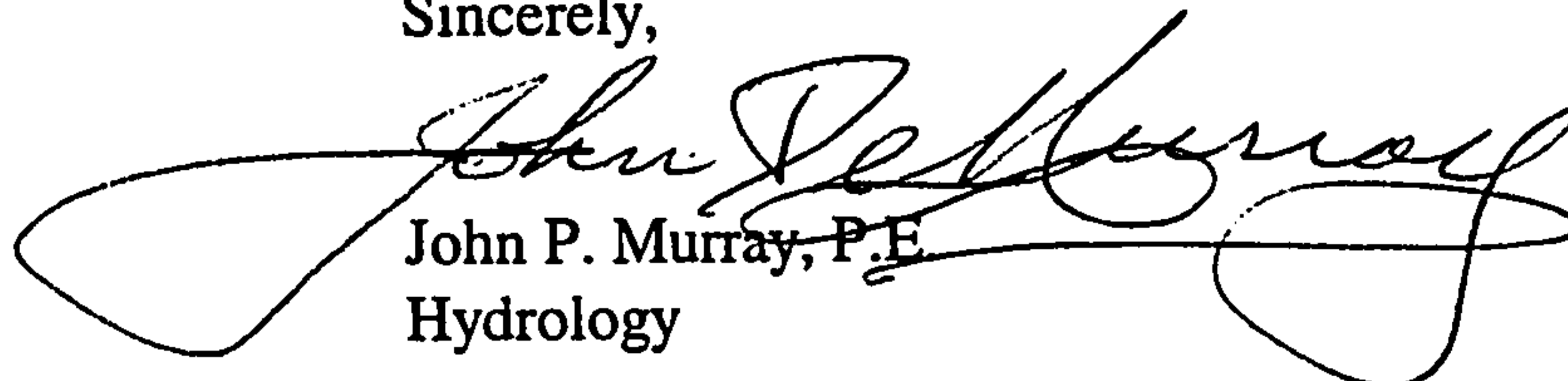
**RE: SANDIA LABS FEDERAL CREDIT UNION (G21-D27). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL.
ENGINEER'S STAMP DATED NOVEMBER 23, 1999.**

Dear Mr. Nemeth:

Based on the information provided on your submittal dated November 23, 1999, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c:

WR
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: SANDIA LAB FEDERAL CREDIT UNION ZONE ATLAS / DRNG. FILE #: G-21-Z / 10027

DRB #: _____ EPC #: Z-98-87 WORK ORDER #: _____

LEGAL DESCRIPTION: _____

CITY ADDRESS: 3707 JUAN TABO BLVD. NE

ENGINEERING FIRM: EASTERLING & ASSOCIATES

CONTACT: GEORGE NEMETH

ADDRESS: 2600 AMERICAN RD., SUITE 100

PHONE: 898-8021

RIO RANCHO, NM 87124

OWNER: SANDIA LABORATORY FEDERAL CREDIT UNION

CONTACT: SCOTT BOLDT

ADDRESS: c/o KDA, Inc. 350 FRANKLIN ROAD

PHONE: (770) 422-3984 X387

MARIETTA, GA 30067

ARCHITECT: LITTLE & ASSOCIATES ARCHITECTS

CONTACT: SCOTT BRIDEAU

ADDRESS: 5815 WESTPARK DRIVE

PHONE: (704) 561-3477

CHARLOTTE, NC 28217

SURVEYOR: SURV-TEK, INC.

CONTACT: RUSTY HUGG

ADDRESS: 5643 PARADISE BLVD. NW

PHONE: 897-3366

ALBUQUERQUE, NM 87114

CONTRACTOR: KDA, Inc. 350 FRANKLIN ROAD

CONTACT: Jim Karnes

ADDRESS: 350 FRANKLIN ROAD

PHONE: 505-293-2768

MARIETTA, GA 30067

TYPE OF SUBMITTAL:

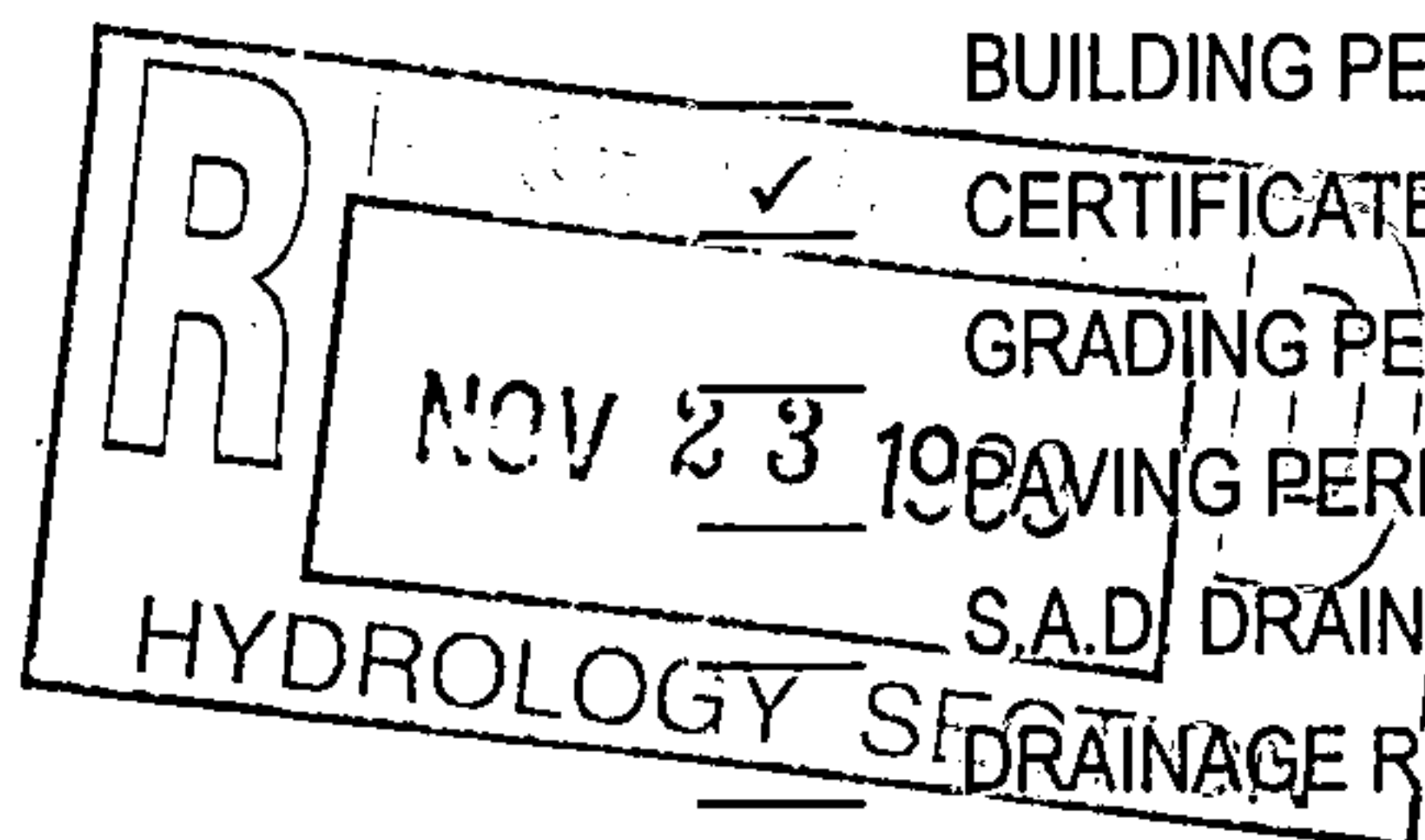
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☒ YES (informal)
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: November 23, 1999

BY: Easterling & Associates, Inc.

Easterling & Associates, Inc.
2600 The American Road, SE, Suite 100
Rio Rancho, New Mexico 87124
(505) 898-8021 FAX (505) 898-8501

☒ DELIVERY ☐ PICK UP ☐ OTHER _____

ACTION REQUIRED BY: DATE TUES. TIME _____

JOB NAME Sandia Lab Federal Credit Union JOB NO. 4838 PHASE _____

REQUESTED BY: BN BILLING GROUP: 006

COMPANY NAME: C.O.A., ONE-STOP-SHOP

ADDRESS: PLAZA DEL SOL, 2nd STREET

ATTENTION: JOHN MURRAY, HYDROLOGY TELEPHONE: _____

ITEM

DESCRIPTION: G & D Certification

SPECIAL

INSTRUCTIONS: _____

RECEIVED BY: _____

COMPANY: _____ DATE _____ TIME _____

EASTERLING & ASSOCIATES, INC.

LETTER OF TRANSMITTAL

2600 THE AMERICAN ROAD, SE, SUITE 100
RIO RANCHO, NEW MEXICO 87124
(505) 898-8021
FAX (505) 898-8501

Date: 11/22/99	Job No. 4830
Attention: John Murray	
Re: Sandia Labs Federal Credit Union	
Juan Tabo and Comanche Blvds.	
City Project Number 599581	

To: City of Albuquerque
Public Works Dept.
Hydrology

WE ARE SENDING YOU ☒ Attached ☐ Under Separate cover via _____ the following items:

☐ Shop Drawings ☐ Prints ☒ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☐

Copies	Date	No	Description
1	11-23-99		Grading & Drainage Certification drawing

THESE ARE TRANSMITTED AS CHECKED BELOW:

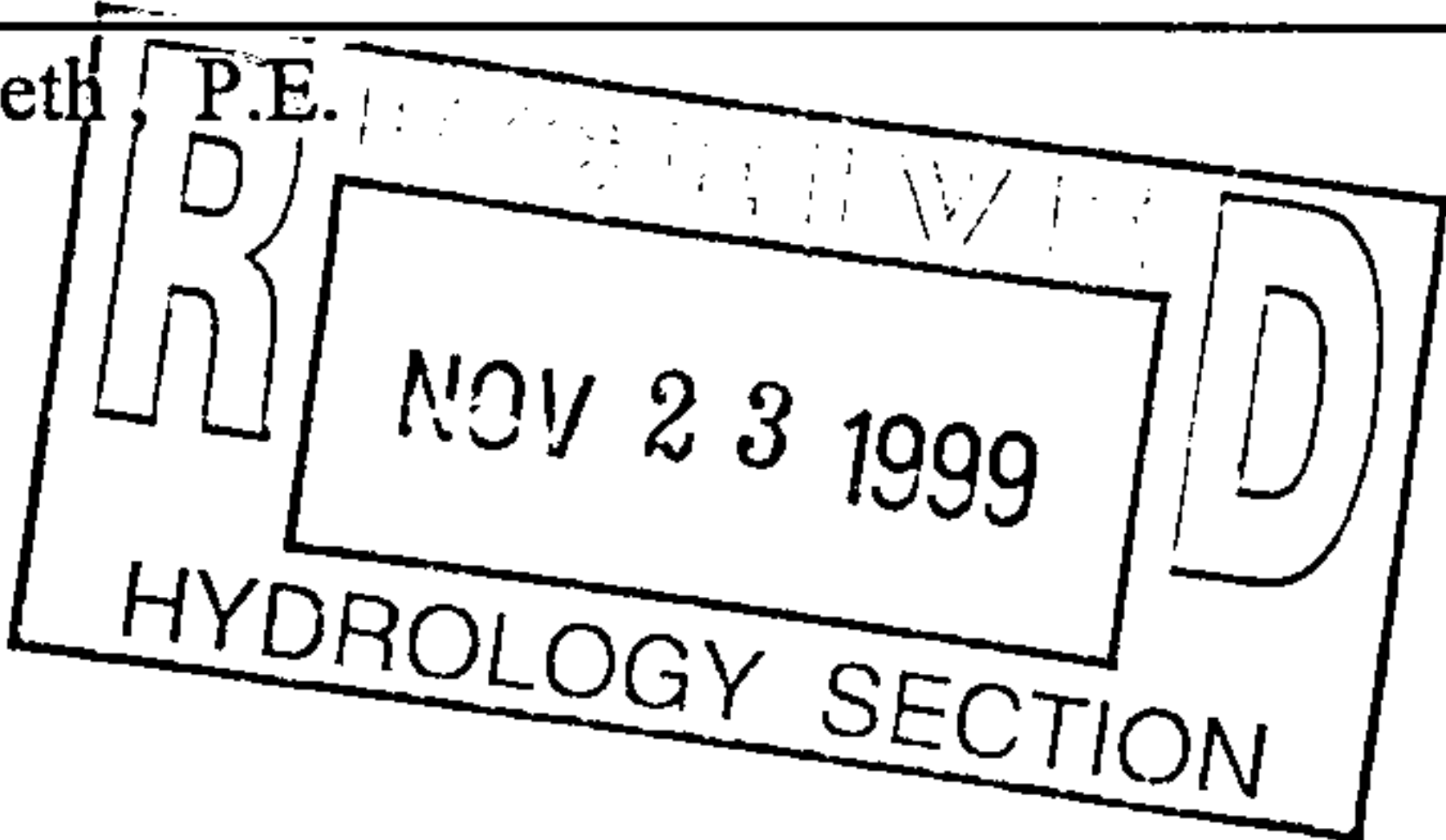
- ☒ For approval
- ☐ Approved as submitted
- ☐ Resubmit _____ copies for approval
- ☐ For your use
- ☐ Approved as noted
- ☐ Submit _____ copies for distribution
- ☐ As requested
- ☐ Returned for corrections
- ☐ Return _____ corrected prints
- ☐ For review and comment
- ☐ _____
- ☐ FOR BIDS DUE _____, 19____
- ☐ PRINTS RETURNED AFTER LOAN TO US

Remarks: John – Attached is a drawing showing as-built grades and includes my Certification that the Grading & Drainage were constructed in substantial comformance with the approved plan stamped 10-6-98.

Please call if you have questions or require additional information.

RECEIVED BY: _____
COPY TO: file 4830
Jim Karnes - KDA

SIGNED: 
George Nemeth, P.E.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 10, 1998

George Nemeth, P.E.
Easterling and Associates
2600 American Road SE
Suite 100
Rio Rancho, NM 87124

***RE: SANDIA LABS FEDERAL CREDIT UNION (G21-D27). DRAINAGE REPORT
FOR BUILDING PERMIT APPROVAL. SUPPLEMENTAL LETTER DATED.
DECEMBER 8, 1998 TO ENGINEER'S STAMP DATED OCTOBER 6, 1998.***

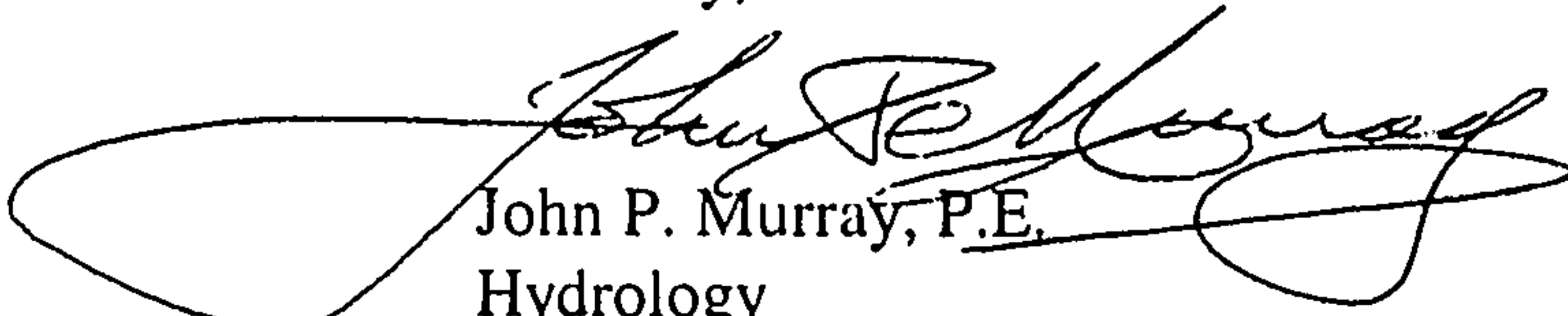
Dear Mr. Nemeth:

Based on the information provided on your submittal dated December 9, 1998, the above referenced project is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: ☒ Andrew Garcia
☒ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: SANDIA LAB FEDERAL CREDIT UNION ZONE ATLAS / DRNG. FILE #: G-21-Z **D27**

DRB #: _____ EPC #: Z-98-87 WORK ORDER #: _____

LEGAL DESCRIPTION: _____

CITY ADDRESS: 3707 JUAN TABO BLVD. NE

ENGINEERING FIRM: EASTERLING & ASSOCIATES

CONTACT: GEORGE NEMETH

ADDRESS: 2600 AMERICAN RD., SUITE 100

PHONE: 898-8021

RIO RANCHO, NM 87124

OWNER: SANDIA LABORATORY FEDERAL CREDIT UNION

CONTACT: SCOTT BOLDT

ADDRESS: c/o KDA, Inc. 350 FRANKLIN ROAD

PHONE: (770) 422-3984 X387

MARIETTA, GA 30067

ARCHITECT: LITTLE & ASSOCIATES ARCHITECTS

CONTACT: SCOTT BRIDEAU

ADDRESS: 5815 WESTPARK DRIVE

PHONE: (704) 561-3477

CHARLOTTE, NC 28217

SURVEYOR: SURV-TEK, INC.

