

CITY OF ALBUQUERQUE



April 19, 2006

Mr. Tucker Green, P.E.
PER SE ENGINEERING
2116 Lead Avenue SE
Albuquerque, NM 87106

Re: MARCO POLLO RESTAURANT

49880 **9900-Montgomery Blvd. NE**

Approval of Temporary Certificate of Occupancy (C.O.)

Engineer's Stamp dated 06/19/2005 (G-21/D31)

Certification dated 04/19/2006

P.O. Box 1293

Dear Tucker,

Albuquerque

Based upon the information provided in your submittal received 04/19/2006, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

New Mexico 87103

Upon completion of the deficiencies listed in your Certification, please resubmit an updated Certification for Permanent C.O.

www.cabq.gov

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: C.O. Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 12/2005)

PROJECT TITLE: **Marco Pollo Restaurant**

ZONE MAP/DRG. FILE: **G21**

DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A-1 of tracts A-1 & A-2 from the replat of Tract A of the Tannehill-Taylor Addition, Bernalillo County, New Mexico

CITY ADDRESS: 9880 Montgomery Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Per Se Engineering
ADDRESS: 2116 LEAD Ave. SE
CITY, STATE: Albuquerque, NM

CONTACT: Tucker Green
PHONE: 232-9394
ZIP CODE: 87106

OWNER: Mark Harden @ Comfort Foods
ADDRESS: 9900 Montgomery NE
CITY, STATE: Albuquerque NM

CONTACT: Mark Harden
PHONE: 323-9227
ZIP CODE: 87111

ARCHITECT: Mahlman & Miles
ADDRESS: 207 Broadway SE
CITY, STATE: _____

CONTACT: Christina Miles
PHONE: 247-9955
ZIP CODE: 87102

SURVEYOR: Clint Sherrill and Associates
ADDRESS: 730 San Mateo SE
CITY, STATE: Albuquerque NM

CONTACT: Mark Sherrill
PHONE: 256-7364
ZIP CODE: 87107

CONTRACTOR: Project Management Group _____
ADDRESS: 5220 2nd St NW _____
CITY, STATE: Albuquerque NM _____

CONTACT: Ray aagon _____
PHONE: _____
ZIP CODE: 87107 _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ APPROVAL
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) *REVISED*
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED? ☐ YES ☒ NO ☐ COPY PROVIDED

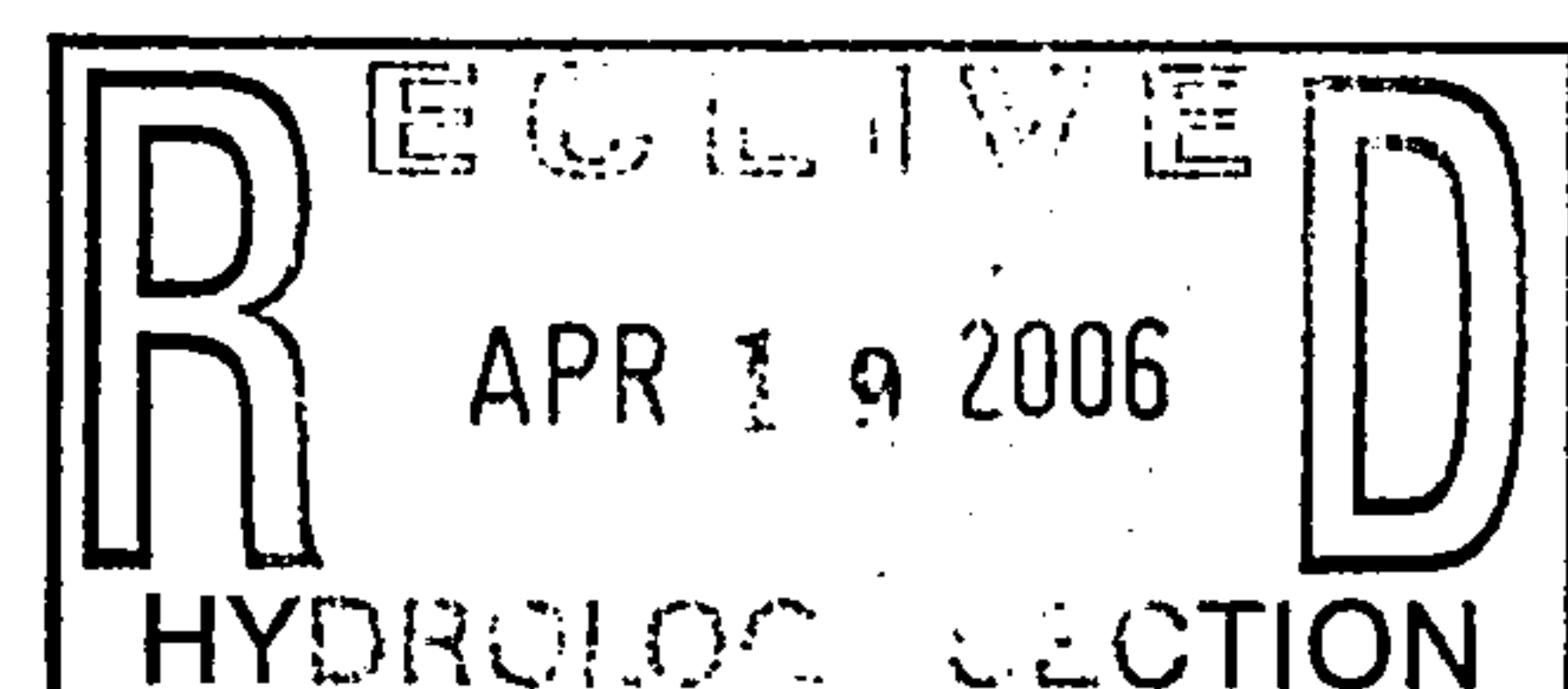
DATE SUBMITTED: April 19, 2006

BY: Tucker Green

Requests for approvals of Site Development Plans and/or Subdivision Flats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

MPoDrainTempCoInfoSht.lwp



Per Se Engineering

Drainage, Utilities, & Site Design

2116 Lead Ave. SE - Albuquerque NM 87106 - 505.232-9394 - TuckGreen@Netzero.com

DRAINAGE CERTIFICATION

I, TUCKER GREEN, NMPE.10,731, OF THE FIRM PER SE ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-9-05. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-19-06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE INFORMATION PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, WITH EXCEPTIONS AS NOTED BELOW. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY (C.O.).