CONTACT: RUSTY HUGG

ADDRESS: 5643 PARADISE BLVD. NW

PHONE: 897-3366

ALBUQUERQUE, NM 87114

CONTRACTOR: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

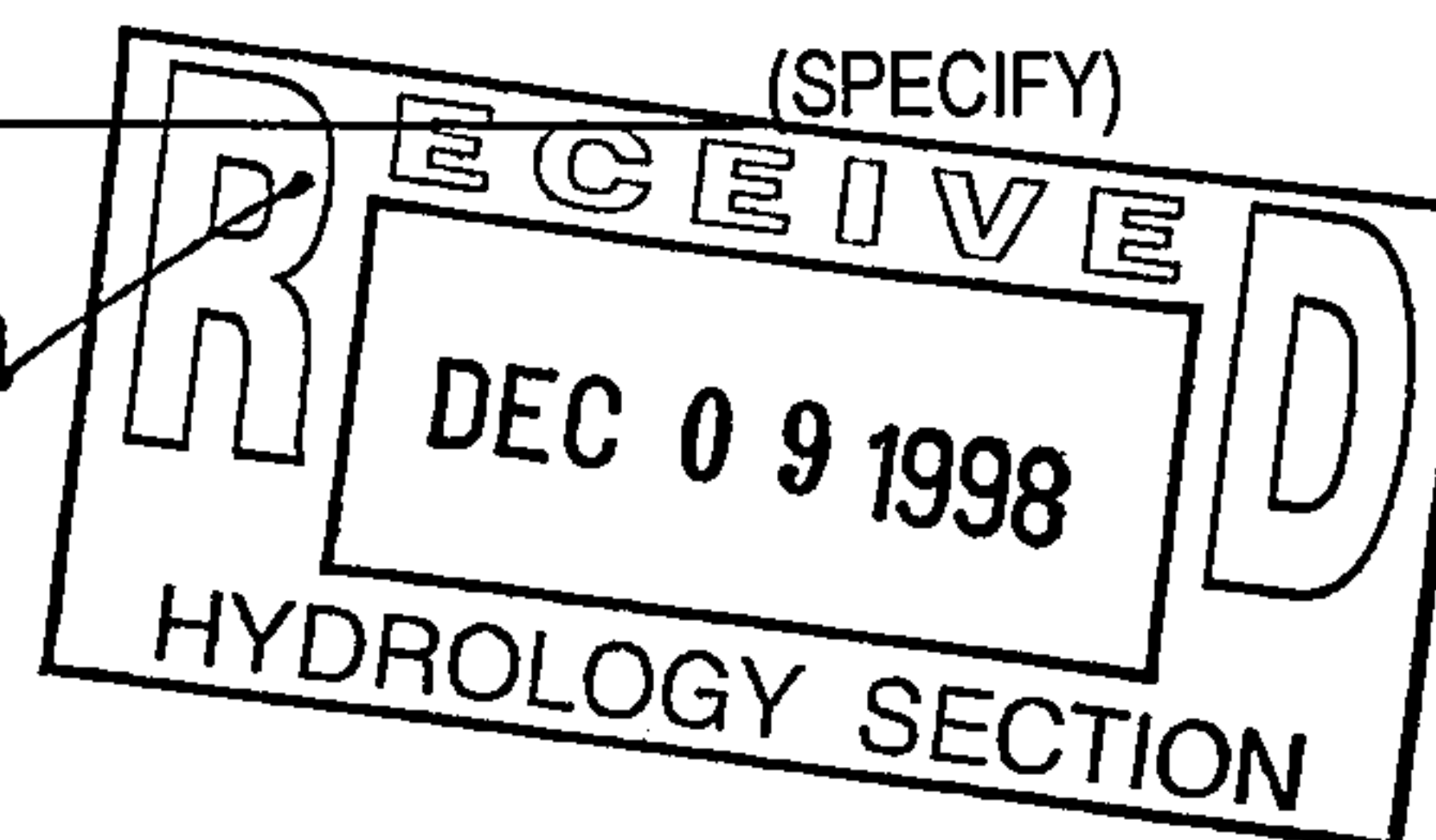
- ☒ YES (informal)
- ☐ NO
- ☐ COPY PROVIDED

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- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
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- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: October 9, 1998

BY: Easterling & Associates, Inc.

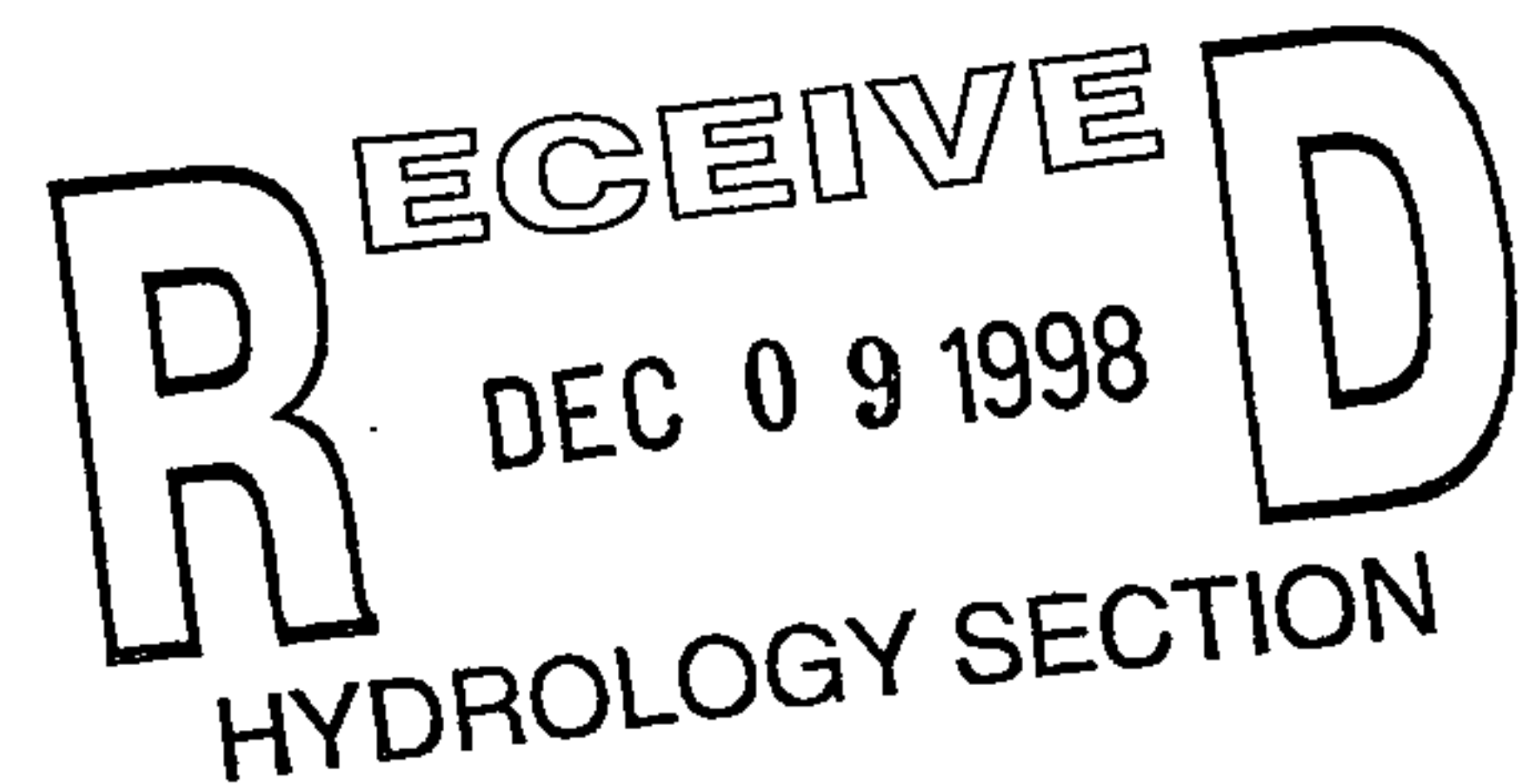


5995.81 12/17
Proj No. 600
*WORK ORDER
Time

2600 American Rd. S.E., Suite 100
Rio Rancho, New Mexico 87124
(505)898-8021 FAX (505) 898-8501
eai_engr@swcp.com

December 8, 1998

Mr. John Murray, P.E.
Hydrology Division
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103



Re: Sandia Labs Federal Credit Union (G21-D27)

Dear John:

Your letter dated July 29, 1998, granted approval of the Drainage Report, for the above referenced project, for Site Development Plan for Building Permit and Foundation Permit. The Site Development Plan is approved by EPC and a Foundation Permit has been issued. However, between the time the approved Drainage Report was stamped (July 11, 1998), and now, some minor site changes have occurred that require a resubmittal for Building Permit.

The following list of items attempts to explain the site changes that have occurred between July 11, 1998, and October 6, 1998, on the developed site plan. The existing conditions analysis remains unchanged. I have enclosed copies of both the July 11th and October 6th plans.

1. The proposed ATM lanes at the northeast corner of the site have increased in width from 28' to 36'. However, the drainage analysis included the wider configuration, as this was always intended to be a "future" ATM lane. This minor plan change does not change the total runoff peak rate or volume.
2. EPC required pedestrian walkways through the parking lot which now allows stormwater to flow along a more direct route to the point of discharge. This minor change to the plans does not change the runoff peak rate, volume, or point of discharge.
3. The DRB, as agents for the EPC, requested that we remove the island at the entrance to the site from Juan Tabo Blvd. This minor change to the plans does not change the runoff peak rate or volume.
4. A sidewalk culvert was added at the northwest corner of the proposed building to eliminate ponding in the parking area. This minor plan change does not change the runoff peak rate or volume.
5. A rundown detail has been added to the drawings for construction purposes. This rundown was part of the original plans, but was not detailed at the time of the July 11th submittal. This minor change to the plan does not change the runoff peak rate or volume.
6. EPC required the addition of a secured bike corral (18' x 24') and a relocation of the dumpster pad. These two changes to the plan are shown west of the existing building and

Mr. John Murray, P.E.
December 8, 1998
Page 2 of 2

south of and adjacent to the existing drive-thru lanes. These changes necessitated a slight change in the configuration of the exit drive from the drive-thru lanes. The net effect is to actually reduce the amount of land treatment D in favor of land treatment B. However, although the change is minor and will serve to reduce the runoff peak rate and volume, we will not reduce the rate and volume through computations. Instead, we choose to err on the conservative side, and this change in the plans will not change the runoff peak rate and volume.

7. As on the July 11th plan, this plan shows that the discharge point for approximately 18,000 sf of land treatment D has been altered. On the existing site, this runoff would have exited the site through the Comanche Road entrance onto Comanche Road. The proposed drainage plan conveys this runoff directly to the Embudito Arroyo and keeps the runoff off Comanche Road. However, EPC allowed additional parking which was added to the southeast corner of the site. The area of land treatment D added is approximately 1,800 sf. Although this parking area will drain to Comanche Road, the net effect of the drainage plan as a whole is to reduce the area of land treatment D draining to Comanche Road by 16,200 sf (18,000 sf removed July 11th; 1,800 sf added October 6th).

I hope the above list clearly describes the changes to the grading and drainage plan, that have occurred between the plans stamped July 11th and October 6th. Please do not hesitate to call with questions or to request further information.

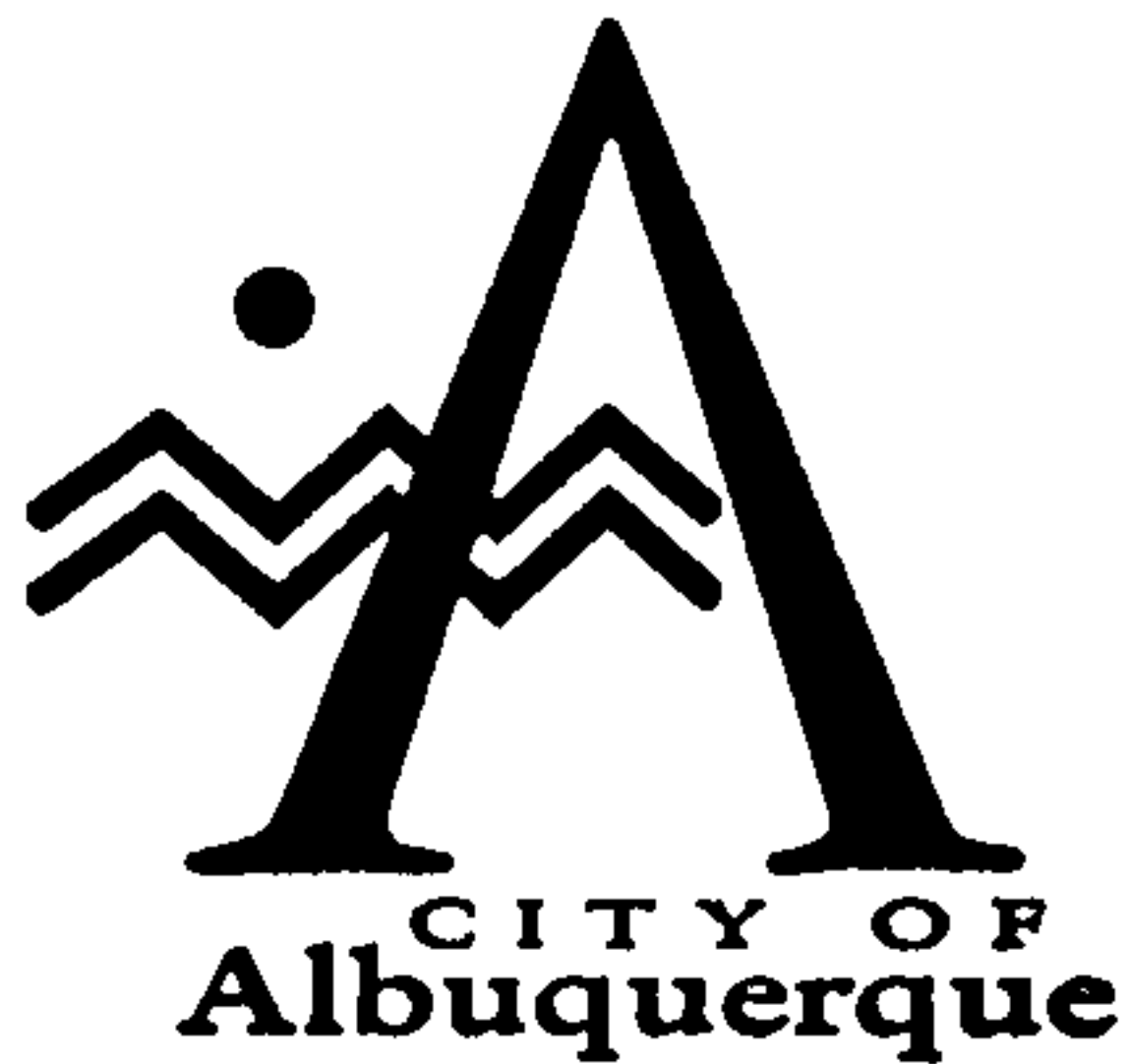
Sincerely,



George Nemeth, P.E.
Project Engineer

GN:jj
EAI Project No. 4830

cc: Jim Karnes - KDA, Inc.



July 29, 1998

George Nemeth, P.E.
Easterling and Associates
2600 American Road SE
Suite 100
Rio Rancho, NM 87124

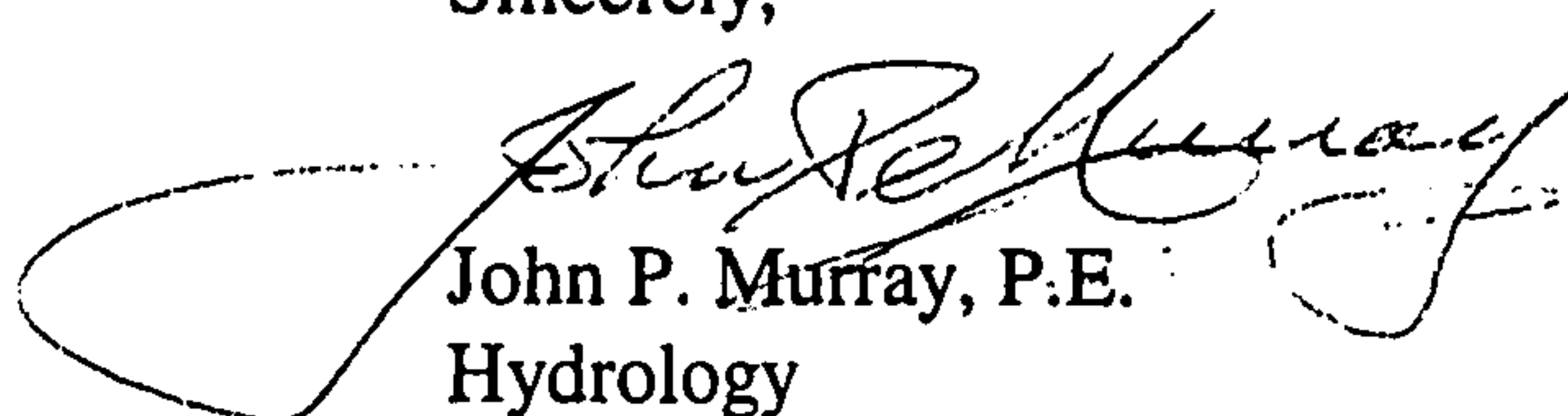
**RE: SANDIA LABS FEDERAL CREDIT UNION (G21-D27). DRAINAGE REPORT
FOR SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND
FOUNDATION PERMIT APPROVALS. ENGINEER'S STAMP DATED JULY 11,
1998.**

Dear Mr. Nemeth:

Based on the information provided on your July 13, 1998 submittal, the above referenced project is approved for both Site Development Plan for Building Permit and Foundation Permit.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Andrew Garcia
✓ File

George Nemeth
c Easterling 898-8021
Re: Sandia Labs
Fed Cred Union

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: SANDIA LAB FEDERAL CREDIT UNION ZONE ATLAS / DRNG. FILE #: G-21-Z 9 27DRB #: _____ EPC #: Z-98-87 WORK ORDER #: _____LEGAL DESCRIPTION: CREDIT UNION CENTER SUBDIVISION - TRACTS A-1, B-1, C-1CITY ADDRESS: 3707 JUAN TABO BLVD. NEENGINEERING FIRM: EASTERLING & ASSOCIATESCONTACT: GEORGE NEMETHADDRESS: 2600 AMERICAN RD., SUITE 100PHONE: 898-8021RIO RANCHO, NM 87124CONTACT: SCOTT BOLDTOWNER: SANDIA LABORATORY FEDERAL CREDIT UNIONPHONE: (770) 422-3984 X387ADDRESS: c/o KDA, Inc. 350 FRANKLIN ROADCONTACT: SCOTT BRIDEAUMARIETTA, GA 30067ARCHITECT: LITTLE & ASSOCIATES ARCHITECTSPHONE: (704) 561-3477ADDRESS: 5815 WESTPARK DRIVECONTACT: RUSTY HUGGCHARLOTTE, NC 28217SURVEYOR: SURV-TEK, INC.PHONE: 897-3366ADDRESS: 5643 PARADISE BLVD. NW

CONTACT: _____

ALBUQUERQUE, NM 87114

CONTRACTOR: _____

PHONE: _____

ADDRESS: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

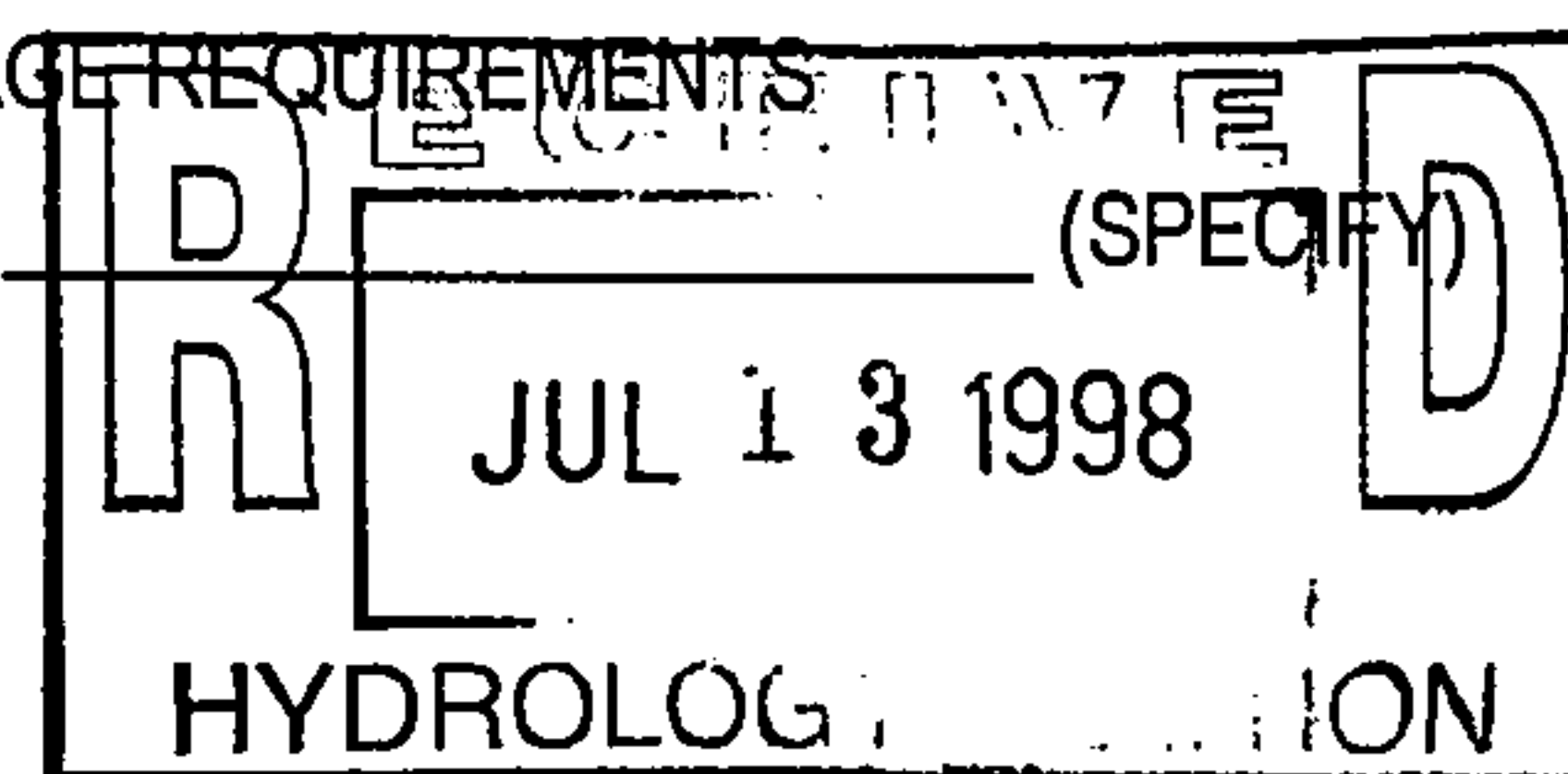
PRE-DESIGN MEETING:

- ☒ YES (informal)
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: July 13, 1998BY: Easterling & Associates, Inc.

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)



Easterling & Associates, Inc.

DRAINAGE REPORT

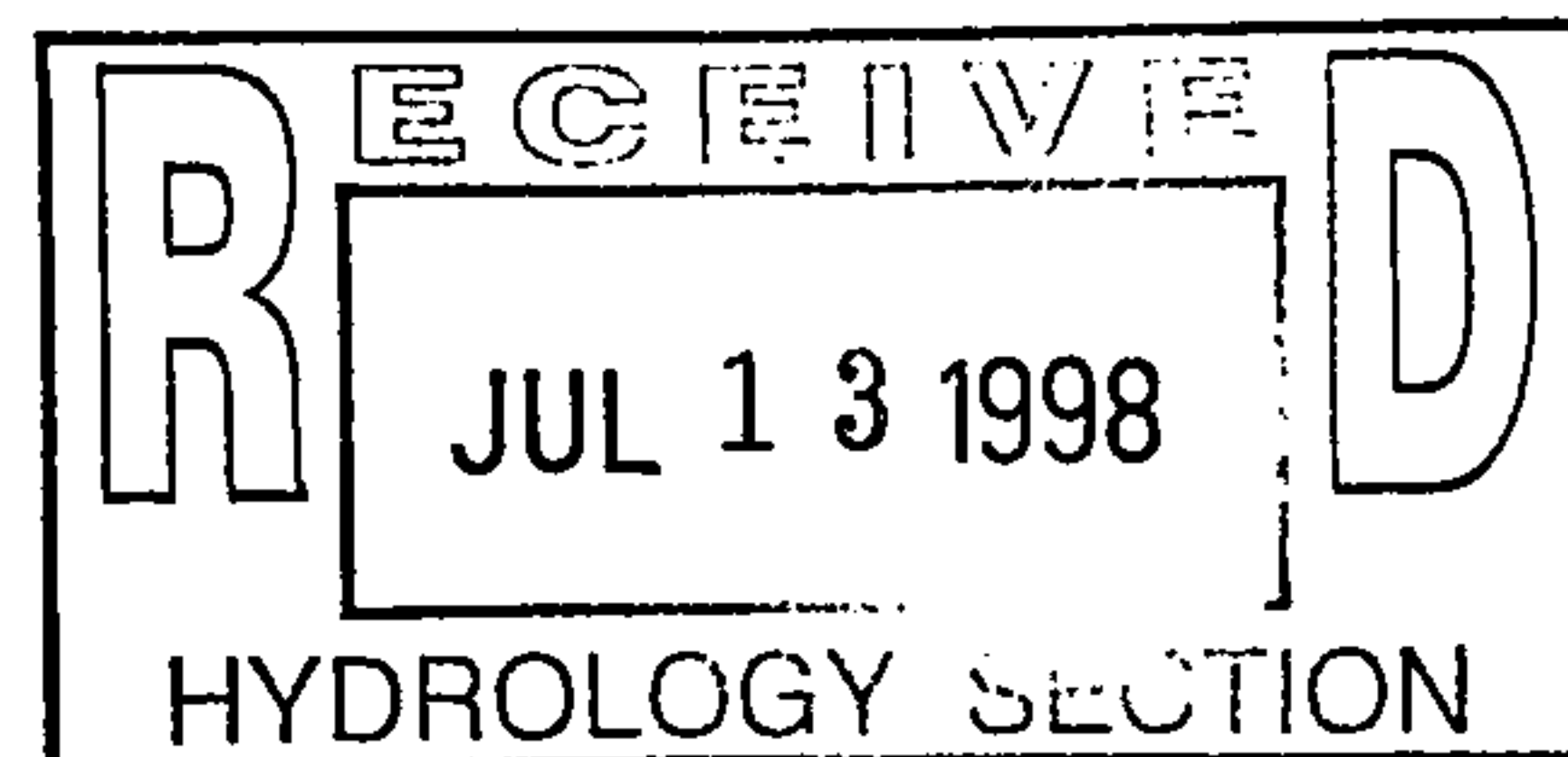
for

Sandia Labs Federal Credit Union

Building & Parking Area Additions

July 1998

7/98
[Signature]



DRAINAGE REPORT

for

SANDIA LABS FEDERAL CREDIT UNION

Juan Tabo Blvd. & Comanche Rd. NE

BUILDING & PARKING AREA ADDITIONS

JULY 1998

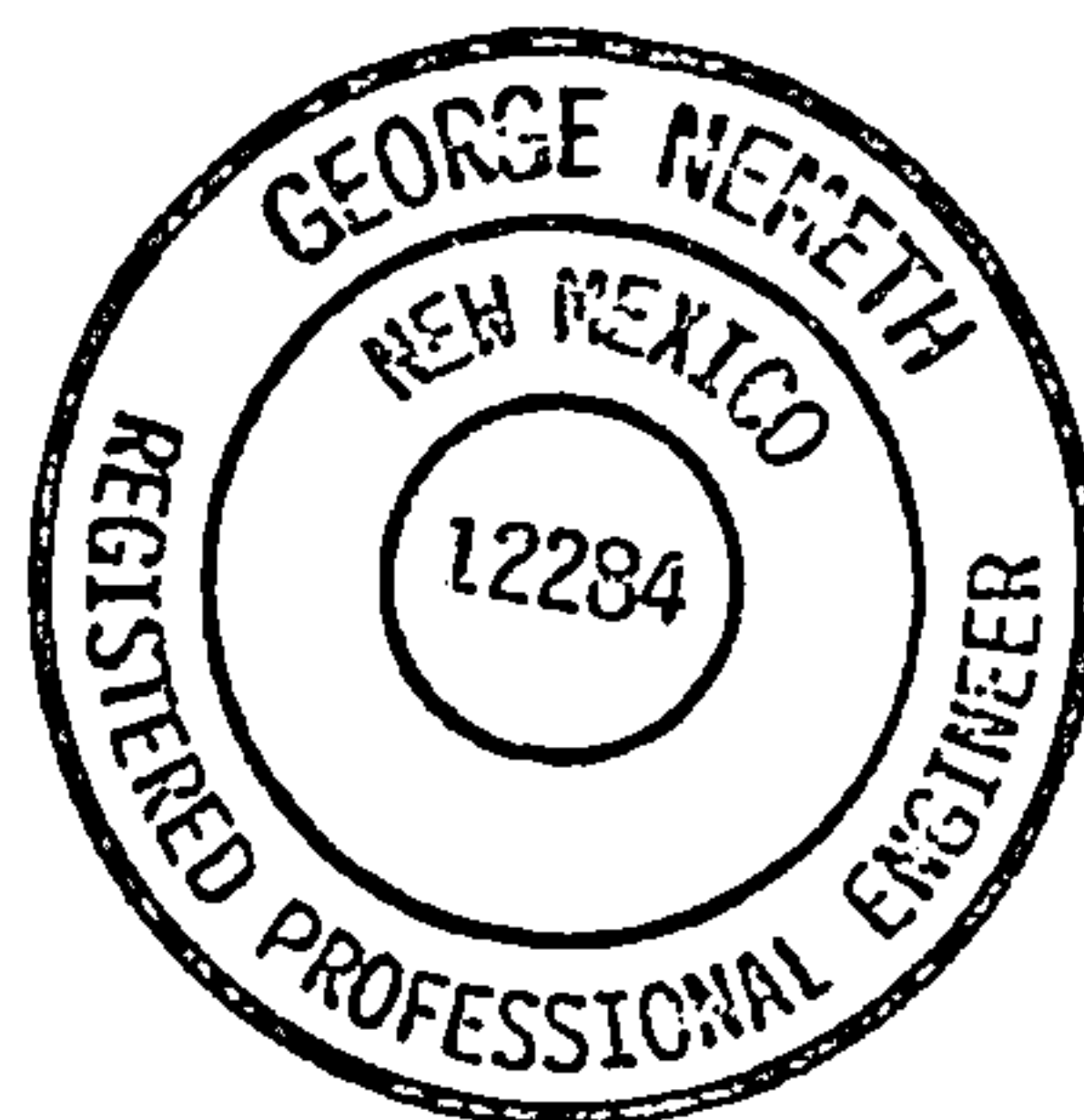
Prepared by:

Easterling & Associates, Inc.