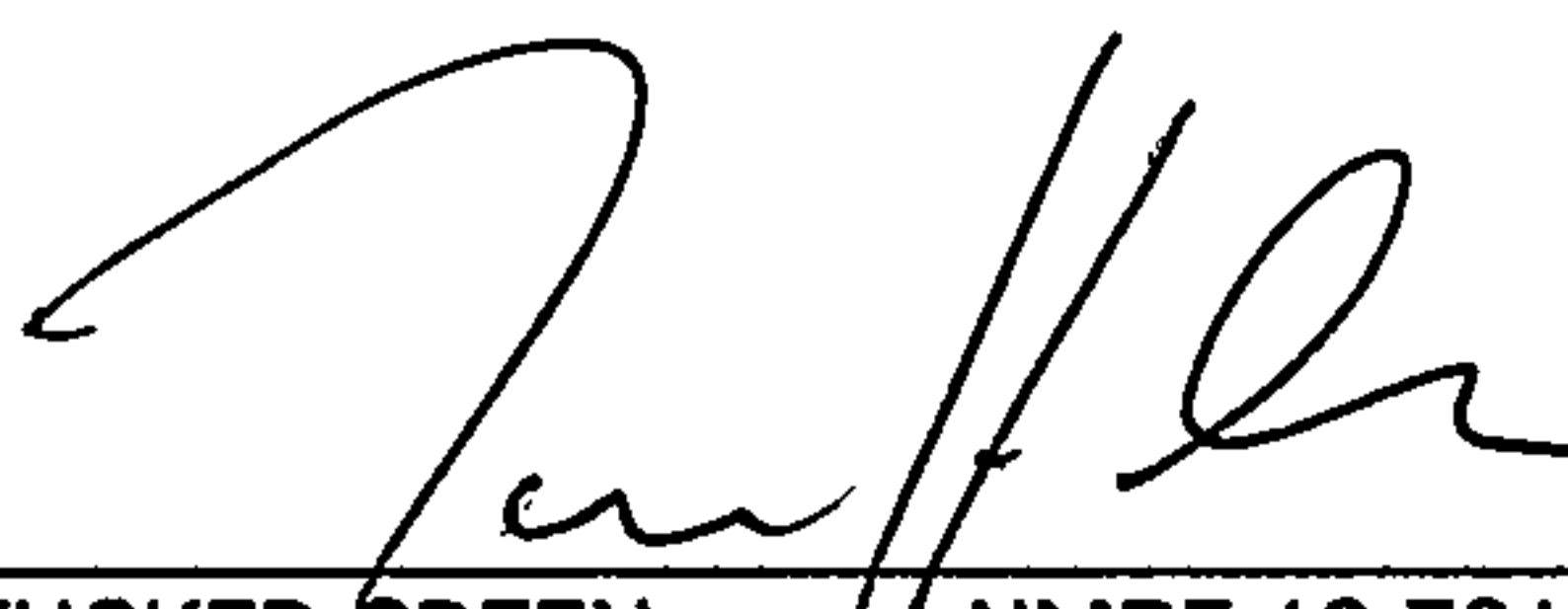
EXCEPTIONS:

- (1) THE AS-BUILT ELEVATIONS HAVE NOT BEEN SHOT YET. THE CONTRACTOR WILL GET THE CONSTRUCTION SURVEYORS, CLINT SHERRILL AND ASSOCIATES, TO SHOOT THE AS-BUILT ELEVATIONS. IN SUBMITTAL FOR PERMANENT C.O. I WILL SUBMIT A COPY OF THE APPROVED GRADING & DRAINAGE PLAN WITH AS-BUILT ELEVATIONS. I PERSONALLY VISITED THE SITE EARLIER THIS YEAR AFTER THE PAVING HAD BEEN COMPLETED, ON AN AFTERNOON WHEN A MIXTURE OF RAIN AND SNOW HAD FALLEN, AND VISUALLY OBSERVED DRAINAGE PATTERNS. THE OUTFALL CHANNEL HAD NOT YET BEEN CONSTRUCTED SO THE CONTRACTOR USED A SMALL PUMP TO GET WATER TO MONTGOMERY. THERE WERE A FEW MINOR "BIRDBATHS" BUT OVERALL THE SITE DRAINED WELL. THE OWNER WAS ONSITE AT THE TIME.
- (2) PART OF THE CONCRETE DRAINAGE CHANNEL LEADING TO THE EXISTING OUTFALL IN MONTGOMERY WAS DECREASED IN WIDTH. THIS WILL BE NOTED ON THE MARK-UPS/REVISED DRAWING TO BE SUBMITTED FOR PERMANENT CERTIFICATE OF OCCUPANCY. I DISCUSSED NARROWING THE CHANNEL WITH BRAD BINGHAM OF COA HYDROLOGY BEFORE AUTHORIZING THE CONTRACTOR TO MAKE THE CHANGES.
- (3) THE CONCRETE VALLEY GUTTER AT THE REAR OF THE PARKING SPACES NEAR SONIC (OFFSITE) WAS ELIMINATED. PER DISCUSSION WITH BRAD BINGHAM.
- (4) THE SIDEWALK NEXT TO THE BUILDING WAS NARROWED BY 2 FT (TO APX 9.5') TO ALLOW A 2' INCREASE IN DRIVING AISLE. THIS PRIMARILY TRAFFIC ISSUE WAS CLEARED WITH COA TRAFFIC.
- (5) THE CURB AND GUTTER AT THE WEST SIDE OF THE PARKING ISLAND SOUTH OF THE BUILDING WAS CHANGED TO HEADER CURB (NO GUTTER).