2600 The American Rd. SE, Suite 100

Rio Rancho, NM 87124

I, George Nemeth, P.E., do hereby certify that this document was prepared by me, or under my direct supervision, and is true and correct to the best of my knowledge and belief and that I am a duly registered Professional Engineer under the laws of the State of New Mexico.



A handwritten signature in cursive script, appearing to read "Ge Nemeth", written over a horizontal line.

George Nemeth, P.E.
New Mexico P.E. No. 12284

7-11-98

Date

INTRODUCTION

The project site location is shown in Figure 1, which is a portion of Zone Atlas Map G-21-Z. Figure 2 is a composite of FEMA FIRM Panels 144 and 357, and indicates the 100 year flood is contained within the existing Embudito Arroyo Channel. No area of this site is within the 100 year flood zone.

The project proposes to add approximately 22,000 square feet of new office space on the north side of the existing 31,000 square foot building. The presently undeveloped northern portion of the site will provide the additional parking required to accommodate the building addition.

EXISTING CONDITIONS

The existing conditions drainage discharges to the adjacent Embudito Arroyo channel in one of six ways (see Sheet 1 of 2 in back pocket).

1. Discharge directly to the arroyo as sheet flow along most of the channel adjacent to the site.
2. As concentrated flow to the arroyo channel north of the berm on the north end of the developed site. This discharge drains the undeveloped north portion of the site.
3. As concentrated flow at the southwest corner of the site. This discharge drains the parking area to the west of the entrance road off of Comanche Road.
4. As concentrated flow out through the Comanche Road entrance. This discharge drains the major portion of the currently developed site.
5. Discharge directly to Comanche Road as sheet flow along the southern property line.
6. The lower level loading dock ramp drains to a sump and then directly to a storm drain in Comanche Road. The existing building also discharges to the Comanche storm drain.

There is no offsite drainage entering the site.

Runoff:

All of the six drainage areas shown on Sheet 1 of 2 consist of land treatments C and/or D. The pervious areas (land treatment C) are either soils compacted by human activity, such as on the northern, undeveloped portion of the site, gravel on plastic landscaping, or irrigated lawn greater than 10% slope (on the berm).

From the DPM Section 22.2, Table A-10, the peak rainfall intensity is 5.61 in./hr. for the 100 year storm in precipitation zone 4.

The following existing conditions table summarized the peak runoff rate from each of the six basins for the 100 year storm.

EXISTING CONDITIONS
100 YEAR STORM PEAK RUNOFF RATE

BASIN NO.	AREA (AC)	RAINFALL (IN/HR)	RATIONAL COEFF., C	PEAK RUNOFF Q (CFS)	BASIN TOTAL Q (CFS)
1	0.3051	5.61	0.66	1.1	1.1
	0	5.61	0.94	0.0	
2	1.0532	5.61	0.66	3.9	3.9
	0	5.61	0.94	0.0	
3	0.094	5.61	0.66	0.3	3.2
	0.5326	5.61	0.94	2.8	
4	0.4404	5.61	0.66	1.6	16.6
	2.8474	5.61	0.94	15.0	
5	0.3371	5.61	0.66	1.2	1.2
	0	5.61	0.94	0.0	
6	0	5.61	0.66	0.0	1.6
	0.3027	5.61	0.94	1.6	
TOTALS	5.913				27.76

For Land Treatment C, Rational Coefficient, C=0.66

For Land Treatment D, Rational Coefficient, C=0.94

PROPOSED CONDITIONS

The proposed building addition and parking area on the north end of the site will not significantly alter drainage patterns on the site as shown on Sheet 2 of 2 (in back pocket). Basin 1 changes slightly in area, but not land treatment type, whereas Basin 2 changes in land treatment type and area. Basins 3 and 5 do not change in either area or land treatment type. Basins 4 & 6 are combined, and change in both area and land treatment type. Points of discharge remain unchanged in location, but peak rates change. The following proposed conditions table summarizes the peak runoff rates from each basin for the 100 year storm.

PROPOSED CONDITIONS
100 YEAR STORM PEAK RUNOFF RATE

BASIN NO.	AREA (AC)	RAINFALL (IN/HR)	RATIONAL COEFF., C	PEAK RUNOFF Q (CFS)	BASIN TOTAL Q (CFS)
1	0.2794	5.61	0.66	1.0	1.0
	0	5.61	0.94	0.0	
2	0.2658	5.61	0.66	1.0	8.6
	1.4494	5.61	0.94	7.6	
3	0.094	5.61	0.66	0.3	3.2
	0.5326	5.61	0.94	2.8	
4	0.3503	5.61	0.66	1.3	13.7
	2.3442	5.61	0.94	12.4	
5	0.3371	5.61	0.66	1.2	1.2
	0	5.61	0.94	0.0	
6	0	5.61	0.66	0.0	1.4
	0.2611	5.61	0.94	1.4	
TOTALS	5.914				29.1

-0.1

+4.7

0

-2.9

0

-0.2

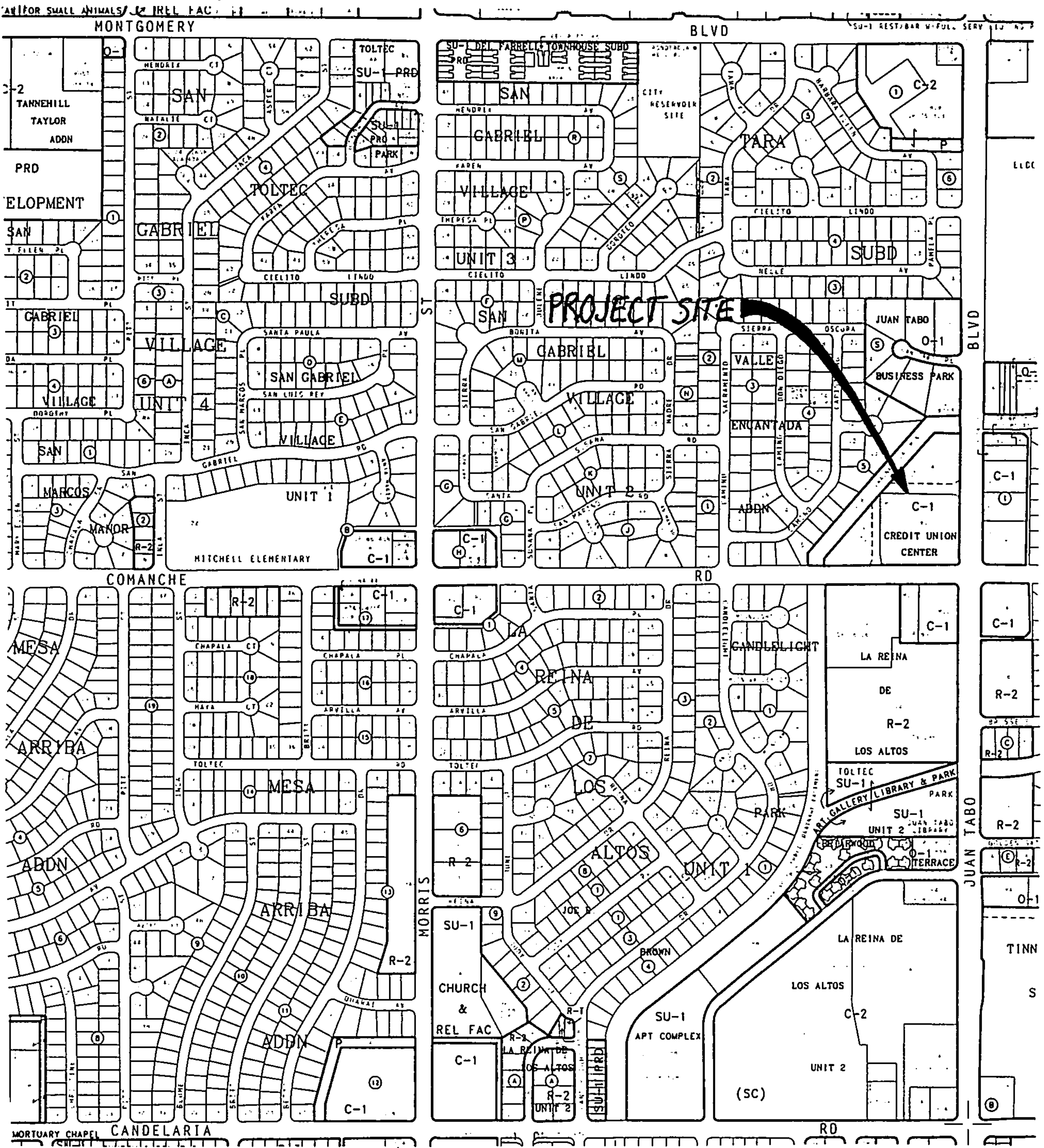
(+1.5)
29.1 - 27.6 = (+) 1.5

For Land Treatment C, Rational Coefficient, C=0.66
For Land Treatment D, Rational Coefficient, C=0.94

The developed site will have an increase in peak runoff from 27.6 cfs to 29.1 cfs, or 5% increase. However, due to the slight modification of on-site drainage patterns, sheet flow to Comanche Road via the entrance drive (Basin 4), is reduced from 16.6 cfs to 13.7 cfs, or 21%. This decrease is offset by an increase in direct discharge to the Embudito Arroyo Channel from 8.2 cfs to 12.8 cfs.

The existing Embudito Arroyo Channel has made provisions for accepting the flows from Basin 2 by constructing a rundown, through which Basin 2 currently discharges and will also discharge under the proposed site plan.

Figure 3 shows that a 4' wide concrete channel with 1:1 side slopes will flow only 0.37 (2 1/2") feet deep when the 100 year storm event (8.6 cfs) occurs. The proposed rundown channel will have the same total depth as the onsite standard curbing, which is 8".



Easterling & Associates, Inc.
 CONSULTING ENGINEERS
 2600 The American Rd., SE, Suite 100
 Rio Rancho, New Mexico 87124
 (505) 898-8021 FAX (505) 898-8501
 E-Mail: eai_engr@swcp.com

ZONE ATLAS MAP G-21-Z

**SANDIA LABS
 FEDERAL CREDIT UNION**

FIGURE 1 DATE: 7-98

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Easterling & Associates, Inc.

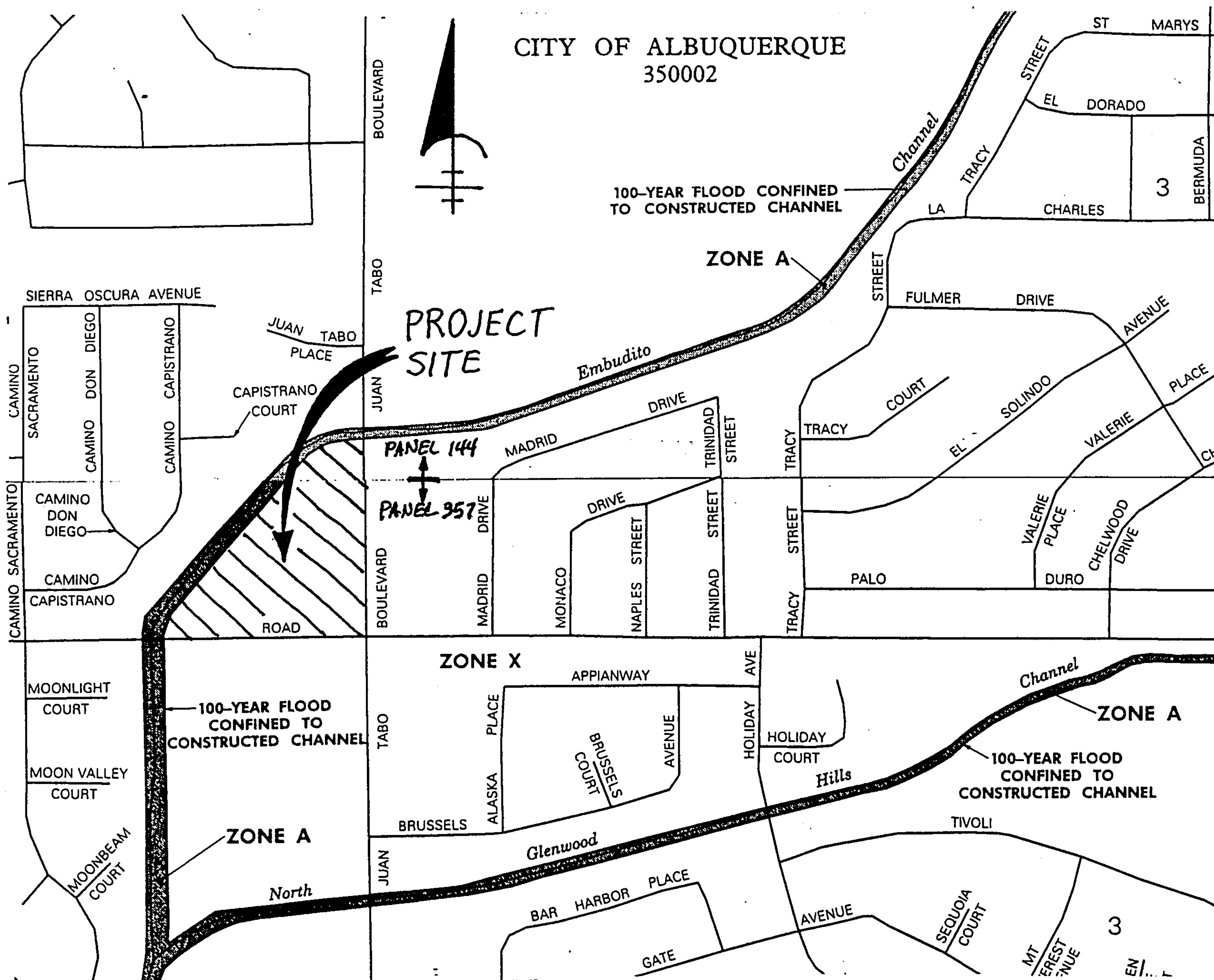
CONSULTING ENGINEERS
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Rio Rancho, New Mexico 87124
(505) 898-8021 FAX (505) 898-8501
E-Mail: edi_engr@swcp.com

FIGURE 2

DATE: 7-98

FEMA FIRM PANELS

**SANDIA LABS
FEDERAL CREDIT UNION**



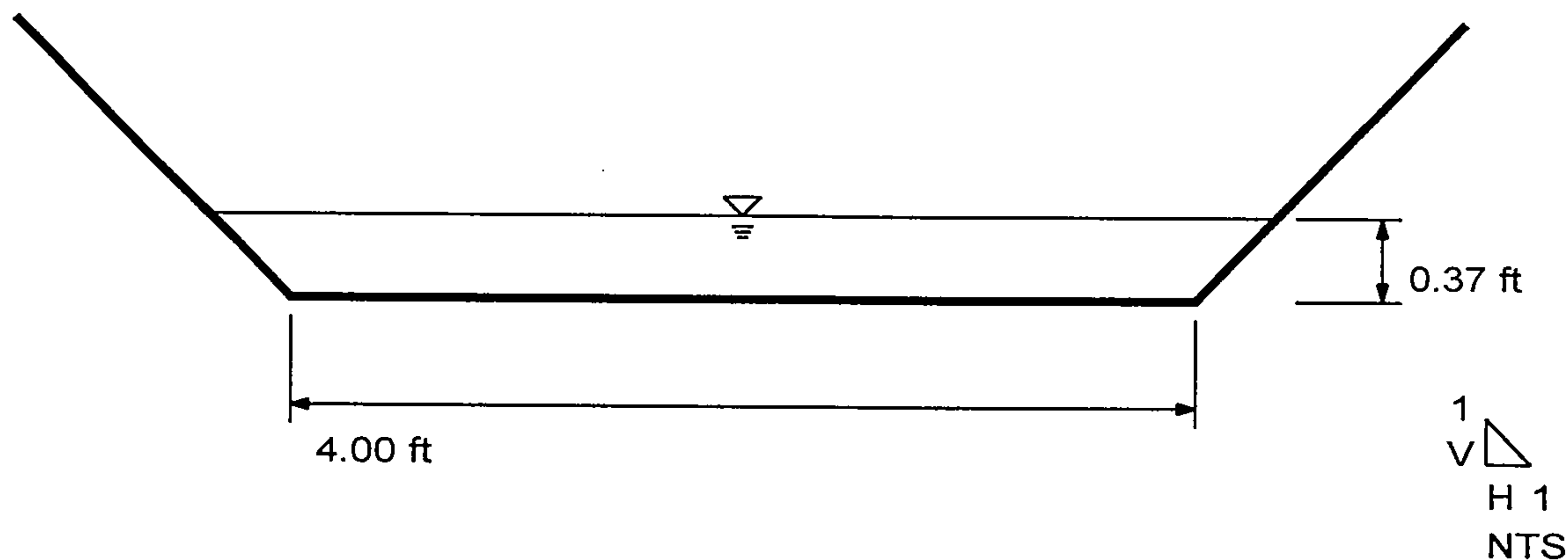
Sandia Labs Federal Credit Union
Cross Section for Trapezoidal Channel

Project Description

Project File	t:\projects\4830\eng\slfcu.fm2
Worksheet	Embudito channel rundown
Flow Element	Trapezoidal Channel
Method	Manning's Formula
Solve For	Channel Depth

Section Data

Mannings Coefficient	0.017
Channel Slope	0.017000 ft/ft
Depth	0.37 ft
Left Side Slope	1.000000 H : V
Right Side Slope	1.000000 H : V
Bottom Width	4.00 ft
Discharge	8.60 cfs



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RUNDOWN CHANNEL

SANDIA LABS
FEDERAL CREDIT UNION

FIGURE 3

DATE: 7-98

Easterling & Associates, Inc.

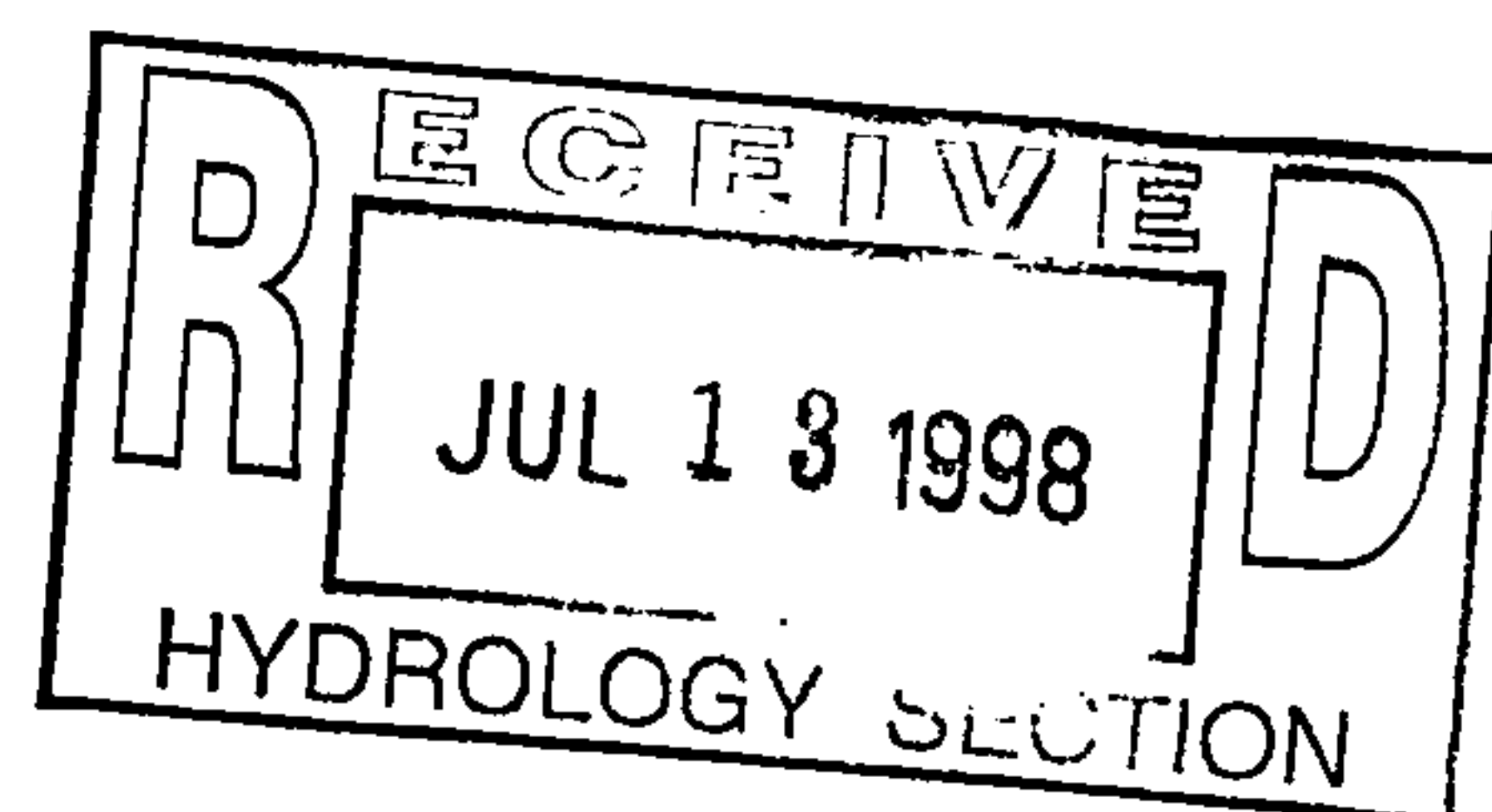
DRAINAGE REPORT

for

Sandia Labs Federal Credit Union

Building & Parking Area Additions

July 1998



DRAINAGE REPORT

for

SANDIA LABS FEDERAL CREDIT UNION

Juan Tabo Blvd. & Comanche Rd. NE

BUILDING & PARKING AREA ADDITIONS

JULY 1998

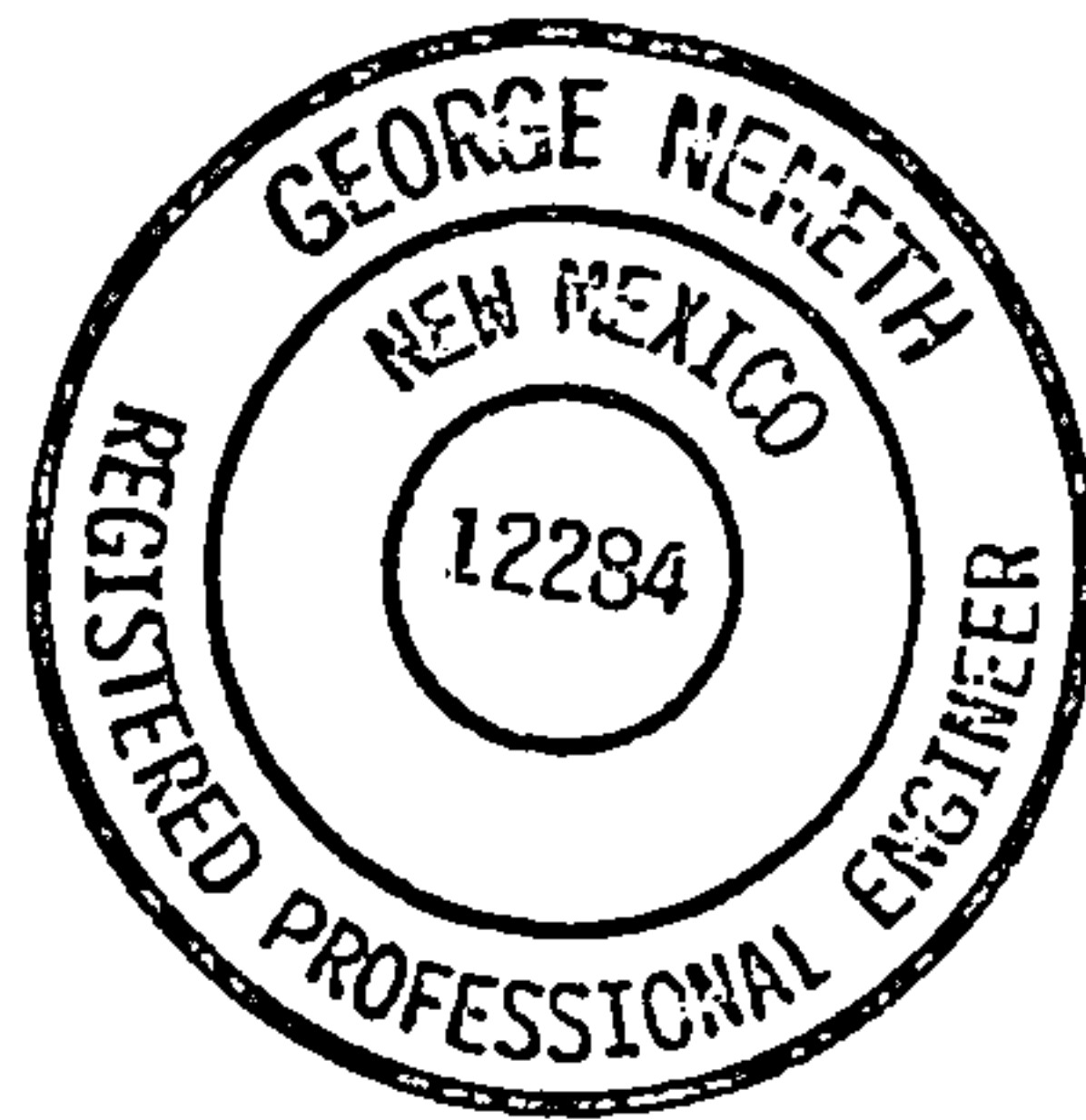
Prepared by:

Easterling & Associates, Inc.

2600 The American Rd. SE, Suite 100

Rio Rancho, NM 87124

I, George Nemeth, P.E., do hereby certify that this document was prepared by me, or under my direct supervision, and is true and correct to the best of my knowledge and belief and that I am a duly registered Professional Engineer under the laws of the State of New Mexico.



A handwritten signature in cursive script, appearing to read "Ge Nemeth", written over a horizontal line.

George Nemeth, P.E.
New Mexico P.E. No. 12284

7-11-98

Date

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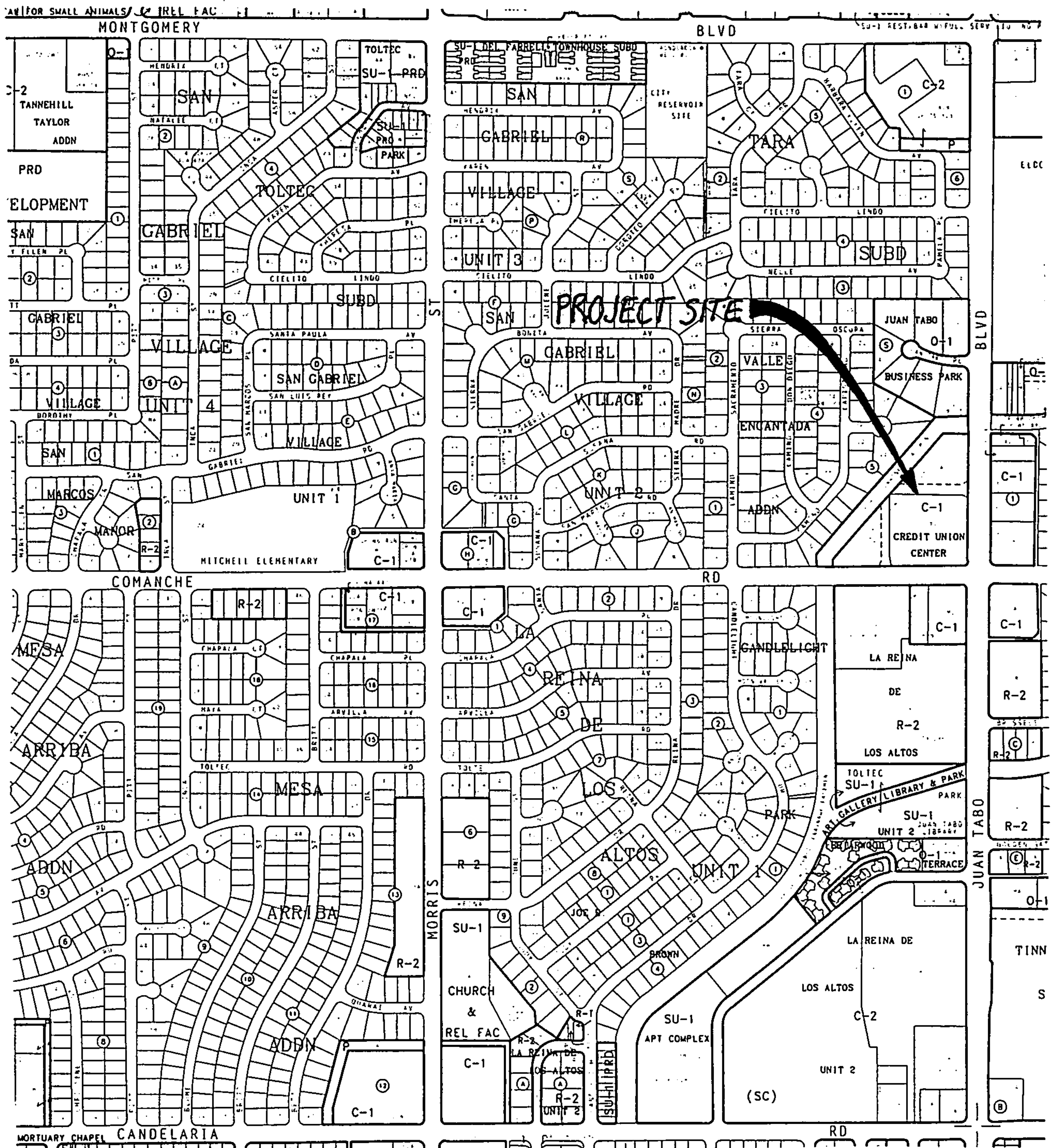
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Figure 3 shows that a 4' wide concrete channel with 1:1 side slopes will flow only 0.37 feet deep when the 100 year storm event (8.6 cfs) occurs. The proposed rundown channel will have the same total depth as the onsite standard curbing, which is 8".



Easterling & Associates, Inc.

CONSULTING ENGINEERS
2600 The American Rd., SE, Suite 100
Rio Rancho, New Mexico 87124
(505) 898-8021 FAX (505) 898-8501
E-Mail: eai_engr@swcp.com

ZONE ATLAS MAP G-21-Z

SANDIA LABS
FEDERAL CREDIT UNION

FIGURE 1

DATE: 7-98

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Easterling & Associates, Inc.