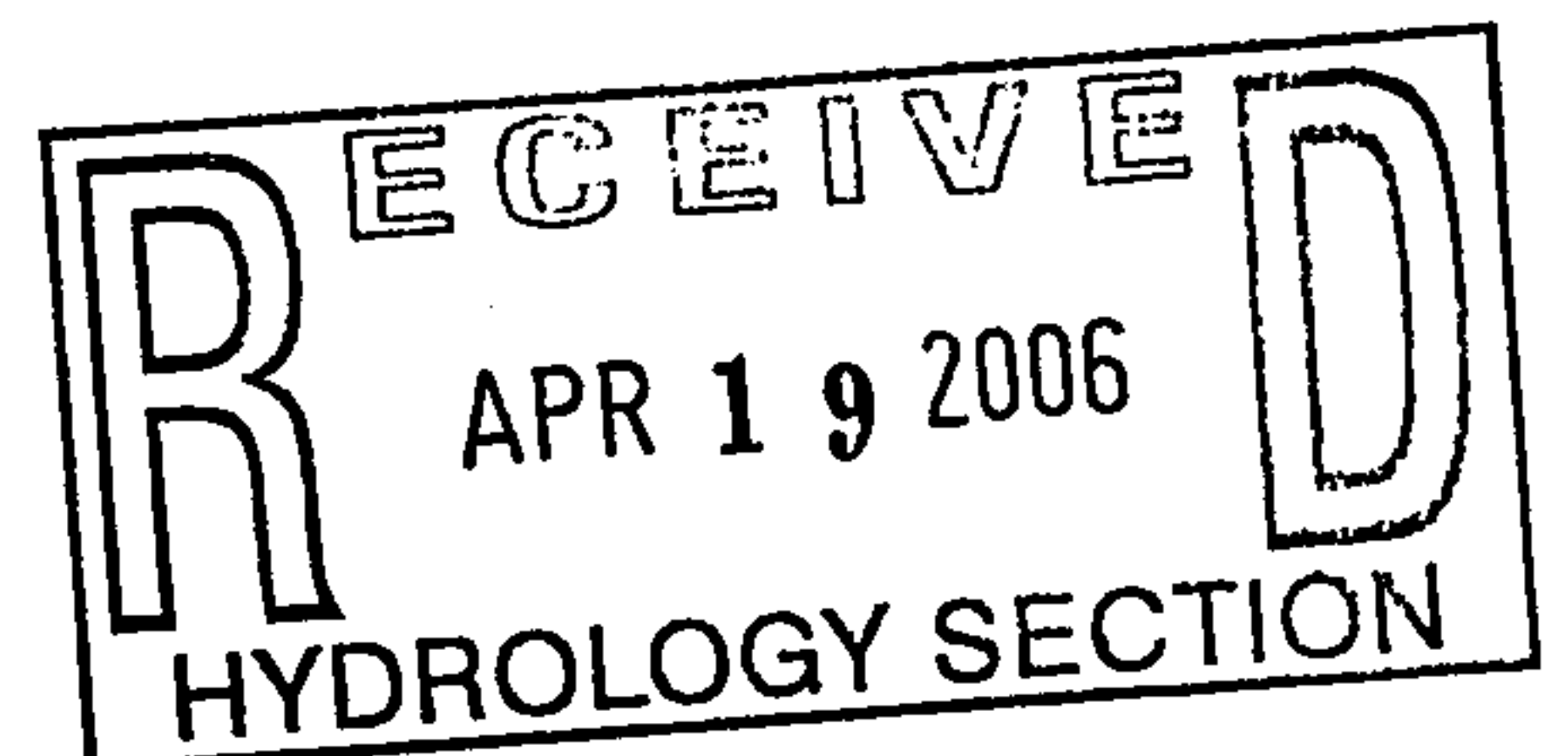
DEFICIENCIES/CORRECTIONS:

- (1) THE CONTRACTOR WILL HAVE THE PAVING SUBCONTRACTOR ATTEMPT TO ELIMINATE SEVERAL BIRDBATHS THAT HAVE BEEN MARKED WITH PAINT ON THE PAVING. THE EFFECT OF THIS WORK WILL BE NOTED AT APPLICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


TUCKER GREEN NMPE 10,731

4-19-06
DATE



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 19, 2006

Mr. Tucker Green, P.E.
PER SE ENGINEERING
2116 Lead Avenue SE
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for
MARCO POLLO RESTAURANT, [G-21 / D31]
9880 Montgomery Blvd. NE
Engineer's Stamp Dated 04/19/2006

Dear Mr. Green:

The TCL / Letter of Certification submitted on April 19, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 12/2005)

PROJECT TITLE: Marco Pollo Restaurant

ZONE MAP/DRG. FILE: G21

DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A-1 of tracts A-1 & A-2 from the replat of Tract A of the Tannehill-Taylor Addition, Bernalillo County, New Mexico

CITY ADDRESS: 9880 Montgomery Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Per Se Engineering
ADDRESS: 2116 LEAD Ave. SE
CITY, STATE: Albuquerque, NM

CONTACT: Tucker Green
PHONE: 232-9394
ZIP CODE: 87106 ✓

OWNER: Mark Harden @ Comfort Foods
ADDRESS: 9900 Montgomery NE
CITY, STATE: Albuquerque NM

CONTACT: Mark Harden
PHONE: 323-9227
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ARCHITECT: Mahlman & Miles
ADDRESS: 207 Broadway SE
CITY, STATE: _____

CONTACT: Christina Miles
PHONE: 247-9955
ZIP CODE: 87102

SURVEYOR: Clint Sherrill and Associates
ADDRESS: 730 San Mateo SE
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CONTACT: Mark Sherrill
PHONE: 256-7364
ZIP CODE: 87107

CONTRACTOR: Project Management Group
ADDRESS: 5220 2nd St NW
CITY, STATE: Albuquerque NM

CONTACT: Ray aagon
PHONE: _____
ZIP CODE: 87107

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- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) *REVISED*
- ☒ ENGINEERS CERTIFICATION (TCL)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED? ☐ YES ☒ NO ☐ COPY PROVIDED