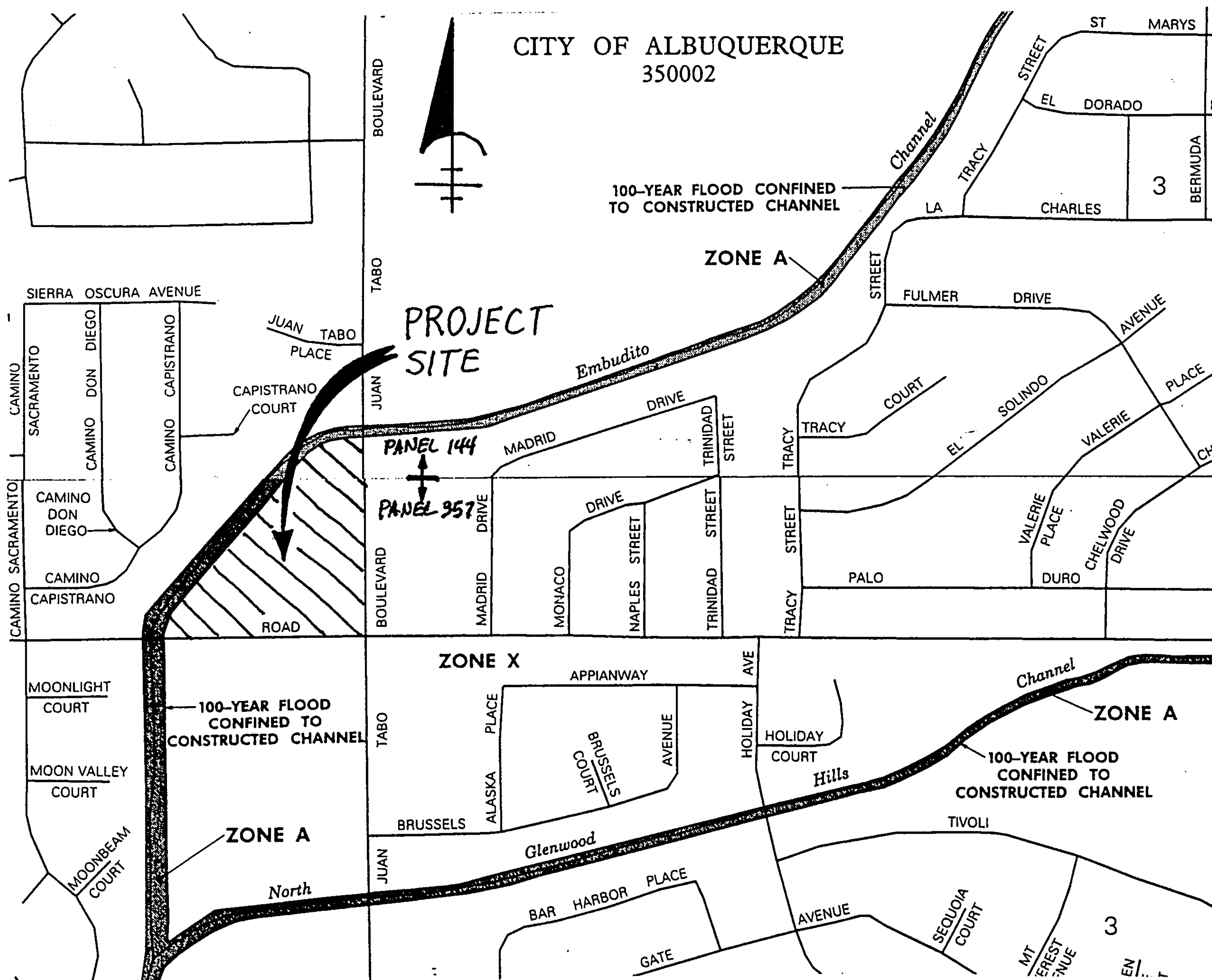
CONSULTING ENGINEERS
2600 The American Rd., SE, Suite 100
Rio Rancho, New Mexico 87124
(505) 898-8021 FAX (505) 898-8501
E-Mail: edl_engr@swcp.com

FIGURE 2

DATE: 7-98

**SANDIA LABS
FEDERAL CREDIT UNION**

FEMA FIRM PANELS



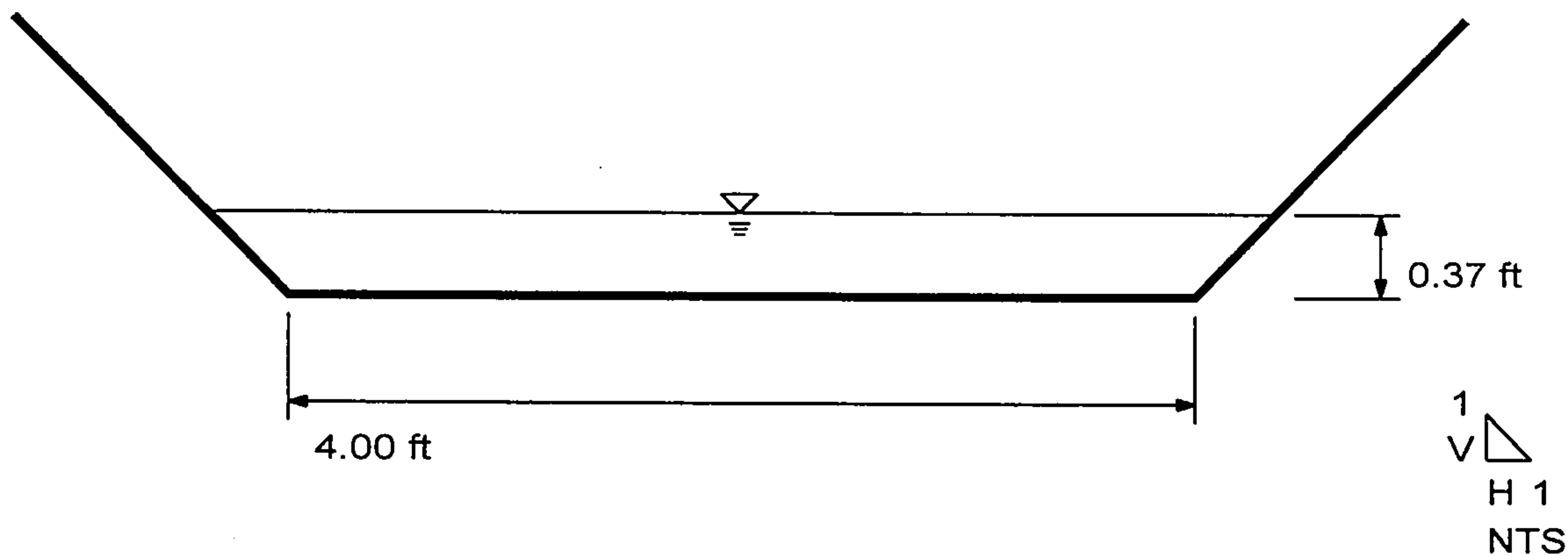
Sandia Labs Federal Credit Union
Cross Section for Trapezoidal Channel

Project Description

Project File	t:\projects\4830\eng\slfcu.fm2
Worksheet	Embudito channel rundown
Flow Element	Trapezoidal Channel
Method	Manning's Formula
Solve For	Channel Depth

Section Data

Mannings Coefficient	0.017
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Right Side Slope	1.000000 H : V
Bottom Width	4.00 ft
Discharge	8.60 cfs



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Easterling & Associates, Inc.

CONSULTING ENGINEERS
 2600 The American Rd., SE, Suite 100
 Rio Rancho, New Mexico 87124
 (505) 898-8021 FAX (505) 898-8501
 E-Mail: eai_engr@swcp.com

RUNDOWN CHANNEL

**SANDIA LABS
FEDERAL CREDIT UNION**

FIGURE 3

DATE: 7-98



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 6, 1993

Paul Fensterer
Dames & Moore
6301 Indian School Rd NE #700
Albuquerque, N.M. 87110

RE: GRADING PLAN FOR SANDIA LABS CREDIT UNION (G21/D27)
ENGINEER'S STAMP DATED 9/30/93, RECEIVED SEPTEMBER 30, 1993
FOR PAVING PERMIT APPROVAL.

Dear Mr. Fensterer:

Based on the information included in the submittal referenced above, City Hydrology APPROVES this project for Paving Permit.

Precaution must be taken to prevent sediment from washing onto adjacent properties. If sediment does end up on neighboring property, it will be the Contractor's responsibility to remove it.

Engineer's Certification of grading per D.P.M. checklist will be required for this project.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.
Civil Engineer/Hydrology

xc: Alan Martinez
File

WPHYD/8030

PUBLIC WORKS DEPARTMENT

SANDIA LABS Credit Union

PROJECT TITLE: Completion of Paving Plan

ZONE ATLAS/DRN FILE #: G-21-2/027

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: SEE ATTACHED

CITY ADDRESS: 3707 Juan Tabo NE, Albuquerque NM 87111

ENGINEERING FIRM: DAMES & MOORE CONTACT: Paul Fenster ^P FENSTER

ADDRESS: 6301 Indian School RD #700 PHONE: (505) 884-2611

OWNER: SANDIA ^{LABORATORY} FEDERAL CREDIT UNION CONTACT: JAMES RIEDERER

ADDRESS: 3707 Juan Tabo NE PHONE: (505) 293-0500

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: ARMOUR PAVEMENT INC. CONTACT: De'An Clausen

ADDRESS: 516 EL PARADISO ROAD NE PHONE: (505) 345-4288

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SEP 30

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 9/21/93

BY: [Signature]

8030



6301 INDIAN SCHOOL ROAD, N.E., SUITE 700, ALBUQUERQUE, NEW MEXICO 87110
(505) 884-2611 FAX: (505) 888-1930

September 17, 1993

Mr. John Curtain
Civil Engineer/Hydrology
City of Albuquerque
Public Works Department, Hydrology Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Dear Mr. Curtain:

This letter is to inform you of Sandia Laboratory Federal Credit Union's intent to complete the grading and paving improvements for a parking lot located at 3707 Juan Tabo NE (northwest corner of Comanche and Juan Tabo, NE), Albuquerque, New Mexico. The parking lot expansion was previously approved by the City of Albuquerque, Public Works Department, Utility Development Division, Hydrology Section. Please find attached (1) copy of the proposed Grading and Paving Plan, including (1) copy of the permitted Drainage Plan, for the subject property.

Thank you for your time and consideration regarding this project.

Sincerely,
DAMES & MOORE, INC.



Paul Fensterer
Senior Civil Engineer

SEP 30

[Handwritten signature]

Received 9-21-93
[Handwritten signature]
OFFICES WORLDWIDE



City of Albuquerque

P.O. BOX 12937 ALBUQUERQUE, NEW MEXICO 87103

Mayor
Ken Schultz

July 17, 1987

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Richard Rays
Sandia Labs Credit Union
909 Virginia, Suite 206
Albuquerque, NM

RE: PROJECT NO. 3109, TRACT 3, VALLE ENCANTADA ADDITION
(MAP NO. G-21-Z)

Dear Mr. Rays:

This is to certify that the City of Albuquerque accepts Project No. 3109 as being completed according to approved plans and construction specifications and accepts for continuous maintenance all public infrastructure improvements constructed as part of Project No. 3109.

The project is described as follows:

- Installed concrete rundown to existing concrete channel approximately 600 feet west of the intersection of Juan Tabo and Comanche, N.E.
- The warranty will be in effect for a period of three (3) years.

Sincerely,

Russell B. Givler, P.E.
Chief Construction Engineer
Construction Mgmt. Division
Engineering Group
Public Works Department

Rich:
RE: 3707 JUAN TABO
CALL ME
BOB HASAKA
765-1200

PUBLIC WORKS DEPARTMENT

George E. Selvia, P.E.,
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

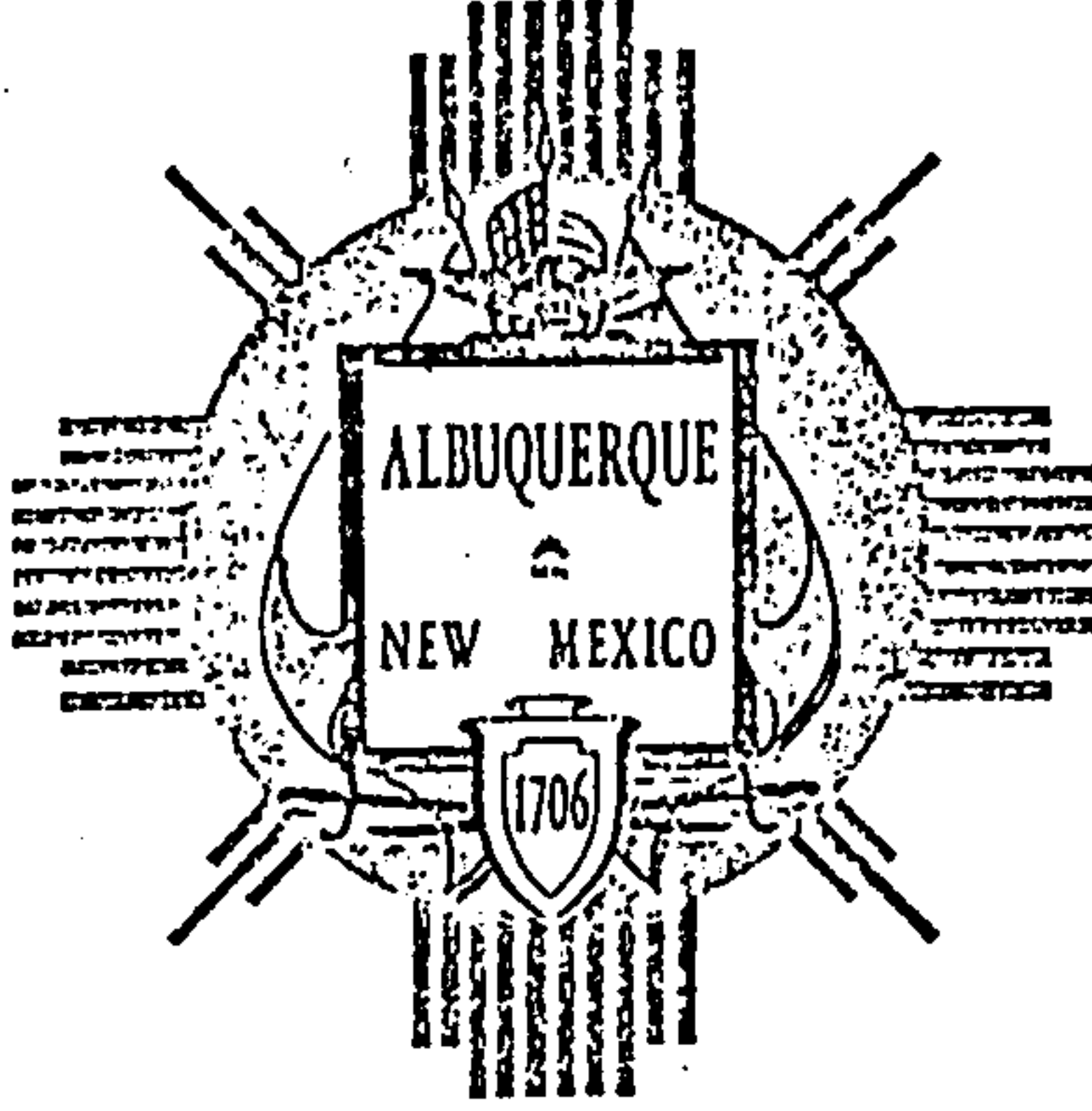
LETTER OF ACCEPTANCE FOR PROJECT NO. 3109

July 17, 1987

Page Two (2)

xc: Chavez-Grieves Consulting Engineers, Inc.
Bradbury & Stamm Construction Company, Inc.
L. A. Larranaga, Director, PWD
Phil Fischer, Engineering Group, PWD
Andre Houle, Engineering Group, PWD
Jim Olsen, Operations Group, PWD
Sam Cummins, Operations Group, PWD
Dean Wall, Operations Group, PWD
Anthony Lopez, Operations Group, PWD
Walter H. Nickerson, Jr., Engineering Group, PWD
Dave Parks, Engineering Group, PWD
Tom Kennerly, Operations Group, PWD
Josie Gutierrez, New Meter Sales, Finance Group, PWD
Claudia Gallegos, Standby Clerk, Finance Group, PWD
Della Gallegos, Engineering Group, PWD
Fred Gomez, Engineering Group, PWD
f/Project 3109
f/Readers

Judy



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Mayor
Ken Schultz

June 26, 1987

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Ralph Nelson
Sandia Laboratory Federal Credit Union
909 Virginia, N.E., Suite 206
Albuquerque, NM 87108

RE: PROJECT NO. 3198, CREDIT UNION CENTER, TRACTS A, B & C.
(MAP NO. G21Z)

Dear Mr. Nelson:

This is to certify that the City of Albuquerque accepts Project No. 3198 as being completed according to approved plans and construction specifications and accepts for continuous maintenance all public infrastructure improvements constructed as part of Project No. 3198.

The project is described as follows:

- A waterline extension and fire hydrant installation for Sandia Laboratory Federal Credit Union, Tracts A, B. & C.
- The warranty will be in effect for a period of three (3) years.

Sincerely,

Russell B. Givler, P.E.
Chief Construction Engineer
Construction Mgmt. Division
Engineering Group
Public Works Department

RBG: jla

PUBLIC WORKS DEPARTMENT

George E. Selvia, P.E.,
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

LETTER OF ACCEPTANCE FOR PROJECT NO. 3198

June 26, 1987

Page Two (2)

xc: Chavez-Grievess Consulting Engineers
NMC Construction Company, Inc.
L. A. Larranaga, Director, PWD
Phil Fischer, Engineering Group, PWD
Andre Houle, Engineering Group, PWD
Jim Olsen, Operations Group, PWD
Sam Cummins, Operations Group, PWD
Dean Wall, Operations Group, PWD
Anthony Lopez, Operations Group, PWD
Walter H. Nickerson, Jr., Engineering Group, PWD
Dave Parks, Engineering Group, PWD
Tom Kennerly, Operations Group, PWD
Josie Gutierrez, New Meter Sales, Finance Group, PWD
Claudia Gallegos, Standby Clerk, Finance Group, PWD
Della Gallegos, Engineering Group, PWD
Fred Gomez, Engineering Group, PWD
f/Project 3198
f/Readers

FILE COPY

CITY OF ALBUQUERQUE

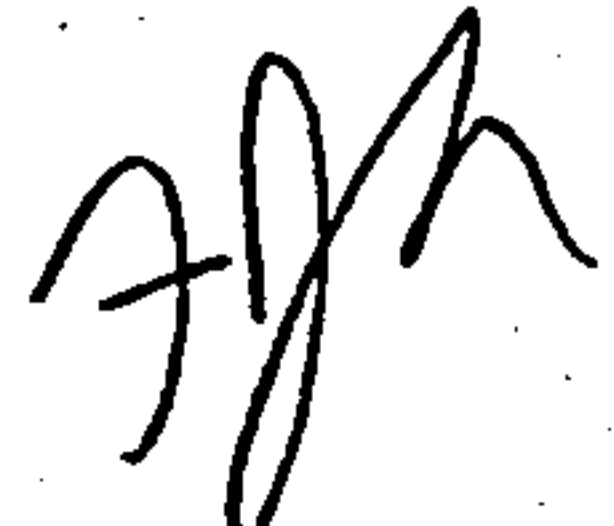
ALBUQUERQUE, NEW MEXICO

INTER-OFFICE CORRESPONDENCE

REF. NO. _____

December 5, 1986

TO: Ray Baca, Transportation System Division

FROM: Fred J. Aguirre, Hydrologist; Engineering Division/PWD 

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHTS-OF-WAY/EASEMENT
SANDIA LAB FEDERAL CREDIT UNION (G-21/D27)

Transmitted herewith, is a copy of the approved drainage plan for the referenced projects incorporating the S.O. 19 design.

In accordance with the new process, this plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed-off S.O. 19 is required by this office for Certificate of Occupancy release; hence your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation, and if you should have any questions and/or comments regarding the process, please feel free to call me at 768-2650.

FJA/bsj

Enclosures

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

December 4, 1986

Jackie McDowell
Chavez-Grievess Consulting Engineers
4600-C Montgomery Blvd., NE
Albuquerque, New Mexico 87109

RE: GRADING & DRAINAGE PLAN SUBMITTAL OF SANDIA LAB CREDIT UNION,
RECEIVED NOVEMBER 25, 1986 FOR BUILDING PERMIT APPROVAL
(G-21/D27)

Dear Jackie:

The above referenced submittal, dated November 17, 1986, is approved for Building Permit sign-off by Hydrology. Include these approved drawings with the construction sets routed for sign-off.

Also approved is the design for the private storm drain tie into the catch basin in Comanche Road. The contractor must obtain a separate excavation permit before construction of this tie in.

If you have any questions, call me at 768-2650.

Cordially,

Roger A. Green, P.E.

Roger A. Green, P.E.
C.E./Hydrology Section

cc: Bob Calvani

RAG/bsj

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

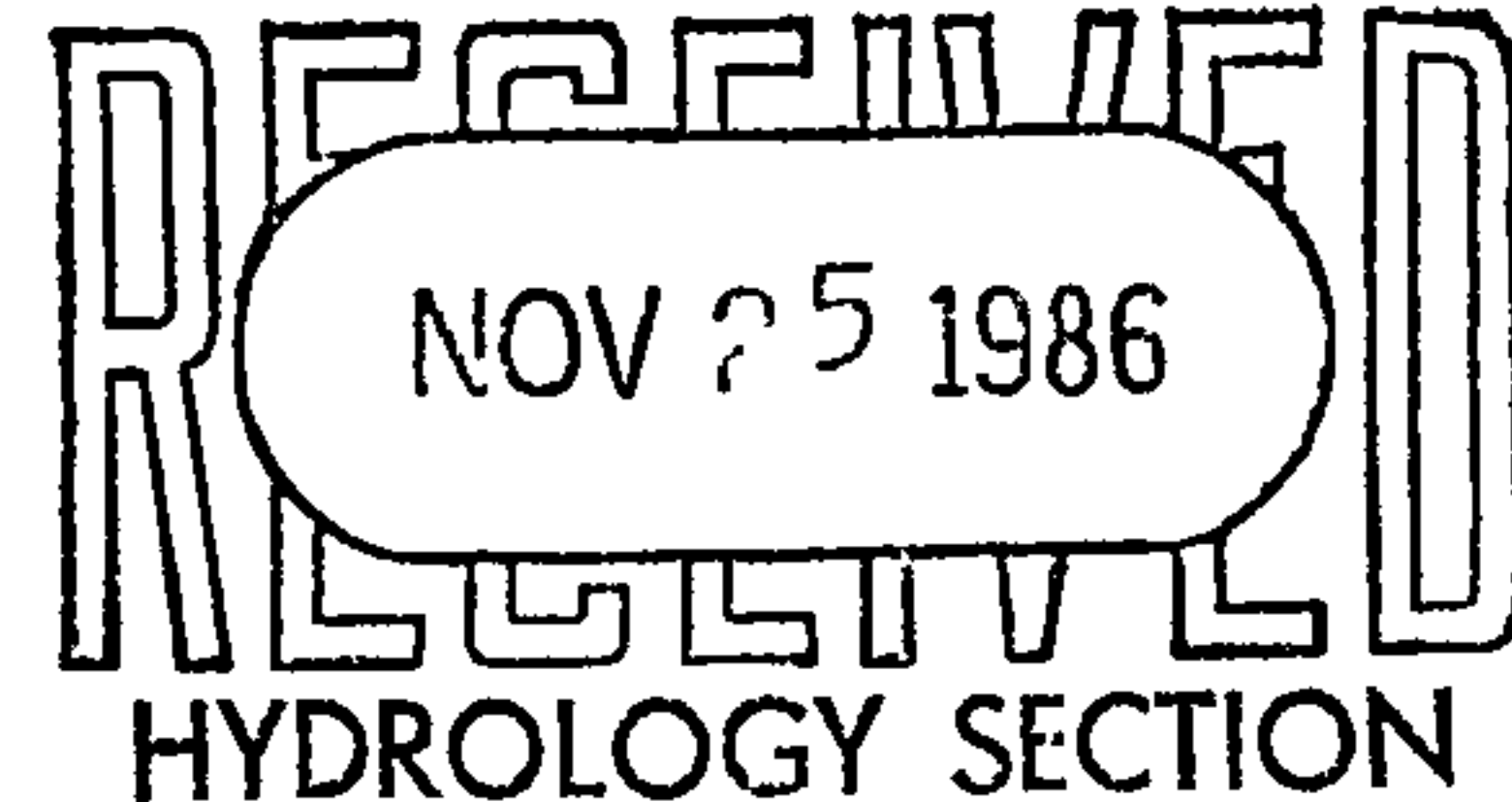


CHAVEZ-GRIEVES / CONSULTING ENGINEERS, INC.

4600 MONTGOMERY N.E., BUILDING C, #101
ALBUQUERQUE, NEW MEXICO 87109
(505) 881-7376

November 20, 1986

Roger A. Green, P.E.
City of Albuquerque
Public Works Dept./Hydrology Section
P.O. Box 1293
Albuquerque, N.M. 87103



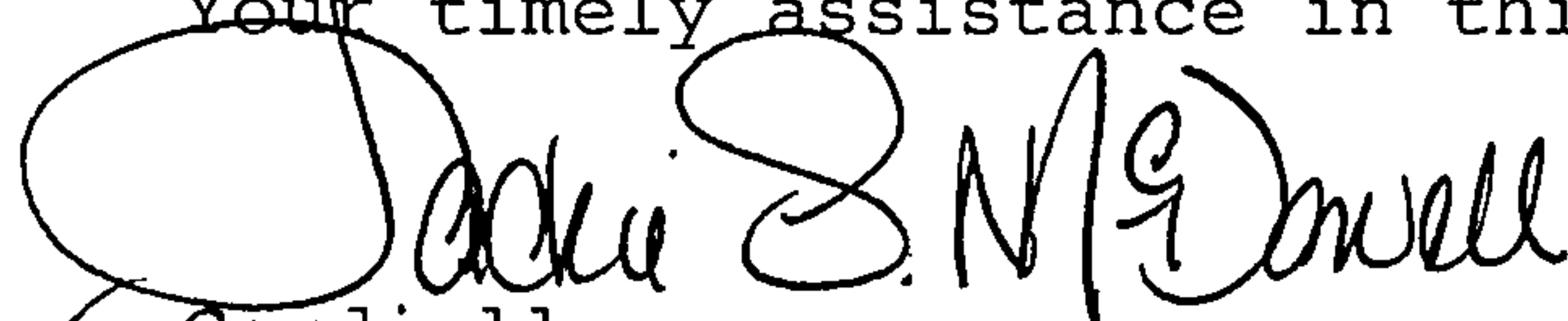
RE: GRADING AND DRAINAGE PLAN FOR SANDIA LAB CREDIT UNION.
(G-21/D27)

Dear Roger:

In response to your letter dated November 13, 1986, I offer the following:

1. The concrete rundown into the lined Embudito Arroyo will be submitted through the Work Order process and referenced as so on sheets C-2 and C-3.
2. The signature block provided for the S.O. # 19 approvals has been changed from Median Revisions to Drain Line Connection to Existing Storm Inlet.
3. Due to complexity and cluttering on sheet C-2, Grading and Drainage Plan, the 12" PVC storm drain has been shown on sheet C-1, site plan. The prints are part of one set of construction drawings and will be coordinated by the contractor with one another.

Your timely assistance in this matter is appreciated.


Cordially,

CHAVEZ-GRIEVES CONSULTING ENGINEERS, INC.

Jackie S. McDowell

JSM:kk

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Sandia Labs Credit Union ZONE ATLAS/DRNG. FILE #: G-21
 LEGAL DESCRIPTION: Tract B, Valle Encantada Add'n

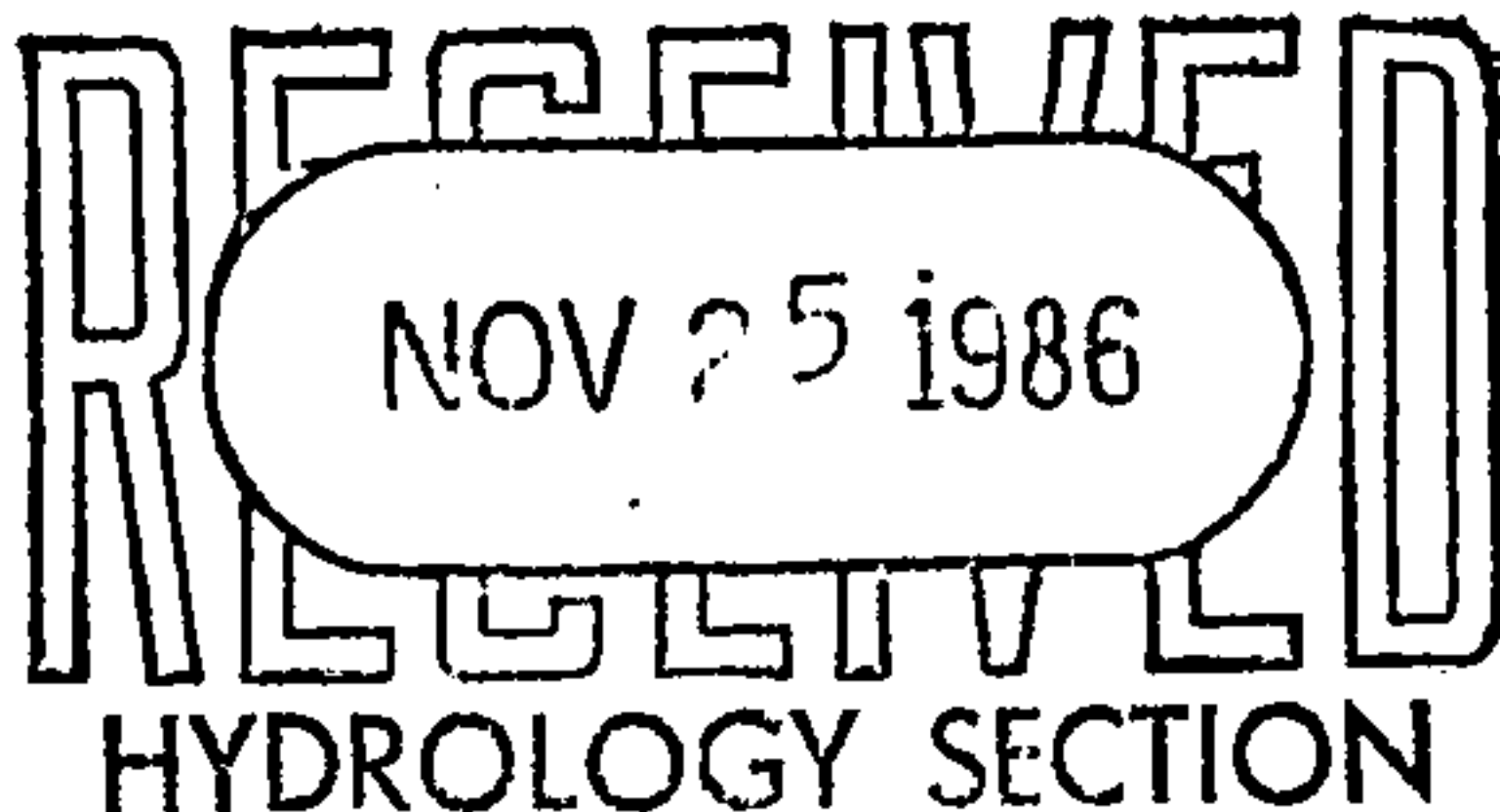
CITY ADDRESS: _____
 ENGINEERING FIRM: Chavez-Grievies CONTACT: Jackie McDowell
 ADDRESS: 4600 C Montgomery PHONE: (505) 881-7376
 OWNER: Sandia Labs Credit Union CONTACT: Richard Rays
 ADDRESS: _____ PHONE: (505) 265-3461
 ARCHITECT: Nimis Calvani CONTACT: Bob Calvani
 ADDRESS: 521 Central PHONE: (505) 243-4700
 SURVEYOR: D.T. Morrison CONTACT: D.T. Morrison
 ADDRESS: 1020 Texas PHONE: (505) 256-7364
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