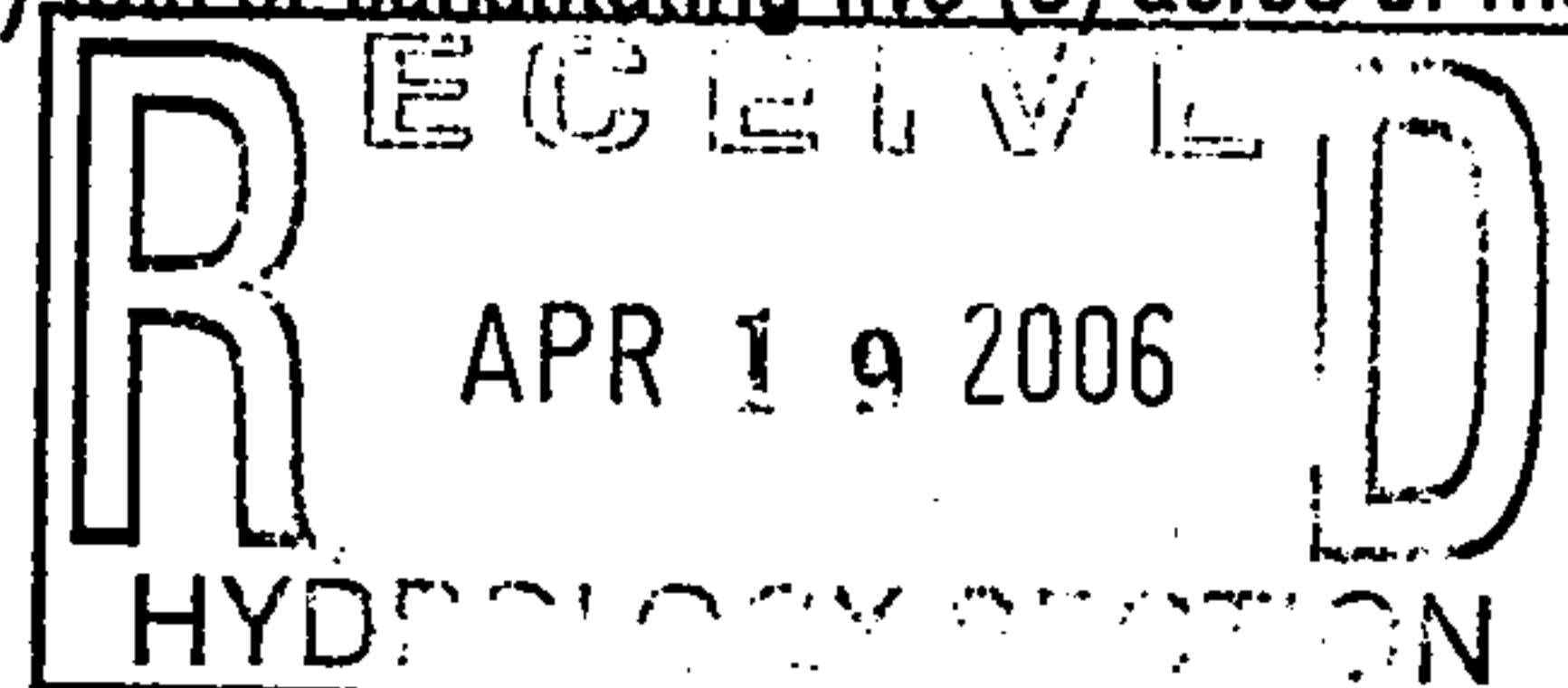
DATE SUBMITTED: April 19, 2006

BY: Tucker Green

Requests for approvals of Site Development Plans and/or Subdivision Flats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

MPoTclCoInfoSht-TCL.lwp



Per Se Engineering

Drainage, Utilities, & Site Design

2116 Lead Ave. SE - Albuquerque NM 87106 - 505.232-9394 - TuckGreen@Netzero.com

TRAFFIC CERTIFICATION

I, TUCKER GREEN, NMPE.10,731, OF THE FIRM PER SE ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN DATED 7-26-05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TUCKER GREEN OF THE FIRM PER SE ENGINEERING.

7-29-05 TJB

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-19-06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE INFORMATION PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, WITH EXCEPTIONS AS NOTED BELOW. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (C.O.).

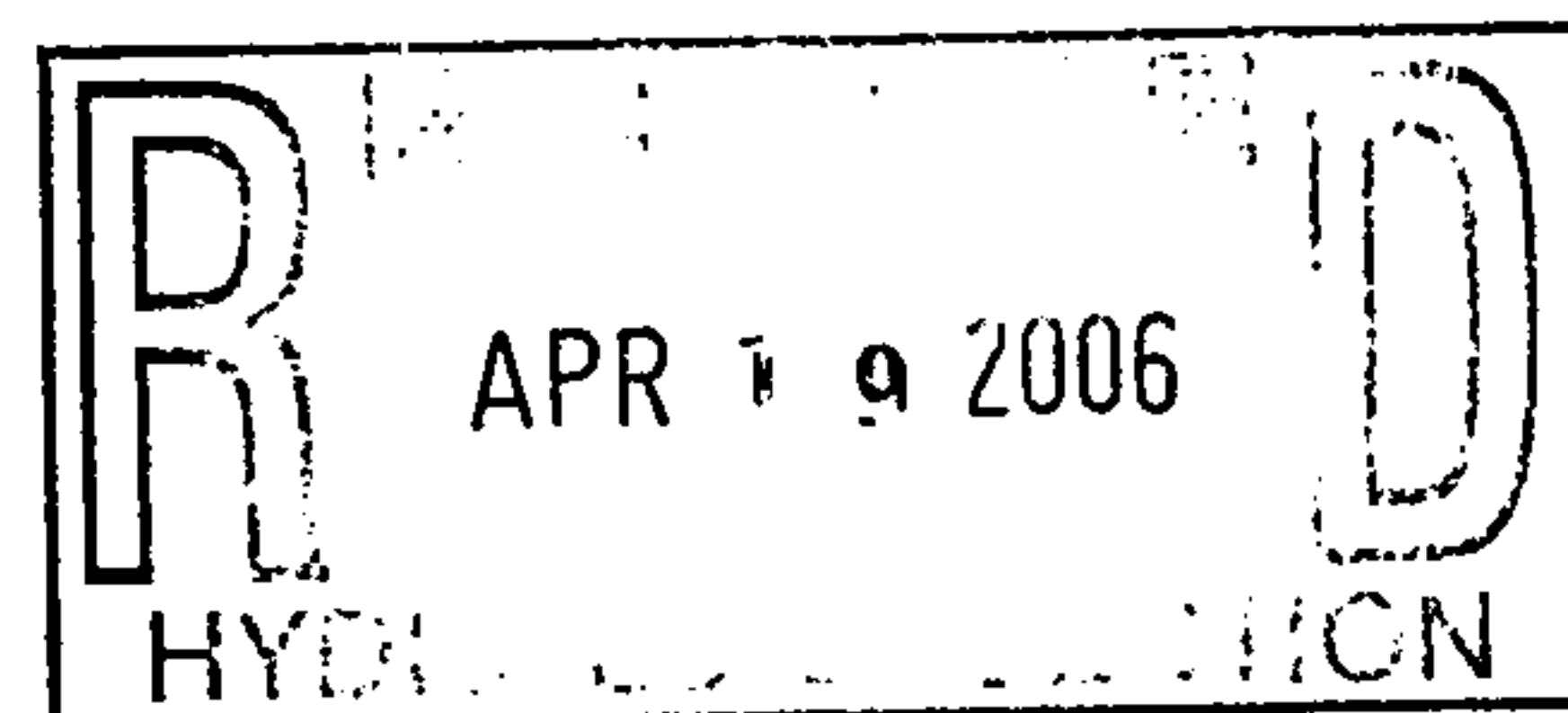
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[Signature]

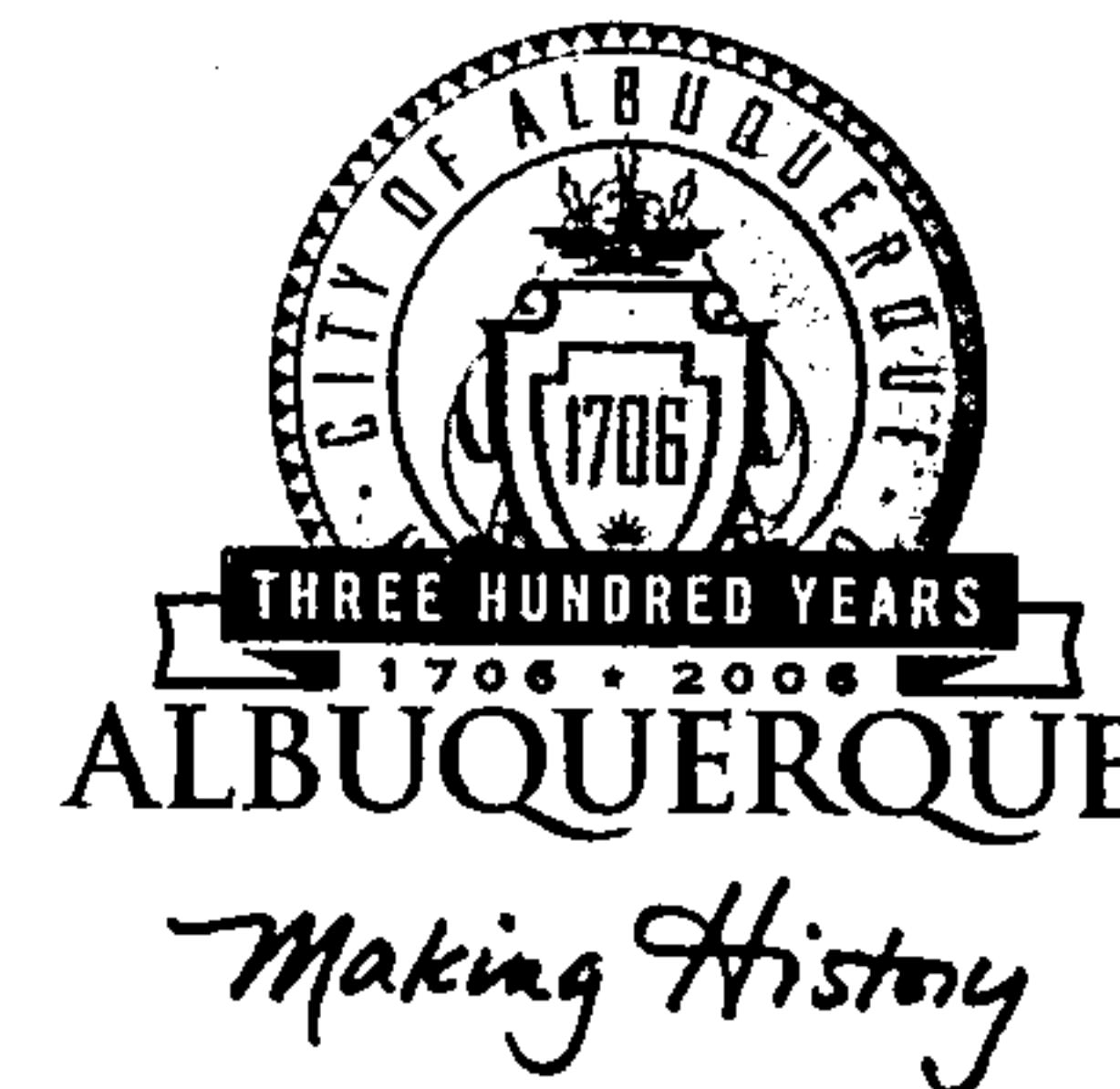
TUCKER GREEN NMPE 10,731

4-19-06

DATE



CITY OF ALBUQUERQUE



July 29, 2005

Tucker H. Green, R.A.
Per Se Engineering
2116 Lead Ave. SE
Albuquerque, NM 87106

**Re: Marco Pollo Restaurant, 9900 Montgomery Blvd. NE
Traffic Circulation Layout - Architect's Stamp dated 7-26-05 (G21-D31)**

Dear Mr. Green,

The TCL submittal received 7-26-05 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan shall be inserted into each set of the building permit plans. Please keep the original to be used for final C.O. certification of the site required by Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Planning Dept.
Development and Building Services

cc: file

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: **Marco Pollo Restaurant**

ZONE MAP/DRG. FILE: **G21 / D31**

DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A-1 of tracts A-1 & A-2 from the replat of Tract A of the Tannehill-Taylor Addition, Bernalillo County, New Mexico

CITY ADDRESS: 9900 Montgomery Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Per Se Engineering
ADDRESS: 2116 LEAD Ave. SE
CITY, STATE: Albuquerque, NM

CONTACT: Tucker Green
PHONE: 232-9394
ZIP CODE: 87106

OWNER: Mark Harden @ Comfort Foods
ADDRESS: 9900 Montgopmery NE
CITY, STATE: Albuquerque NM

CONTACT: Mark Harden
PHONE: 323-9227
ZIP CODE: 87111

ARCHITECT: Mahlman & Miles
ADDRESS: 207 Broadway SE
CITY, STATE: _____

CONTACT: Christina Miles
PHONE: 247-9955
ZIP CODE: 87102

SURVEYOR: Wayjohn Surveying
ADDRESS: 330 Louisiana NE
CITY, STATE: Albuquerque NM

CONTACT: Tim
PHONE: 255-2052
ZIP CODE: 87108

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

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- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL) *REVISED*
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ OTHER

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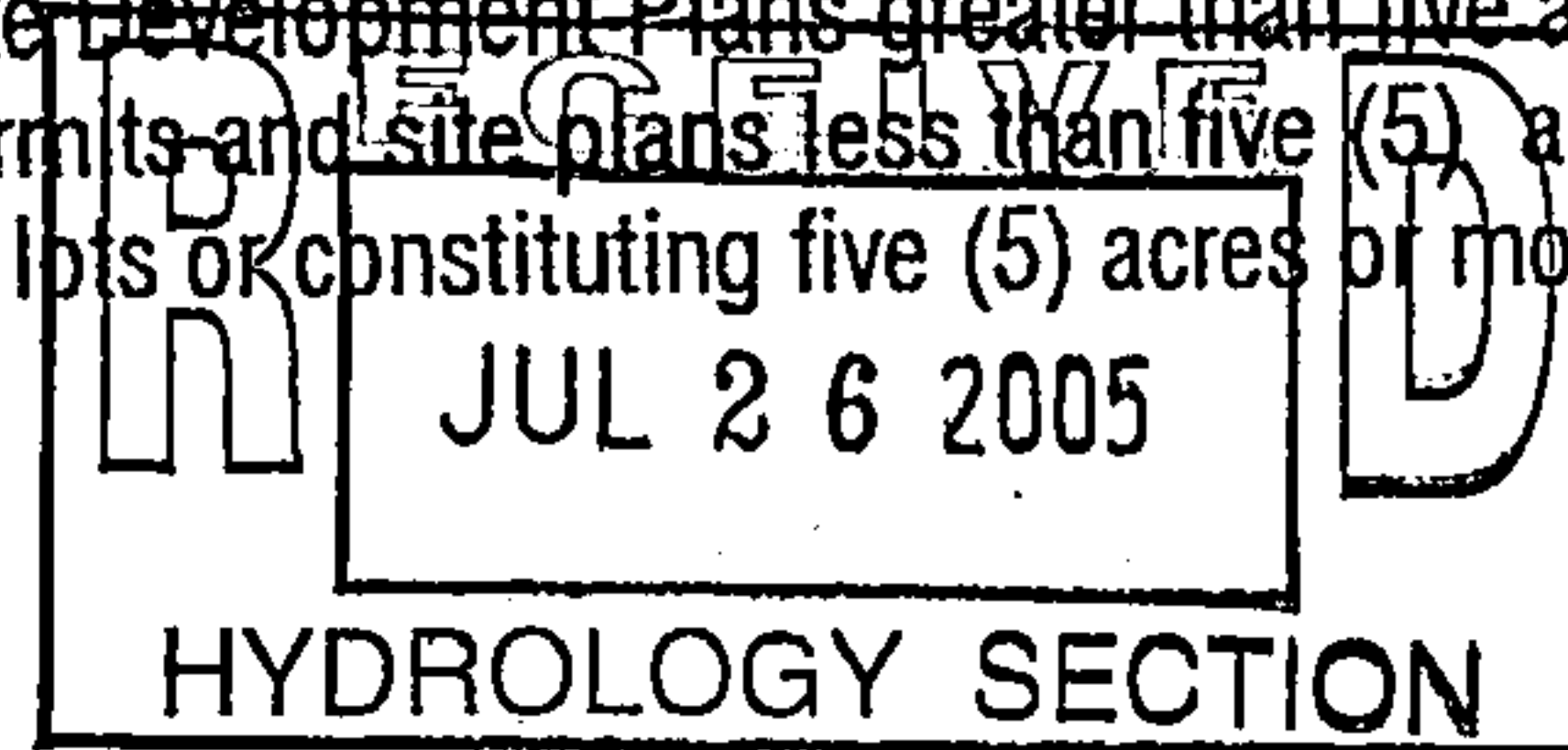
WAS A PRE-DESIGN CONFERENCE ATTENDED? ☐ YES ☒ NO ☐ COPY PROVIDED

DATE SUBMITTED: July 26, 2005

BY: Tucker Green

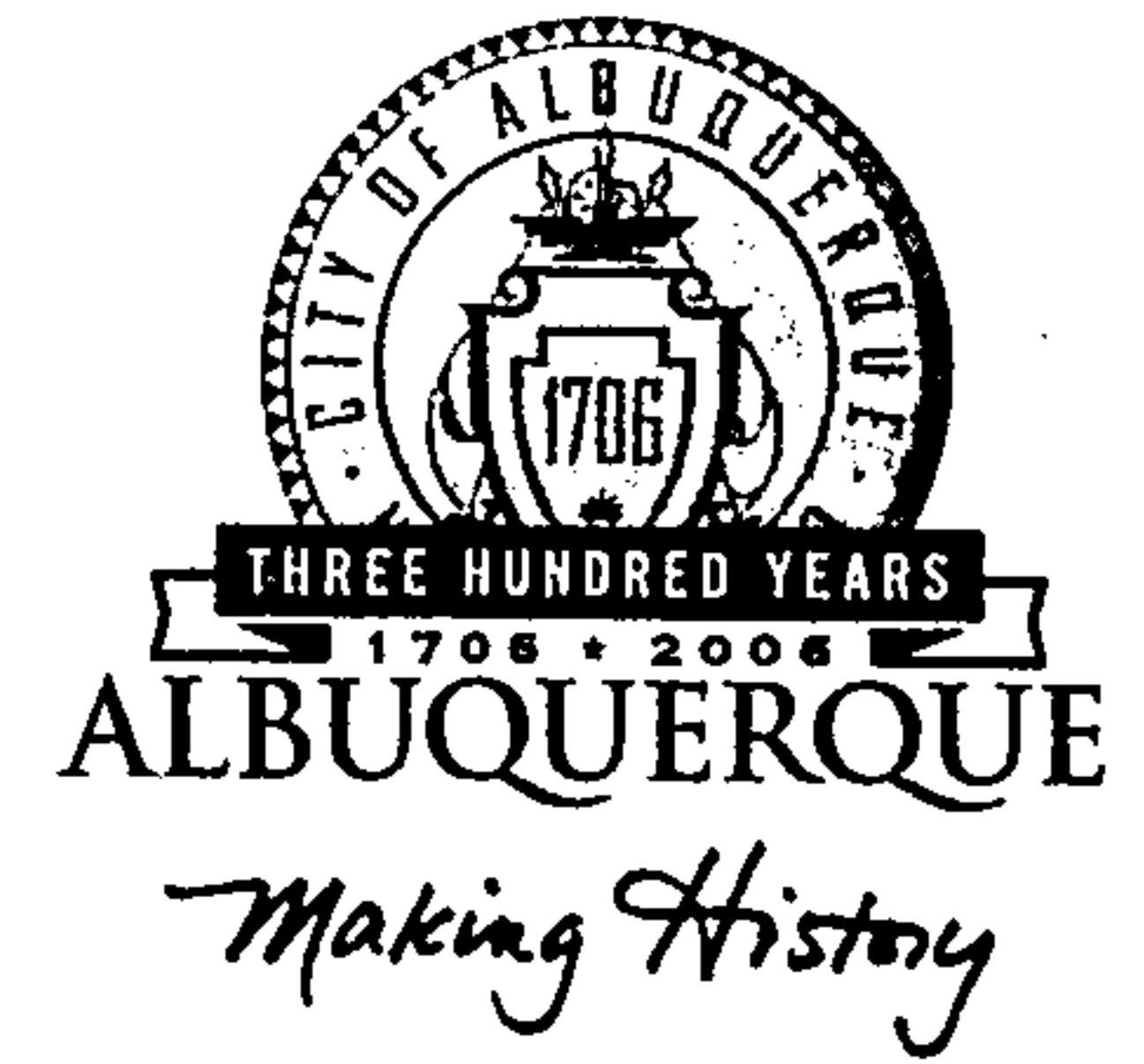
Requests for approvals of Site Development Plans and/or Subdivision Flats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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APPROVED

CITY OF ALBUQUERQUE



June 30, 2005

Tucker H. Green
Per Se Engineering
2116 Lead Ave. SE
Albuquerque, NM 87106

**Re: Marco Pollo Restaurant, 9900 Montgomery Blvd. NE
Drainage & Grading Plan – Engineer's Stamp dated 6-9-05 (G21-D31)**

Dear Mr. Tucker,

Based upon the information provided in your submittal dated 6-9-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Additionally, prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

P.O. Box 1293

If you have any questions, you can contact me at 924-3990.

Albuquerque

Sincerely,

New Mexico 87103

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

www.cabq.gov

cc: file

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: **Marco Pollo Restaurant**

ZONE MAP/DRG. FILE: **G21/D31**

DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A-1 of tracts A-1 & A-2 from the replat of Tract A of the Tannehill-Taylor Addition, Bernalillo County, New Mexico

CITY ADDRESS: 9900 Montgomery Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Per Se Engineering
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CONTACT: Tucker Green
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ZIP CODE: 87106

OWNER: Mark Harden @ Comfort Foods
ADDRESS: 9900 Montgomery NE
CITY, STATE: Albuquerque NM

CONTACT: Mark Harden
PHONE: 323-9227
ZIP CODE: 87111

ARCHITECT: Mahlman & Miles
ADDRESS: ~~207~~ Broadway SE
CITY, STATE: ~~ALBQ~~ **ALBQ NM**

CONTACT: Christina Miles
PHONE: 247-9955
ZIP CODE: 87102

SURVEYOR: Wayjohn Surveying
ADDRESS: 330 Louisiana NE
CITY, STATE: Albuquerque NM

CONTACT: Tim
PHONE: 255-2052
ZIP CODE: 87108

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
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- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
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fee paid

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- ☐ WORK ORDER APPROVAL
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WAS A PRE-DESIGN CONFERENCE ATTENDED? ☐ YES ☒ NO ☐ COPY PROVIDED

DATE SUBMITTED: June 9, 2005

BY: Tucker Green

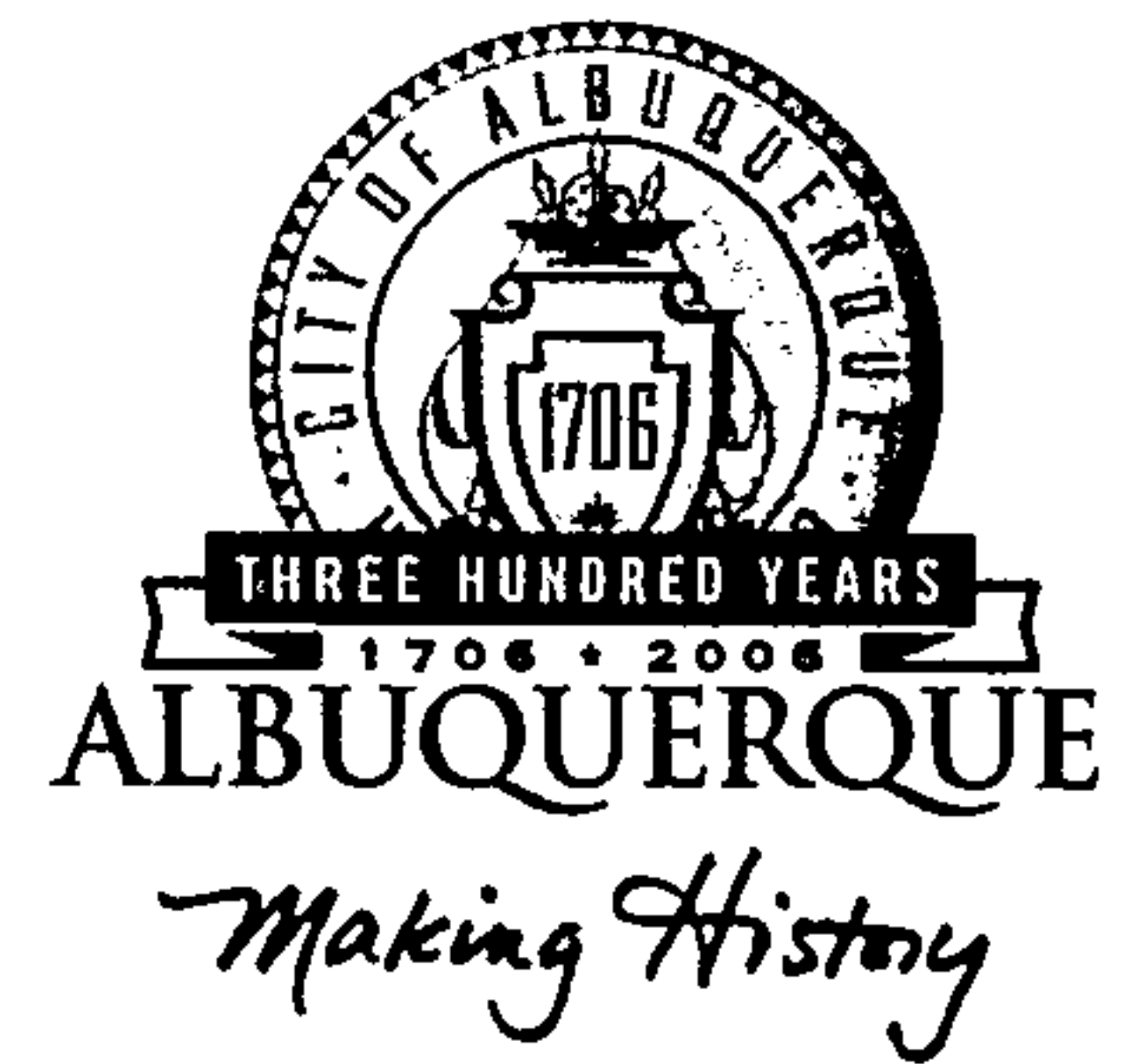
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~~Approved~~ ~~Decker~~ ~~24~~

APPROVED

CITY OF ALBUQUERQUE



June 20, 2005

Tucker H. Green
Per Se Engineering
2116 Lead Ave. SE
Albuquerque, NM 87106

**Re: Marco Pollo Restaurant, 9900 Montgomery Blvd. NE
Traffic Circulation Layout – Engineer's Stamp dated 6-9-05 (G21-D31)**

Dear Mr. Green,

Based upon the information provided in your submittal received 6-9-05, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- Call out the width of the existing driveway on Montgomery Boulevard.
- Show on plan the median opening on Montgomery Boulevard.
- Call out the width of the proposed aisle.
- Provide parking calculations.
- Call out the angle for skewed parking spaces.
- Call out pavement marking for all compact parking spaces. Each space shall be marked "COMPACT".
- Provide two copies of the traffic circulation layout for the next submittal.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

Cc: file

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: Marco Pollo Restaurant

ZONE MAP/DRG. FILE: G21/D31

DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract A-1 of tracts A-1 & A-2 from the replat of Tract A of the Tannehill-Taylor Addition, Bernalillo County, New Mexico

CITY ADDRESS: 9900 Montgomery Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Per Se Engineering
ADDRESS: 2116 LEAD Ave. SE
CITY, STATE: Albuquerque, NM

CONTACT: Tucker Green
PHONE: 232-9394
ZIP CODE: 87106

OWNER: Mark Harden @ Comfort Foods
ADDRESS: 9900 Montgopmery NE
CITY, STATE Albuquerque NM

CONTACT: Mark Harden
PHONE: 323-9227
ZIP CODE: 87111

ARCHITECT: Mahlman & Miles
ADDRESS: 207 Broadway SE
CITY, STATE: ALBU NM

CONTACT: Christina Miles
PHONE: 247-9955
ZIP CODE: 87102

SURVEYOR: Wayjohn Surveying
ADDRESS: 330 Louisiana NE
CITY, STATE: Albuquerque NM

CONTACT: Tim
PHONE: 255-2052
ZIP CODE: 87108

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ APPROVAL
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT
- ☐ SECTOR PLAN APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED? ___ YES ___X___ NO ___ COPY PROVIDED

DATE SUBMITTED: June 9, 2005

BY: Tucker Green

Requests for approvals of Site Development Plans and/or Subdivision Flats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Rec'd
June 9, 2005

- CALL EXIST. DRIVEWAY WIDTH
- SHOW MEDIAN OPENING ON MENTG.
- AISLE WIDTH
- PARKING CALCS
- ANGLE/WIDTH/RADII
- TWO COPIES
- PAVEMENT MARKINGS FOR COMPACT SPACES