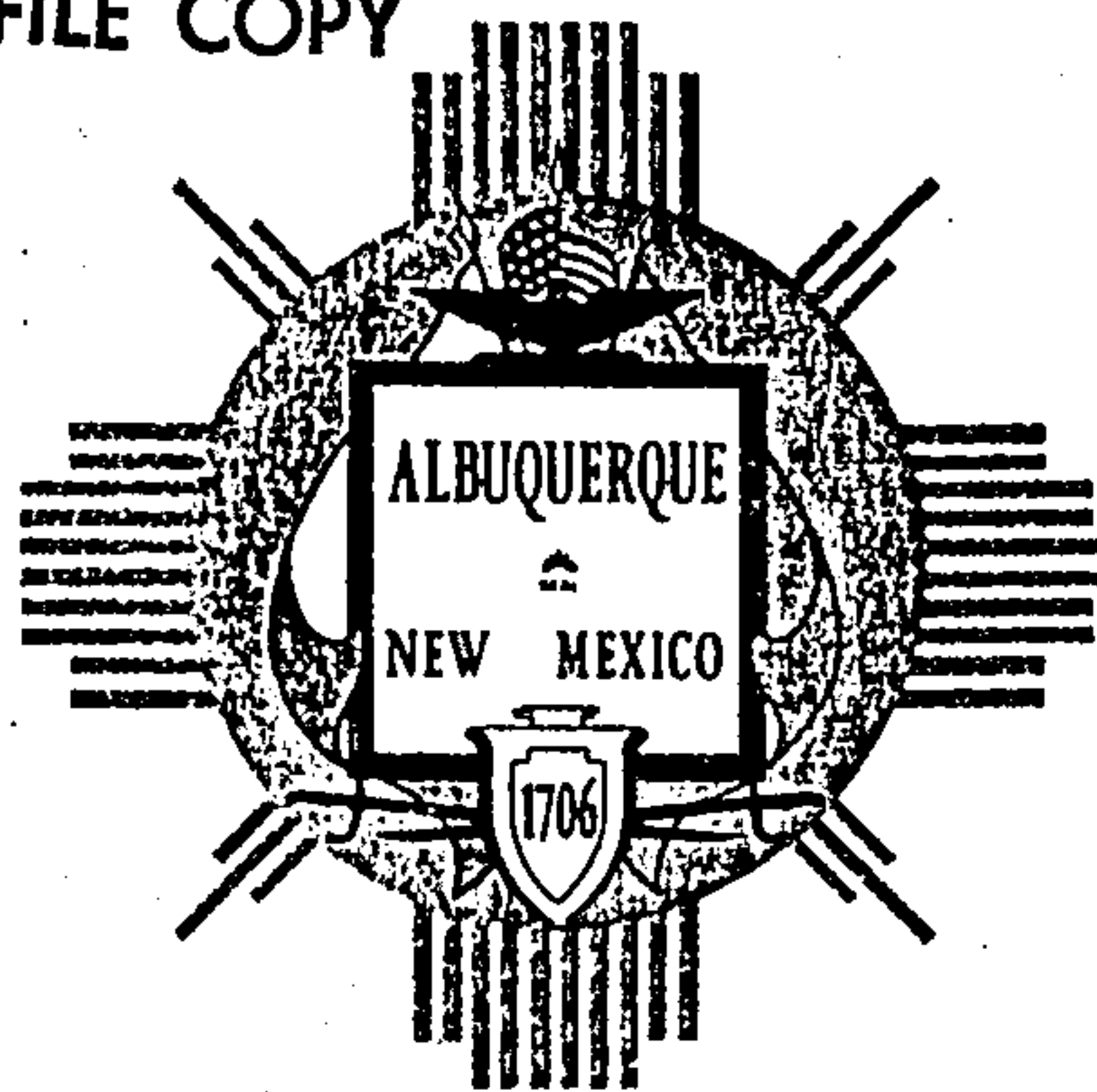
☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 11/24/86

BY: Cherie S. McDowell



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

November 13, 1986

Jackie McDowell
Chavez-Grieves Consulting Engineers
4600-C Montgomery Blvd., NE
Albuquerque, New Mexico 87109

RE: GRADING & DRAINAGE PLAN SUBMITTAL OF SANDIA LAB CREDIT
UNION RECEIVED OCTOBER 31, 1986 FOR BUILDING PERMIT
APPROVAL (G-21/D27)

Dear Jackie:

I have reviewed the above referenced submittal, dated October 14, 1986, and have the following comments to be addressed before Building Permit approval:

1. The concrete rundown into the lined Embudito Arroyo must be submitted through the Work Order process and not as a S.O. #19 since the lined channel is a major facility and a detailed design and inspection process is essential. Sheets C-2 and C-3 should reference this rundown as a Work Order item to be constructed by a separate contract, etc.
2. The signature blocks provided for the S.O. #19 approvals of the catch basin tie-in refer to a Median Revision. This is not what Hydrology is approving and should reference the appropriate improvement.

PUBLIC WORKS DEPARTMENT

Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

Jackie McDowell
November 13, 1986
Page 2

3. Sheet C-2, Grading and Drainage Plan, should show the 12" PVC storm drains as shown on Sheet C-1 and identify the catch basin tie-in as the S.O. #19.

The drainage scheme is approved, but Building Permit will not be signed-off by Hydrology until the channel rundown has been reviewed by the DRC and the above items are addressed on a revised resubmittal.

If you have any questions, call me at 768-2650.

Cordially,

Roger A. Green, P.E.

Roger A. Green, P.E.
C.E./Hydrology Section

Standard form letter to:
Bob Calvani

RAG/bsj

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Sandia Labs Credit Union ZONE ATLAS/DRNG. FILE #: G-21 / 1027
 LEGAL DESCRIPTION: Tract B, Valle Encantada Add'n.

CITY ADDRESS: _____

ENGINEERING FIRM: Chavez-Grievés

ADDRESS: 4600 C Montgomery

OWNER: Sandia Labs Credit Union

ADDRESS: _____

ARCHITECT: Nimis Calvani

ADDRESS: 521 Central

SURVEYOR: D.T. Morrison

ADDRESS: 1020 Texas

CONTRACTOR: _____

ADDRESS: _____

CONTACT: Jackie McDowell

PHONE: (505) 881-7376

CONTACT: Richard Rays

PHONE: (505) 265-3461

CONTACT: Bob Calvani

PHONE: (505) 243-4700

CONTACT: D.T. Morrison

PHONE: (505) 256-7364

CONTACT: _____

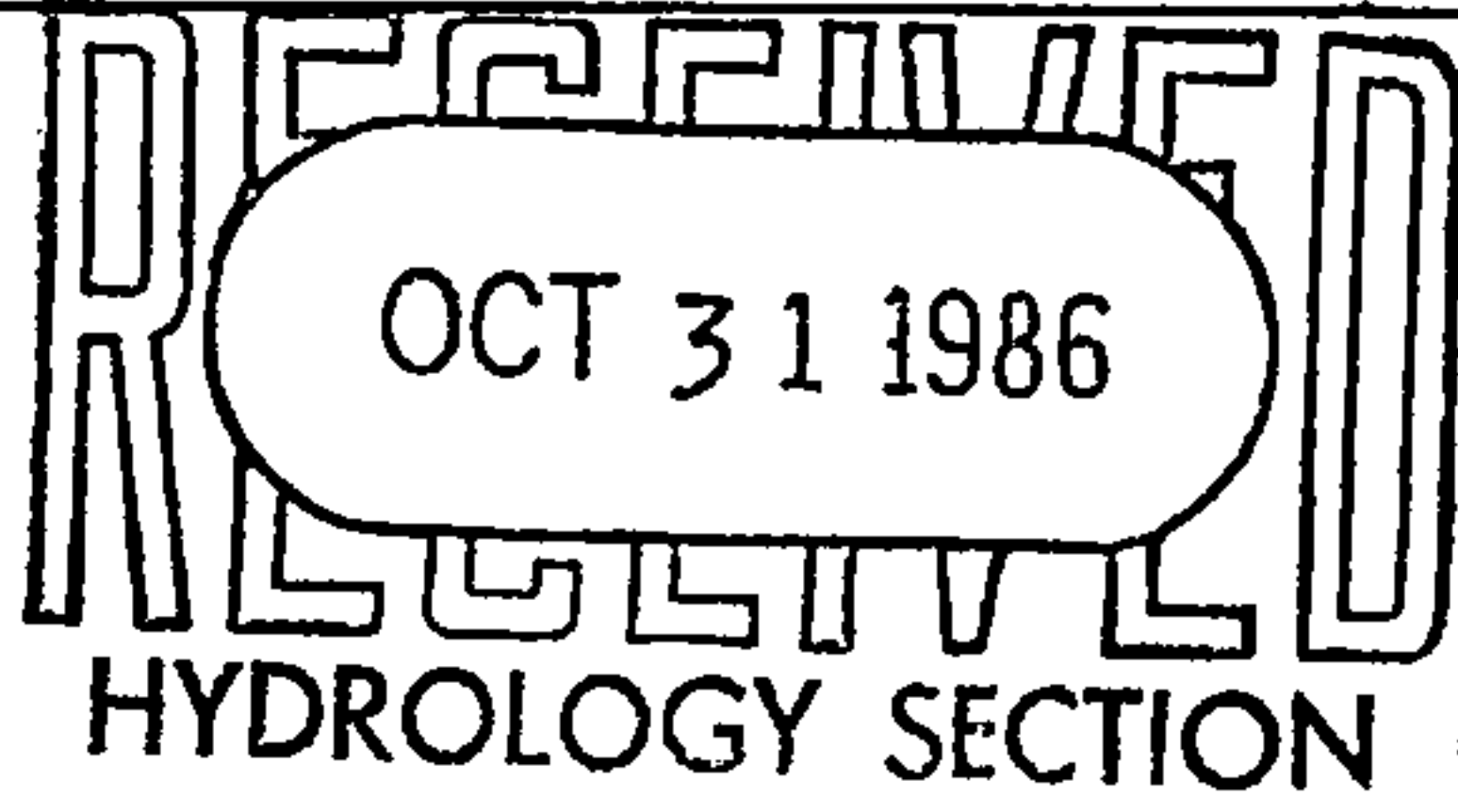
PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. 86-548 8/26/86

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 10/30/86

BY: Chokie S. McDowell



CHAVEZ—GRIEVES / CONSULTING ENGINEERS, INC.

4600 MONTGOMERY N.E., BUILDING C, #101
ALBUQUERQUE, NEW MEXICO 87109
(505) 881-7376

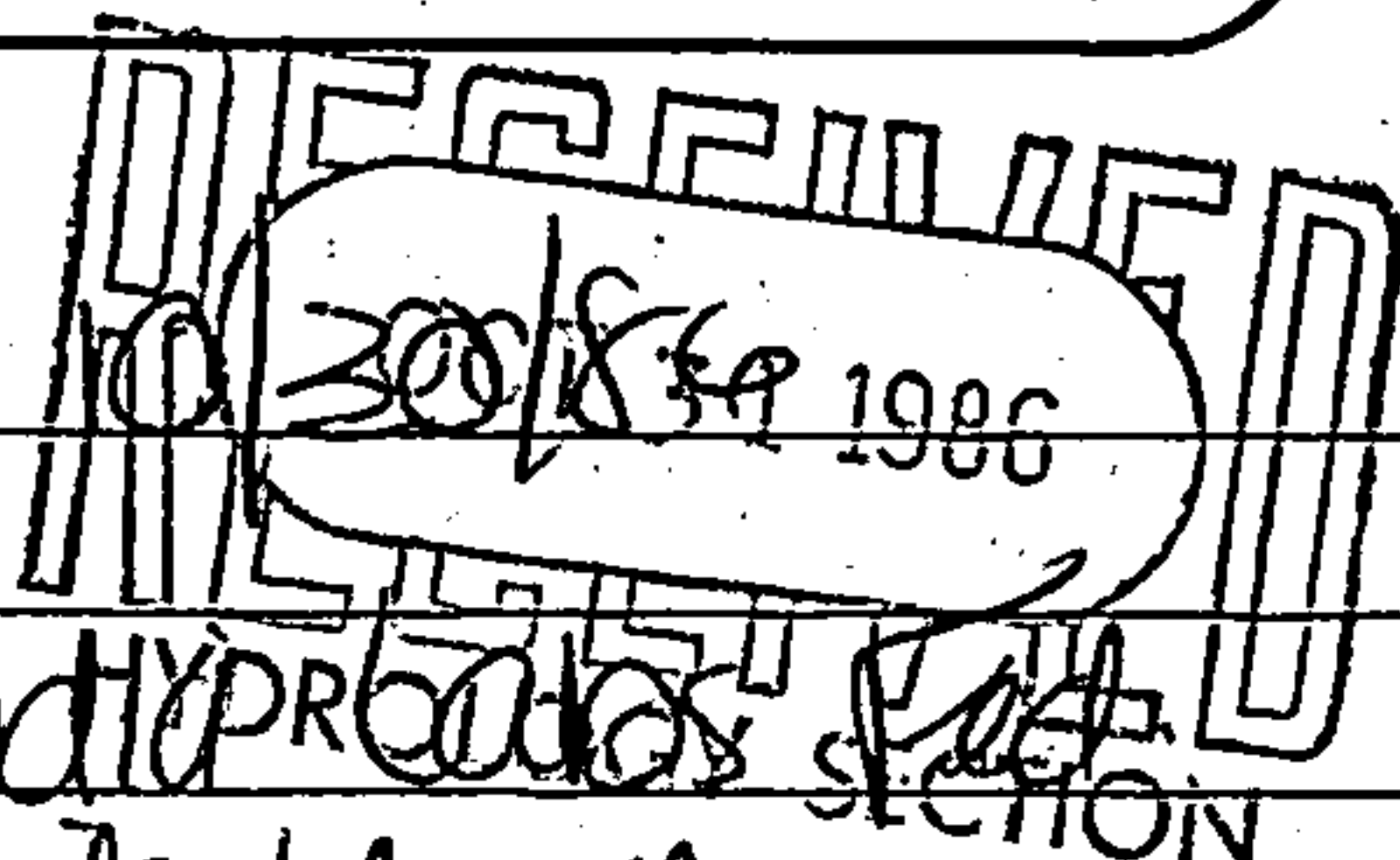
LETTER OF TRANSMITTAL

TO:

Public Works Dept
Hydrology

Attn: Barbara

DATE:



JOB NO.

RE:

Sandra P. ...
Credit Union

GENTLEMEN:

We are sending you ☒ ATTACHED ☐ UNDER SEPARATE COVER the following items:

☐ SHOP DRAWINGS ☐ CHANGE ORDER ☐ SPECIFICATIONS

☐ COPY OF LETTER ☐ PLANS

☒ PRINTS ☐ SAMPLES

COPIES DATE NO. DESCRIPTION

2 Grading & Drainage Plan including Site plan & detail sheet (3 sheets ea.)
1 Conference Recap
1 Info. Sheet

THESE ARE TRANSMITTED as checked below:

☒ FOR APPROVAL

☐ FOR YOUR USE

☐ AS REQUESTED

☐ FOR REVIEW AND COMMENT

☐ APPROVED AS SUBMITTED

☐ APPROVED AS NOTED

☐ RETURNED FOR CORRECTIONS

☐ RESUBMIT ☐ COPIES FOR APPROVAL

☐ SUBMIT ☐ COPIES FOR DISTRIBUTION

☐ RETURN ☐ CORRECTED PRINTS

☐ PRINTS RETURNED AFTER LOAN TO US

☐ FOR BIDS DUE ☐ 19 ☐

REMARKS:

COPY TO:

file

SIGNED:

Sandra P. ...

If enclosures are not as noted, kindly notify us at once.

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: A-71 DATE: 4/24/86 @ 2:00
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: Sandia Credit Union Building
STREET ADDRESS (IF KNOWN): _____
SUBDIVISION NAME: Tract B: Valle Encantada Addition

APPROVAL REQUESTED:

_____ PRELIMINARY PLAT	_____ FINAL PLAT
<u>X</u> SITE DEVELOPMENT PLAN	<u>X</u> BUILDING PERMIT
_____ OTHER	_____ ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>Jackie McDowell</u>	<u>Chavez - Grievs</u>
	<u>Billy Goolsby</u>	<u>City / Hydrology</u>

FINDINGS:

- No restrictions are placed on this site in regard to discharge rate because of the newly constructed concrete channel and the available storm sewer in Comanche.
- Discharge rate will need to be provided w/quantification.
- Any required construction within the channel R/W will require a separate permit from Design Section.
- An approved erosion control plan will need to be provided for the period of construction.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Billy G. Goolsby
TITLE: CE / Hydrology
DATE: 4/24/86

SIGNED: Jackie McDowell
TITLE: Planning Manager
DATE: 4/24/86

NOTE PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL