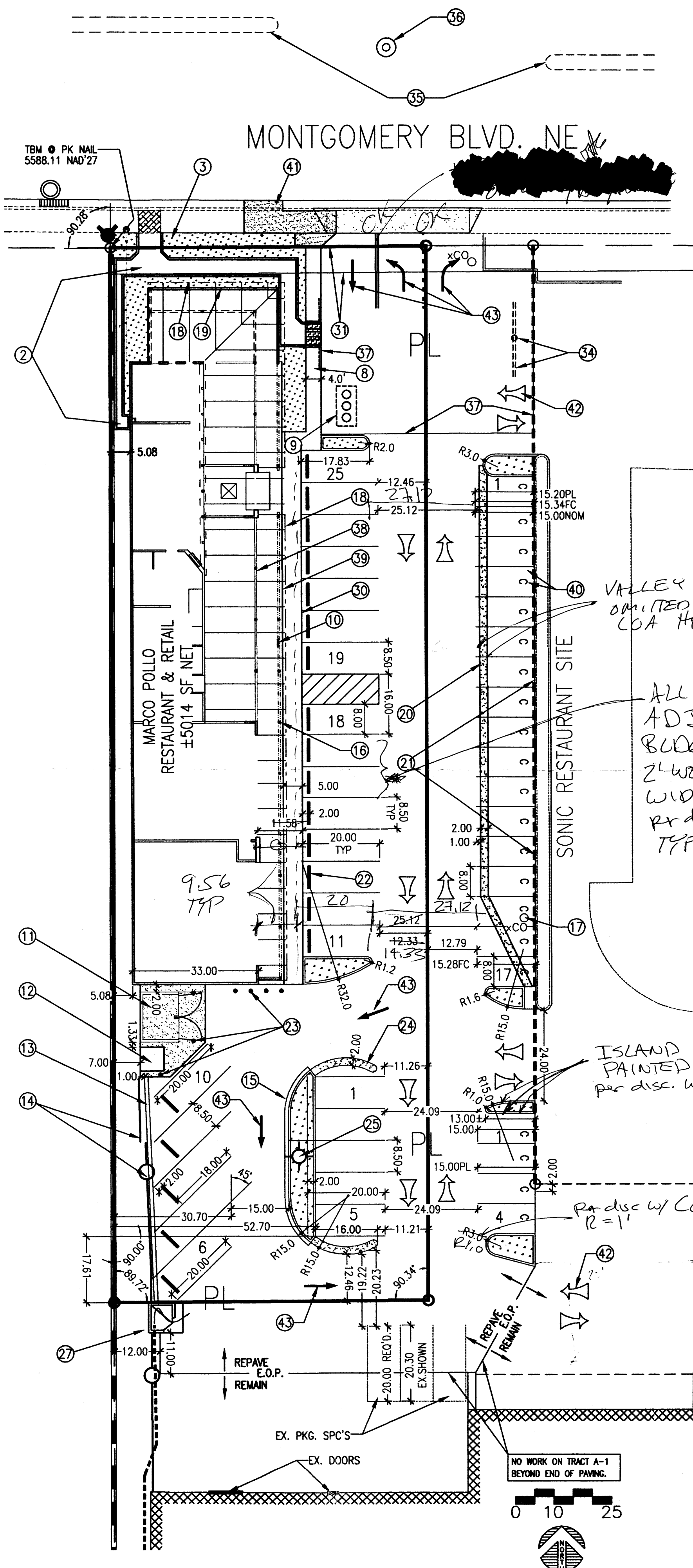
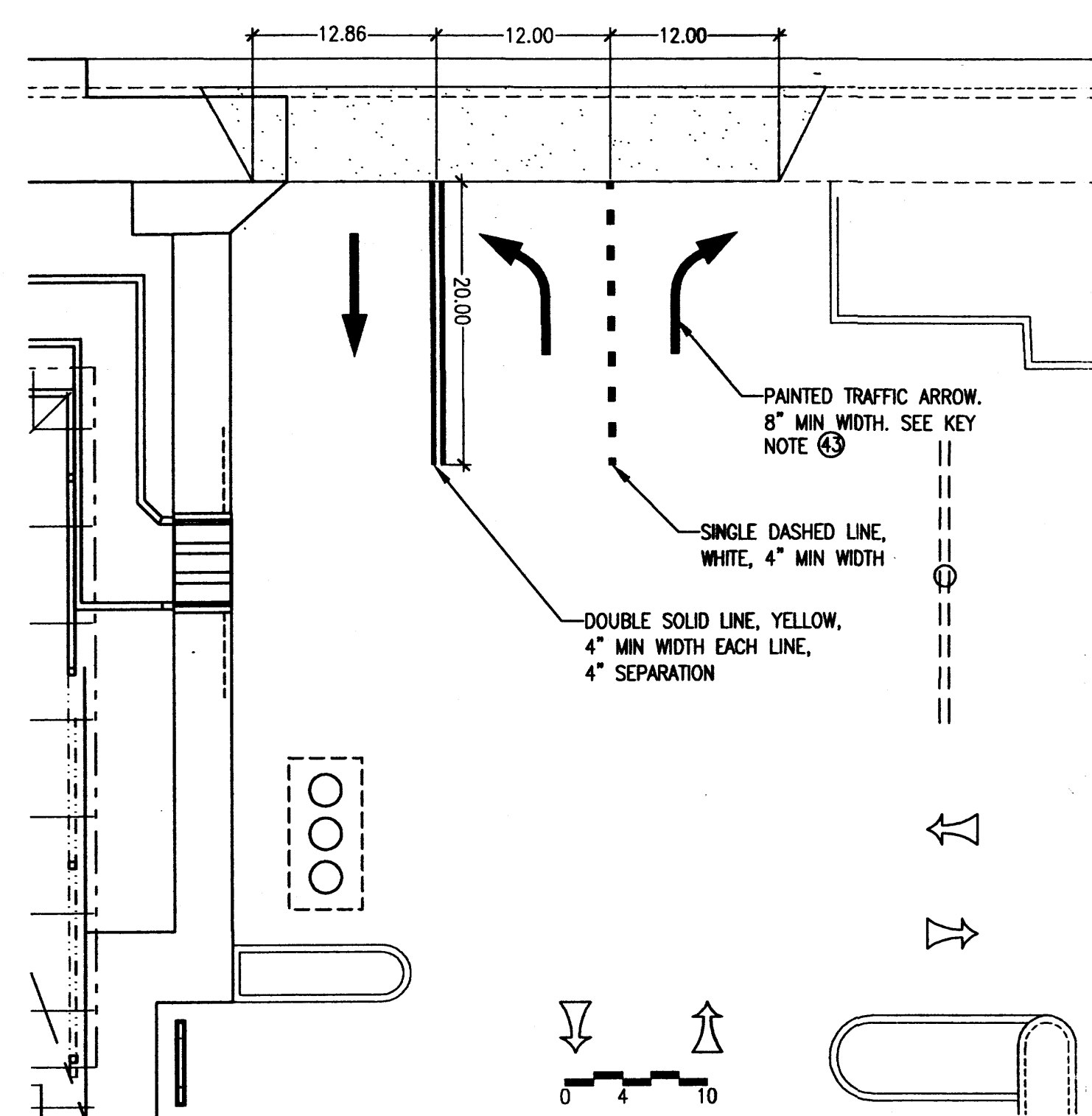
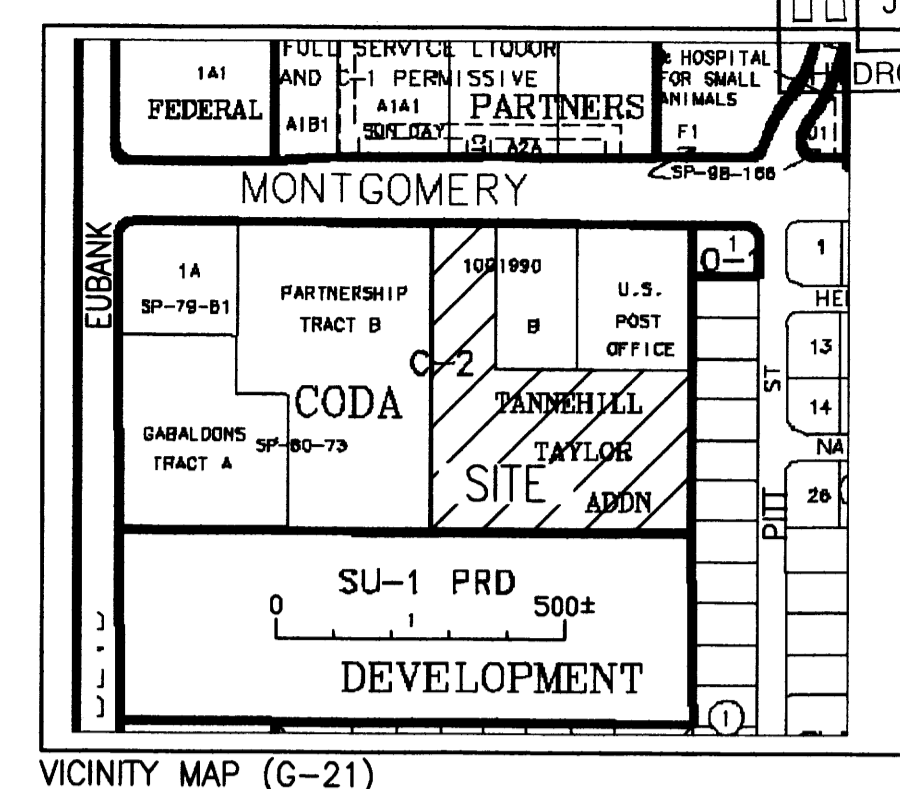


4/19/06
Ruben is a Key
w/ 1-section
of S/W repow.
Aup





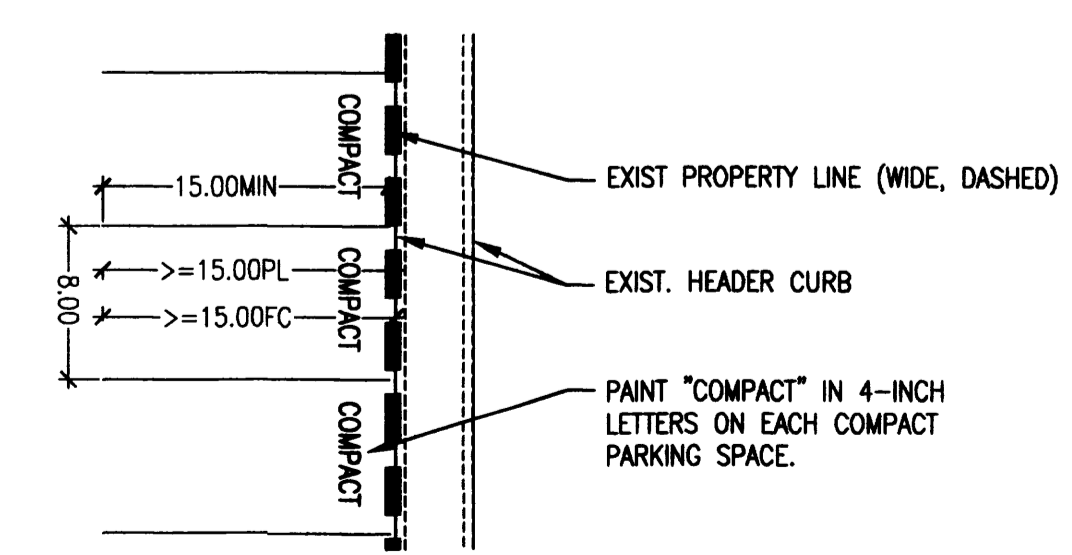
GENERAL NOTES for TCL (TRAFFIC CIRCULATION LAYOUT)

1. ALL WORK SHOWN ON THESE PLANS TO BE CONSTRUCTED IN ACCORD WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, UPDATE NO. 7, 2003, EXCEPT AS OTHERWISE NOTED.
2. WORK IN THE ARTERIAL RIGHT OF WAY FOR MONTGOMERY WILL REQUIRE SPECIFIC PERMITS AND CONDITIONS, INCLUDING 24-HOUR CONSTRUCTION UNLESS SPECIFICALLY EXEMPTED IN WRITING.
3. CONTRACTOR'S GOOD SENSE: THE CONTRACTOR IS EXPECTED TO USE HIS GOOD SENSE, EXPERIENCE, AND JUDGMENT.
4. IF UNUSUAL, CONFLICTING, OR APPARENTLY ODD CIRCUMSTANCES ARISE, THE CONTRACTOR IS TO CONSULT WITH THE ENGINEER OR ARCHITECT FOR A RESOLUTION BEFORE PROCEEDING WITH FINAL LAYOUT OR CONSTRUCTION.
5. THERE MAY BE UTILITIES AND OTHER ITEMS THAT ARE NOT SHOWN, OR THAT ARE SHOWN INCORRECTLY. FIELD VERIFY. NEW MEXICO ONE-CALL: 260-1990
6. ALL NEW CURBS ON SITE ARE TO BE CONCRETE HEADER CURBS 6" HIGH UNLESS OTHERWISE SHOWN.
7. CURBS AT LANDSCAPE ISLANDS NEXT TO SIDEWALKS ARE RAISED ABOVE THE SIDEWALK, WITH BOTTOM OF CURB ELEVATION = TOP OF SIDEWALK UNLESS OTHERWISE SHOWN.
8. ENDS OF CURBS AT PARKING AREAS TO BE APX 2.0 FROM TRAFFIC ISLE END OF PARKING SPACES.
10. ALL UNDERGROUND UTILITIES - INCLUDING IRRIGATION LINES - TO BE CONSTRUCTED BEFORE PAVING, SIDEWALKS, OR DRAINAGE CHANNELS ARE CONSTRUCTED.
11. SITE LAYOUT IS PARALLEL TO THE WEST PROPERTY LINE, STARTING AT THE NORTHWEST CORNER. THE NORTH AND WEST PROPERTY LINES DO NOT INTERSECT AT 90°.

KEY NOTES:

SOME NOTES NOT NEEDED THIS SHEET NOT SHOWN THIS SHEET

2. NEW CONCRETE DRAINAGE CHANNEL
3. NEW LANDSCAPING PER LANDSCAPE PLAN.
8. HC ACCESSIBLE ROUTE
9. BELOW-GROUND GREASE SEPARATOR, SEE SHT C4 & PLUMBING PLANS.
10. PIPE BIKE RACK, SINGLE INVERTED "U" TO HOLD 2 BIKES.
11. DUMPSTER ENCLOSURE PER ARCHITECTURAL.
12. ELECTRICAL TRANSFORMER; RAISE ABOVE GRADE SHOWN. SEE MECHANICAL PLANS
13. RECTANGULAR RPCC CURB PER DETAIL SHT C3
14. EXISTING CHAIN LINK FENCE TO REMAIN SOUTH OF TRANSFORMER PAD.
15. MEDIAN CURB & GUTTER. COA DWG 2415-B.
16. HANDICAP / VAN ACCESSIBLE SIGN MEETIN ANSI A117.1, MOUNTED ON POST.
17. ADJUST SAS CLEANOUT TO NEW GRADE AS REQUIRED. USE TRAFFIC RATED PIPE AND BRASS CAP W/ RECESSED SLOT OR NUT.
18. ROOF OVERHANG AT PORCH
19. EDGE OF PORCH FLOOR / FOUNDATION
20. CONCRETE VALLEY GUTTER PER DETAIL SHEET C3
21. NEW ASPHALT TO BE TO 4" (0.33) BELOW TOP OF EXISTING CURB AT EXISTING PLANTER. DO NOT PAVE TO 6" BELOW.
22. CONCRETE PARKING BUMPER, TYPICAL WHERE SHOWN.
23. STATIONARY BOLLARD PER DWG 2250
24. BUILD WITH INSIDE RADIUS AS SHOWN.
25. RELOCATE LIGHT POLE & LUMIERE. SEE ARCHITECTURAL
26. NOT USED
27. TOP OF EXISTING SLOPE PAVING
28. CUT OFF ± 52 LF 12" STEEL DRAIN PIPE. (CUT OFF PORTION NOT SHOWN) BUILD CONCRETE OUTLET STRUCTURE WITH FLOW PATH SHOWN
30. TA=TC AT RESTAURANT PARKING SPACES
31. 7" PUBLIC UTILITY EASEMENT
33. 2-WAY CLEAN-OUT TO GRADE, TYP
34. EXIST. OVERHEAD BILLBOARD ON CENTER POST
35. APX. LOCATION EXIST. MEDIAN OPENING W/ TURN BAYS EASTBOUND AND WESTBOUND. (APX. FIELD MEASUREMENTS)
36. EXIST. SAS MANHOLE, APX. LOCATION
37. ACCESS EASEMENT - 55' EW x 50' NS (NOM)
38. FACE OF BUILDING = BNACK OF SIDEWALK
39. JOINT LINE IN SIDEWALK
40. COMPACT PARKING SPACE, TYP. PER DETAIL THIS SHEET
41. NEW CONCRETE (NEEDED FOR UTILITY CONNECTIONS)
42. CONCEPTUAL TRAFFIC CIRCULATION ARROW - FOR INFORMATION ONLY
43. ACTUAL, TO-BE-CONSTRUCTED, TRAFFIC CONTROL ARROW, PER MUTCD STANDARDS



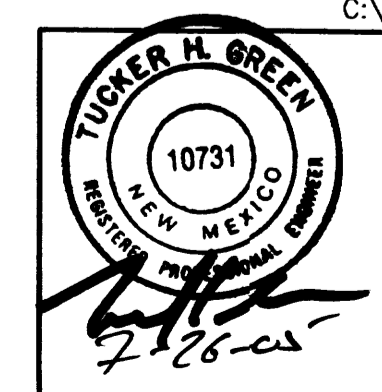
COMPACT PARKING SPACE NTS

PARKING SPACES REQUIRED

ZONING DATA	
APPLICABLE CODE: ALBUQUERQUE COMPREHENSIVE ZONING CODE	
ZONING: C-2 COMMUNITY COMMERCIAL	
PARKING CRITERIA FROM ZONING CODE:	
RETAIL OR OFFICE:	1 SPACE / 200 SF FOR FIRST 15,000 SF
	1 SPACE / 250 SF FOR NEXT 45,000 SF
RESTAURANT:	1 SPACE / 4 SEATS
PARKING REQUIRED FOR PROPOSED NEW BUILDING:	
NEW RETAIL:	1173 SF NET LEASEABLE / 200 = 6 SPACES
(LEASE SPACE #1)	
RESTAURANT:	80 SEATS / 4 = 20 SPACES
	SUBTOTAL 26 SPACES
	MINUS 10% FOR BUS ROUTE = 2 SPACES
	TOTAL REQ'D PARKING = 24 SPACES
	ACTUAL PARKING PROVIDED = 25 SPACES
HANDICAPPED PARKING REQUIRED FOR PROPOSED NEW BUILDING:	
VAN ACCESSIBLE PARKING:	REQUIRED: 1 SPACE
	PROVIDED: 1 SPACE

TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature] Date: 7/27/05

PROJECT BENCH MARK:
PK NAIL AT NORTHWEST PROPERTY CORNER OF THE SITE, ELEVATION 5588.11, NAD 1927

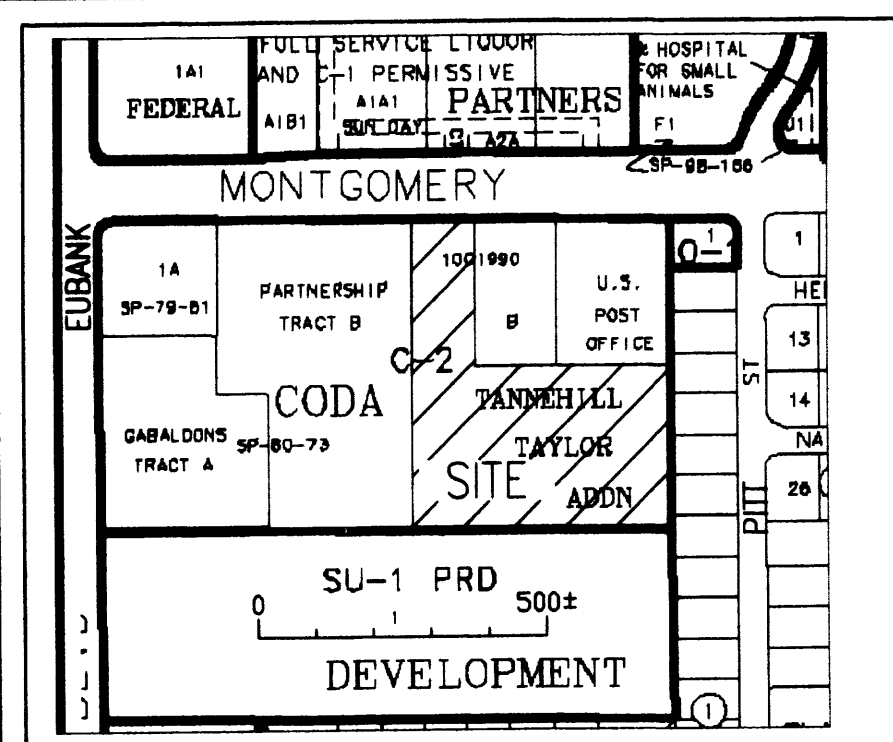


DATE: 07/26/05 TIME: 15:49 T. GREEN

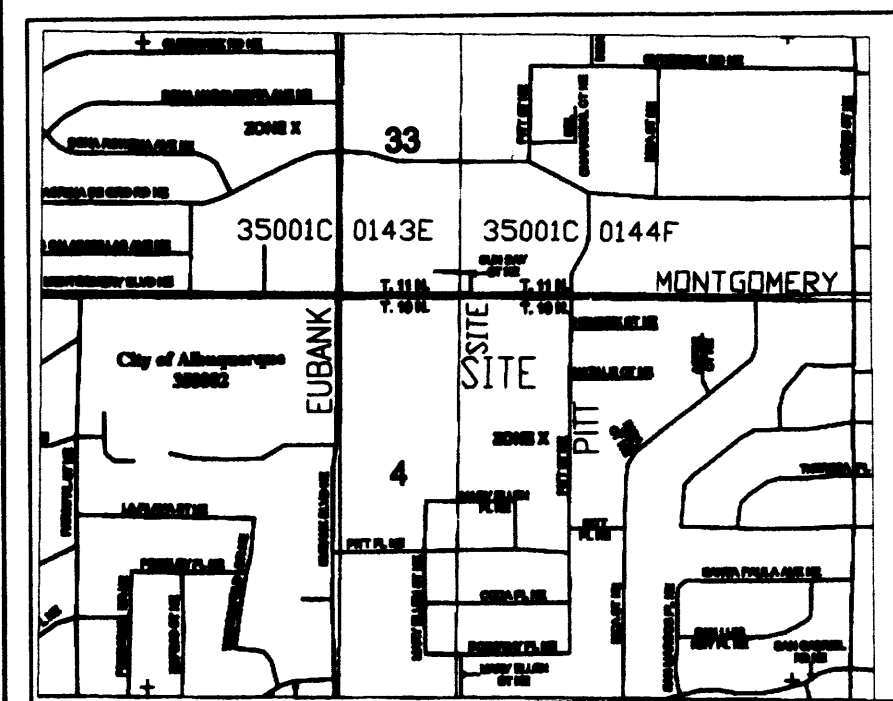
MARCO POLLO RESTAURANT
9900 MONTGOMERY NE, ALBUQUERQUE, NM

REVISED
TRAFFIC CIRCULATION & PARKING LAYOUT
PER SE ENGINEERING
Drainage, Utilities, and Site Design
2116 Lead Ave. SE Albuquerque NM, 87106
(505) 232-9394

SHEET
C5 OF



VICINITY MAP (G-21)



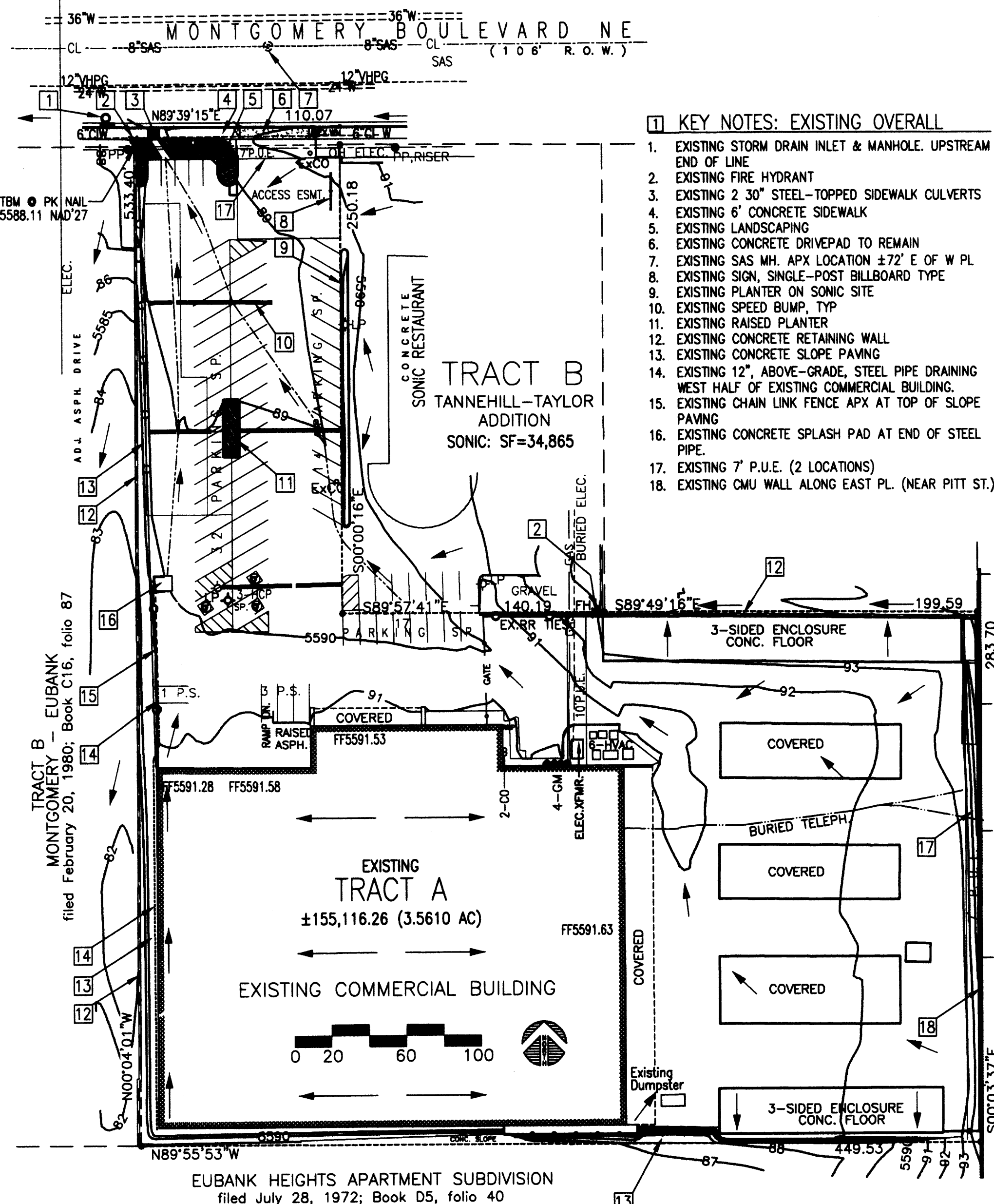
FLOOD ZONE MAP-NO SCALE: 35001C0143E & 0144F

LEGEND

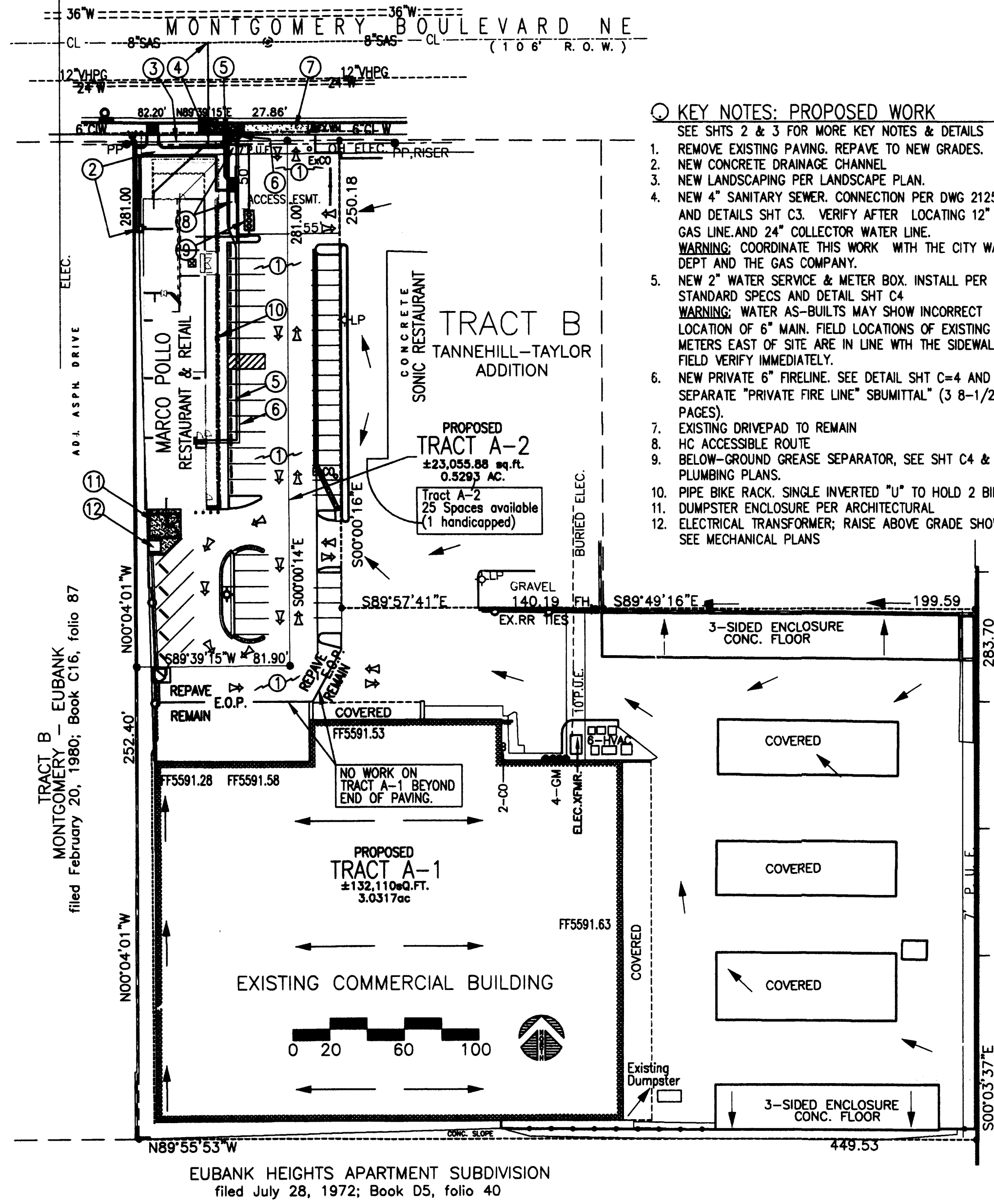
DASHED ITEMS EXISTING OR HIDDEN

- BW BOTTOM OF WALL
- BSW BACK OF SIDEWALK
- CO SEWER CLEANOUT
- E, EX EXISTING: ELECTRICITY
- EG EXISTING GRADE
- EA EDGE OF ASPHALT
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- G GAS
- GM GAS METER
- INV INVERT
- LP LIGHT POLE
- OH OVERHEAD
- OHE OVERHEAD ELECTRIC
- PP POWER POLE
- SAS SANITARY SEWER
- SD STORM DRAIN
- SW SIDEWALK
- TA TOP OF ASPHALT
- TP TOP OF PAVEMENT
- TC TOP OF CURB / CONCRETE
- TE TELEPHONE
- TR TOP OF RETAINER
- U UNDERGROUND
- UP UTILITY POLE
- W WATER
- WV WATER VALVE
- WM WATER METER
- FH FIRE HYDRANT
- 0.0 EXISTING CONTOURS
- 0.0 NEW CONTOURS
- Flow Direction, Water
- Flow Direction, Traffic
- NEW CURB AND GUTTER
- EXISTING CURB AND GUTTER
- 8543.21 EXISTING SPOT ELEVATION
- 1035.36 NEW SPOT ELEVATION
- 35.86 (NEW) TOP OF CURB
- 35.36 (NEW) TOP OF PAVING
- WM WATER METER
- GM GAS METER
- MH STORM SEWER MANHOLE
- CO SEWER CLEANOUT
- FH FIRE HYDRANT
- PP POWER POLE
- LP LIGHT POLE
- CHAIN LINK FENCE
- CONCRETE RETAINING WALL
- CONCRETE BLOCK WALL
- OVERHEAD POWER LINE
- BURIED POWER CONDUIT
- BURIED TELEPHONE LINE
- GAS LINE

- EXISTING LANDSCAPING
- PROPOSED LANDSCAPING
- CONCRETE, SURFACE
- CONCRETE, CROSS-SECTION



OVERALL SITE
EXISTING CONDITIONS



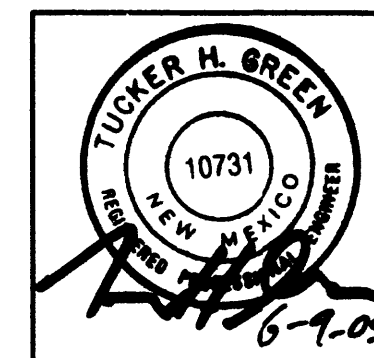
OVERALL SITE
PROPOSED CONDITIONS
SEE SHT-2 FOR MORE INFO AT WORK AREA

KEY NOTES: PROPOSED WORK

1. SEE SHTS 2 & 3 FOR MORE KEY NOTES & DETAILS
2. REMOVE EXISTING PAVING, REPAVE TO NEW GRADES.
3. NEW CONCRETE DRAINAGE CHANNEL
4. NEW LANDSCAPING PER LANDSCAPE PLAN.
5. NEW 4" SANITARY SEWER CONNECTION PER DWG 2125 AND DETAILS SHT C3. VERIFY AFTER LOCATING 12" VHP GAS LINE AND 24" COLLECTOR WATER LINE. WARNING: COORDINATE THIS WORK WITH THE CITY WATER DEPT AND THE GAS COMPANY.
6. NEW 2" WATER SERVICE & METER BOX. INSTALL PER COA STANDARD SPECS. AND DETAIL SHT C4. WARNING: WATER AS-BUILTS MAY SHOW INCORRECT LOCATION OF 6" MAIN. FIELD LOCATIONS OF EXISTING METERS EAST OF SITE ARE IN LINE WITH THE SIDEWALK. FIELD VERIFY IMMEDIATELY.
7. NEW PRIVATE 6" FIRELINE. SEE DETAIL SHT C-4 AND SEPARATE "PRIVATE FIRE LINE" SUBMITTAL (3 8-1/2"x11" PAGES).
8. EXISTING DRIVEPAD TO REMAIN
9. HC ACCESSIBLE ROUTE
10. BELOW-GROUND GREASE SEPARATOR, SEE SHT C4 & PLUMBING PLANS.
11. PIPE BIKE RACK, SINGLE INVERTED "U" TO HOLD 2 BIKES.
12. DUMPSTER ENCLOSURE PER ARCHITECTURAL
13. ELECTRICAL TRANSFORMER; RAISE ABOVE GRADE SHOWN. SEE MECHANICAL PLANS

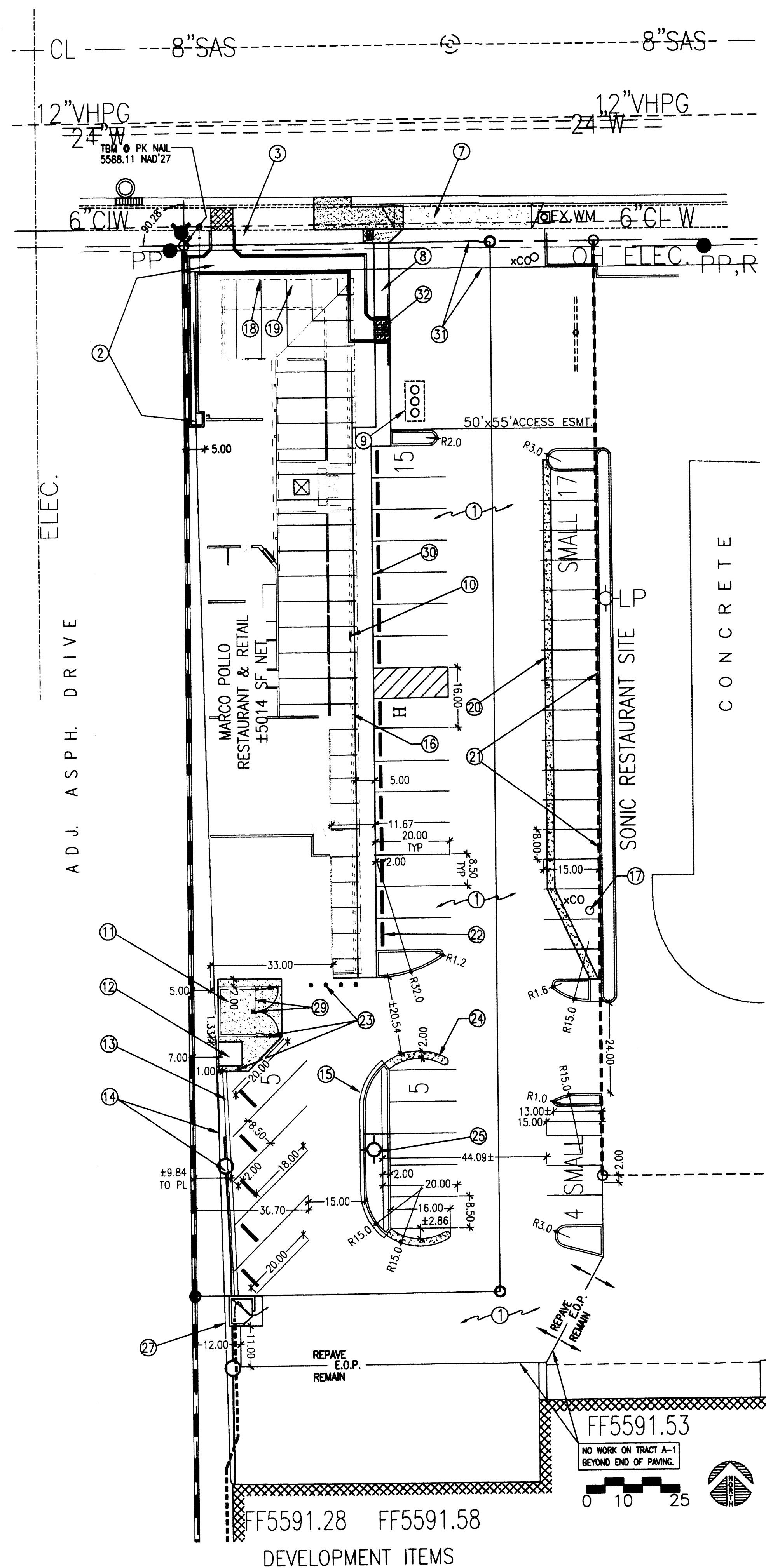
PROJECT BENCH MARK:
PK NAIL AT NORTHWEST PROPERTY CORNER OF THE SITE, ELEVATION 5588.11, NAD 1927

THE PURPOSES OF THIS SHEET ARE:
(1) SHOW THE MARCO POLLO RESTAURANT SITE IN RELATION TO TRACT A-1 AND TRACT B
(2) SHOW EXISTING CONDITIONS ON ATRACTA A-1 & A-2 AND RELEVANT PORTIONS OF ADJACENT SITES
(3) SHOW PARKING LAYOUT AND TRAFFIC CIRCULATION IN THE AREA RELATING TO MARCO POLLO RESTAURANT



MARCO POLLO RESTAURANT
9900 MONTGOMERY NE, ALBUQUERQUE, NM
OVERALL SITE PLAN, NOTES, LEGEND,
TRAFFIC CIRCULATION LAYOUT
PER SE ENGINEERING
Drainage, Utilities, and Site Design
2116 Lead Ave. SE Albuquerque NM, 87106
(505) 232-9394

SHEET
C1 OF



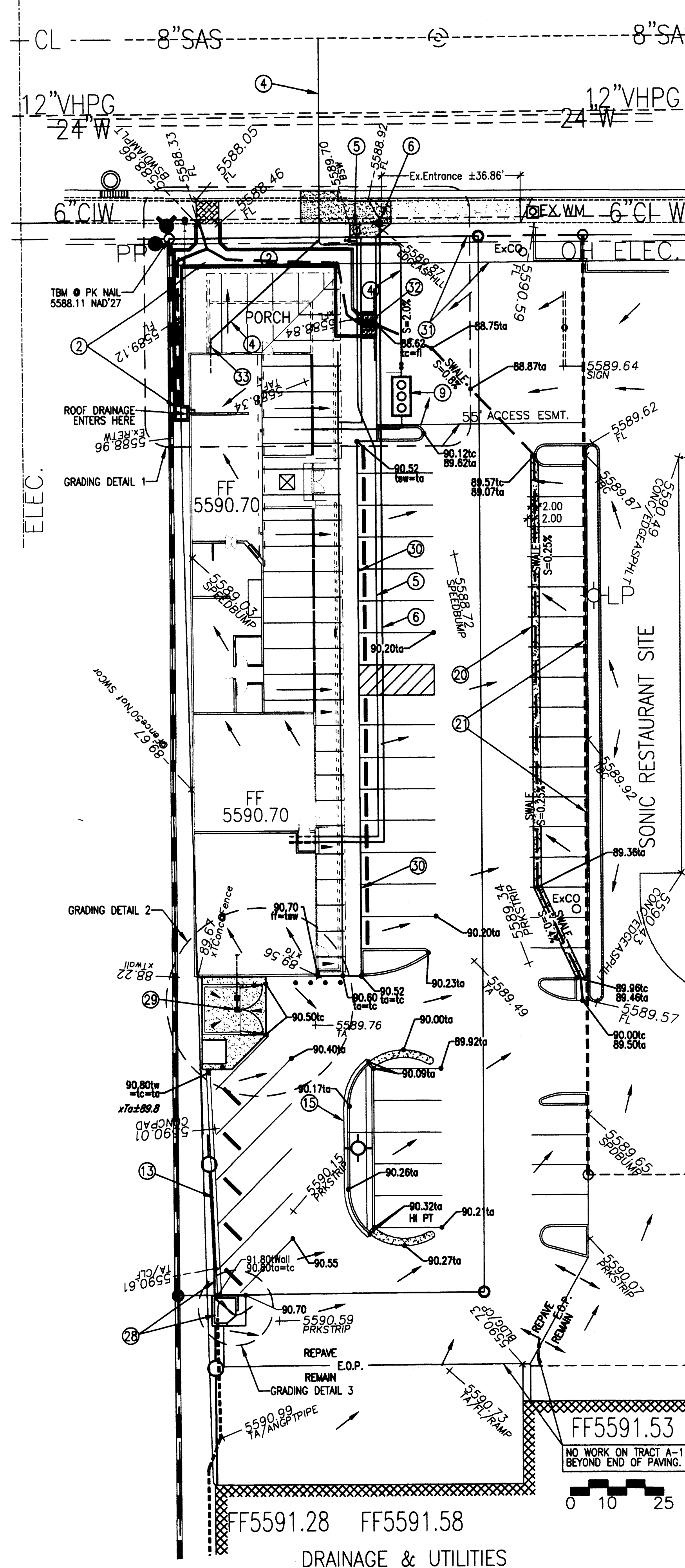
GENERAL NOTES: MARCO POLLO WORK AREA

- ALL WORK SHOWN ON THESE PLANS TO BE CONSTRUCTED IN ACCORD WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, UPDATE NO. 7, 2003, EXCEPT AS OTHERWISE NOTED.
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- THERE MAY BE UTILITIES AND OTHER ITEMS THAT ARE NOT SHOWN, OR THAT ARE SHOWN INCORRECTLY. FIELD VERIFY. NEW MEXICO ONE-CALL: 260-1990.
- ALL NEW CURBS ON-SITE ARE TO BE CONCRETE HEADER CURBS 6\"/>

WARNING
WATER & SANITARY SEWER (SAS) CONNECTIONS SHOWN ARE BASED ON AS-BUILT DRAWINGS THAT MAY NOT BE ACCURATE.
IN PARTICULAR, THE WATER LINE MAY NOT BE IN THE LOCATION SHOWN, BUT MAY BE CLOSER TO THE STREET PAVEMENT OR IN IT.
THE SAS AS-BUILTS MAY NOT SHOW THE SAME MANHOLE LOCATIONS AS MAY BE VISIBLE IN THE FIELD.
THE GAS COMPANY DOES NOT KNOW THE DEPTH OF THE 12-INCH VERY HIGH PRESSURE (VHP) GAS LINE.
FIELD VERIFY IMMEDIATELY AND CONSULT WITH THE ENGINEER TO RESOLVE ANY PROBLEMS.

KEY NOTES: MARCO POLLO WORK AREA

- SEE ALSO SHT 1, ITEMS 1-12 SHOWN ON SHEET 1.
- REMOVE EXISTING PAVING. REPAVE TO NEW GRADES.
- NEW CONCRETE DRAINAGE CHANNEL.
- NEW LANDSCAPING PER LANDSCAPE PLAN.
- NEW 4\"/>



Drainage Report for Marco Pollo Restaurant, Albuquerque, New Mexico

Site Location: The project is on the south side of Montgomery Blvd. NE, approximately 650 feet east of Eubank Blvd. NE. The street address is 9900 Montgomery NE. Formerly the site was occupied by a Furrow Building supply store. The city map is G-21.

Legal Description: Tracts A-1 & A-2 of the Tannehill-Taylor Addition, a replat of Tract A of Tracts A & B of the Tannehill-Taylor Addition, Bernalillo County, New Mexico.

Flood Zone: Per FEMA Community Panels No. 350001 C0143E & C0144F, dated November 19, 2003, the site is not located within a Special Flood Hazard Boundary (site is in Zone X).

Existing Conditions:
The site is bordered on the west by existing commercial development (Pelican's restaurant etc.), on the north by Montgomery Blvd and more commercial development, and on the south by an existing apartment complex. On the east, the north part of the total site is bordered by existing commercial development (Sonic restaurant) and the south part is bordered by existing residential development, from which it is separated by a CMU wall that prevents offsite flow. The building that formerly housed Furrow's now houses three separate businesses: Comfort Foods; a martial arts training academy; and an automotive speed shop. The site is almost completely covered by impervious surfaces. The Sonic fast food restaurant adjacent on the east is Tract B of Tannehill-Taylor and was originally part of the Furrow's site.

In the past the site was raised by fill so that it slopes, very slightly, down toward Montgomery Blvd. which slopes down to the west at roughly 2%. Drainage outflow is primarily through a pair of "sidewalk culverts" located in the northwest corner of the site. One shed in the NE part of the site, roughly 2880 sf, drains off site to the south. The Sonic site drains across the project site and out the same culverts. It is possible that part of the site east of the Sonic (a former U.S. Post Office) drains across the Sonic. The site on the west, Pelican's restaurant and the associated shopping center, was not raised and drains away from Montgomery, to the south and then eventually west to Eubank. In the front, near Montgomery, the project is separated from the Pelican's site by a concrete retaining wall. Further back, where the grade separation is greater, by a combination of retaining wall below and concrete slope paving above. The slope paving drains onto Pelican's site.

The existing sidewalk culverts (2 at 30\"/>

Proposed Conditions:
In the northwest corner of the site a parcel roughly 82' wide by 281' long enclosing a little more than 1/2 acre will be split from the existing 3.58 acre parcel. The new parcel will have a Marco Pollo chicken restaurant and a small amount of additional retail space. Most of the parking area in front of Comfort Foods et al., including the Marco Pollo site, will be reconstructed. The parking area to the east of the Comfort Foods building will not be reconstructed or restriped at this time. The existing driveway at Montgomery will continue to be used by all parts of the site and by the Sonic site.

Included in the work will be a small amount of landscaping. The total new landscaping will be only slightly more than the existing landscaping, however, and runoff from the site will be virtually unchanged at 22.65 cfs, compared to the existing 22.68. (The calculations conservatively assume the entire site drains to the outlet; no reduction is made for minor areas, such as perimeter slope paving, that actually drain offsite.) The primary outlet for runoff will continue to be the existing sidewalk culverts. Near the northeast corner of the Marco Pollo building there will be a restriction in the flow path leading to the sidewalk culverts. This means that in a large storm there will be some overflow out the existing driveway and onto Montgomery, which will reduce the amount of overflow at the sidewalk culverts and the possible overflow to the Pelican's site. Finished floor elevations are such that the changed overflow condition will not result in water entering any building on the site.

HYDROLOGY CALCULATIONS:
Areas are from AutoCAD polylines. Landscape areas do not include curbing. Results are from spreadsheet MpoHyd2.123.

Landscaping in the ROW is not included. This minor area may drain directly to the street. Under proposed conditions the amount of landscaping in the ROW decreases 6 sf, from 255 to 260.

ZONE 4		HYDROLOGY SUMMARY					
LOCATION	Area, sf	% Trmt A	%B	%C	%D, Imperv	Qp,100yr,6hr	Vol,cf,100yr,6hr
EXISTING							
Tract A-1	132,060	0	0	0	100	15.92	29,053
A-2 (MPO)	23,056	0	2.76	0	97.24	2.74	4,990
B (Sonic)	34,885	0	10	0	90	4.02	7,221
TOTAL	190,001	0	2.17	0	97.83	22.68	41,264
PROPOSED							
Tract A-1	132,060	0	0.13	0	99.87	15.92	29,031
A-2 (MPO)	23,056	0	3.94	0	96.06	2.73	4,954
B (Sonic)	34,885	0	10	0	90	4.02	7,221
TOTAL	190,001	0	2.42	0	97.58	22.65	41,204

EXISTING SIDEWALK CULVERT CAPACITY (AT MONTGOMERY) (REMAINS UNCHANGED): OPEN CHANNEL
2 CULVERTS EACH 30\"/>

NEW SIDEWALK CULVERT - ON-SITE TO 4\"/>

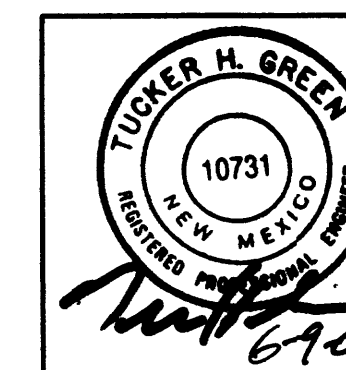
OVERFLOW if necessary is out the driveway starting at elevation (55)89.87, water below this depth would flow through and over the sidewalk culverts. Conservatively assuming flow width is only above the channel openings (and not over the support cutouts) and assuming an effective average depth of 1.15' gives:
Q_{total} = 3*2*1.333*0.15^{3/2} = 9.87 cfs
Large flows would split, with part going out the driveway and part going into the channel.

CHANNEL CAPACITY:
The proposed concrete channel has a 4 ft bottom and vertical walls 1.5 ft high. Using's Manning's equation with roughness n=0.013 per the DPM and a practical minimum slope pf 0.2%, the channel could convey the entire site flow. More specifically:
n=0.013, B=4, Y=1.30' A=5.20sf, P=6.60', Q=22.68cfs, V=4.36fps, Froude=0.67
As mentioned above, the channel will not actually receive full site flow.

CONCLUSION: The proposed project will not increase the peak rate of runoff and will safely convey all flow to the historical outlet location. The project will have no adverse drainage effects.

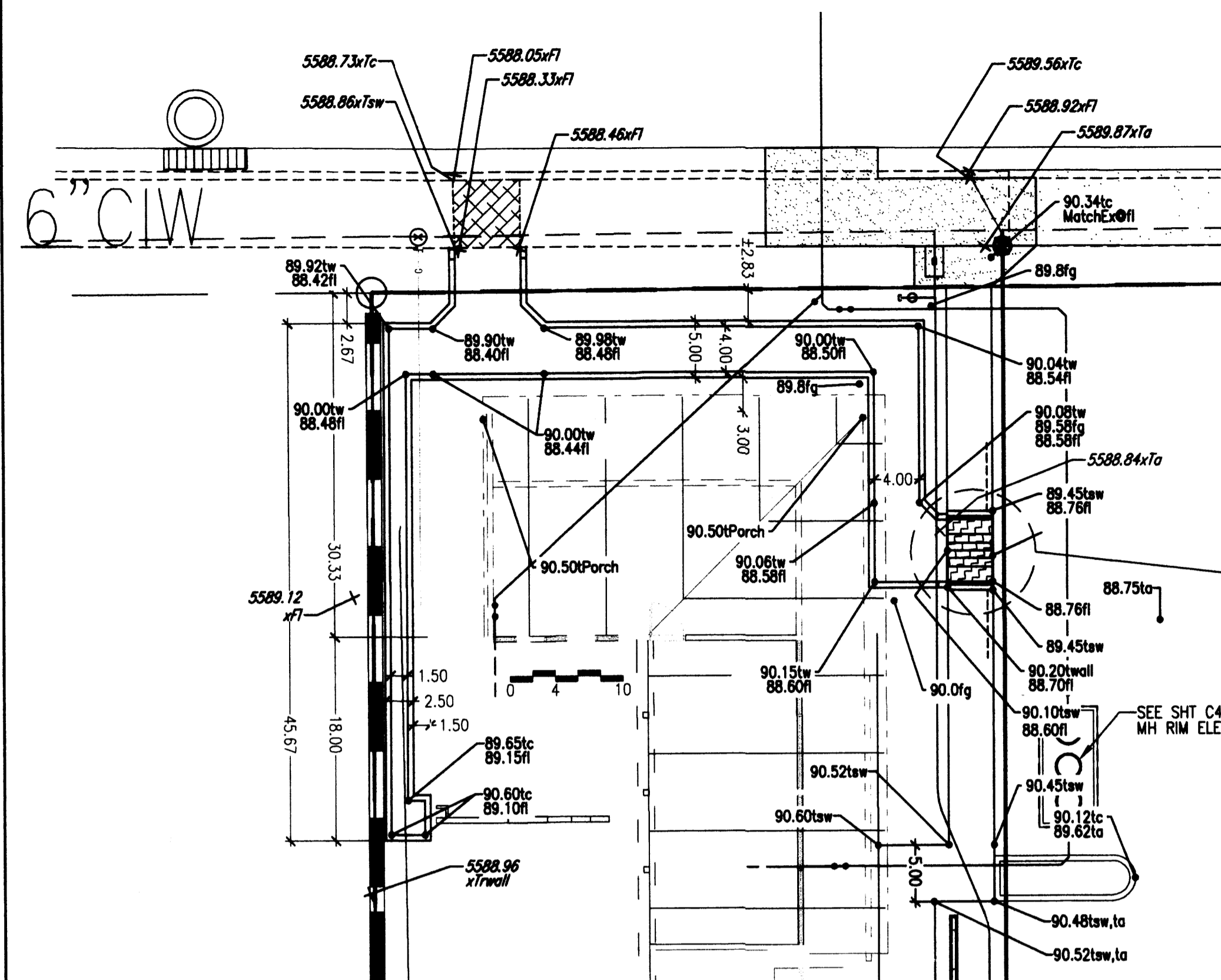
END OF REPORT

PROJECT BENCH MARK:
PK NAIL AT NORTHWEST PROPERTY CORNER OF THE SITE, ELEVATION 5588.11, NAD 1927

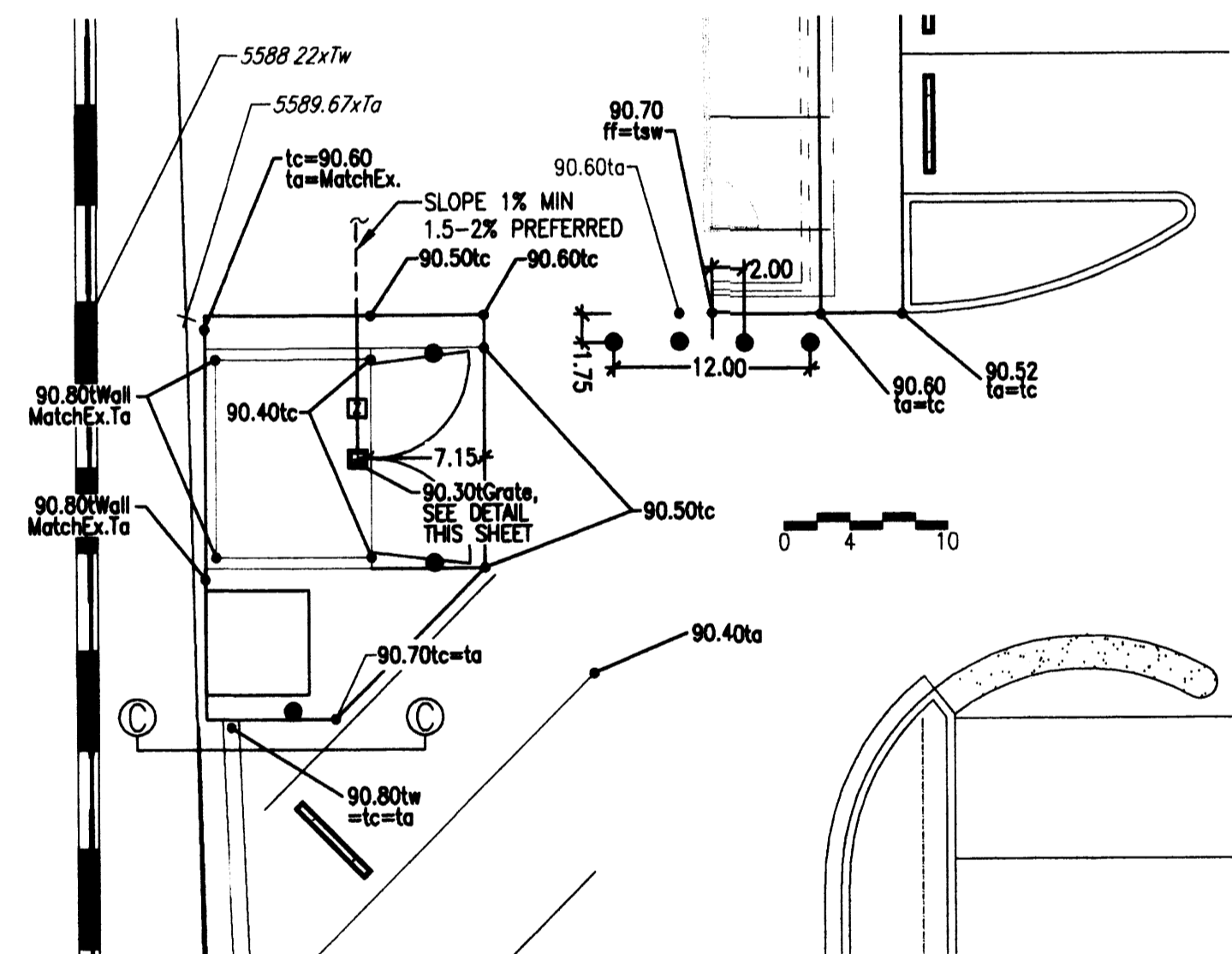


MARCO POLLO RESTAURANT
9900 MONTGOMERY NE, ALBUQUERQUE, NM
DRAINAGE PLAN & SITE PLAN
MARCO POLLO WORK AREA
PER SE ENGINEERING
Drainage, Utilities, and Site Design
2116 Lead Ave. SE Albuquerque NM, 87106
(505) 232-9394

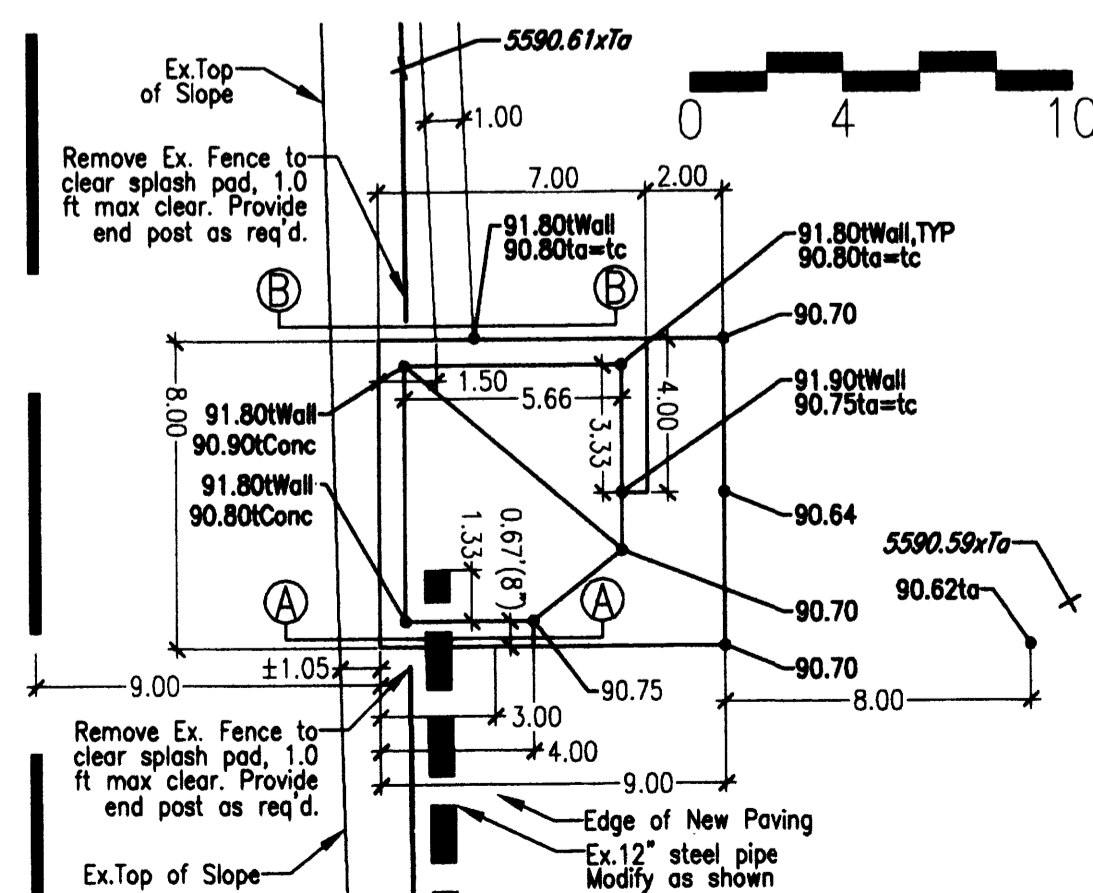
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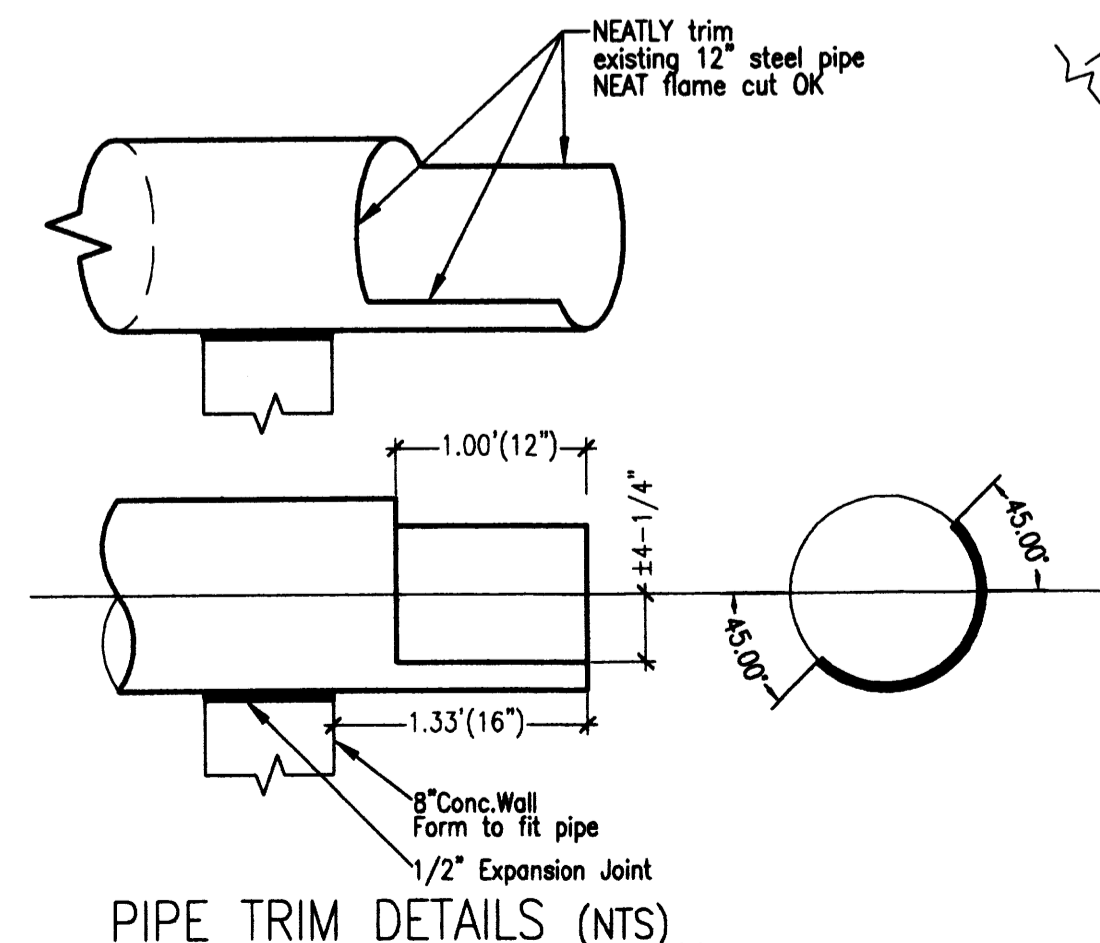
GRADING DETAIL 1



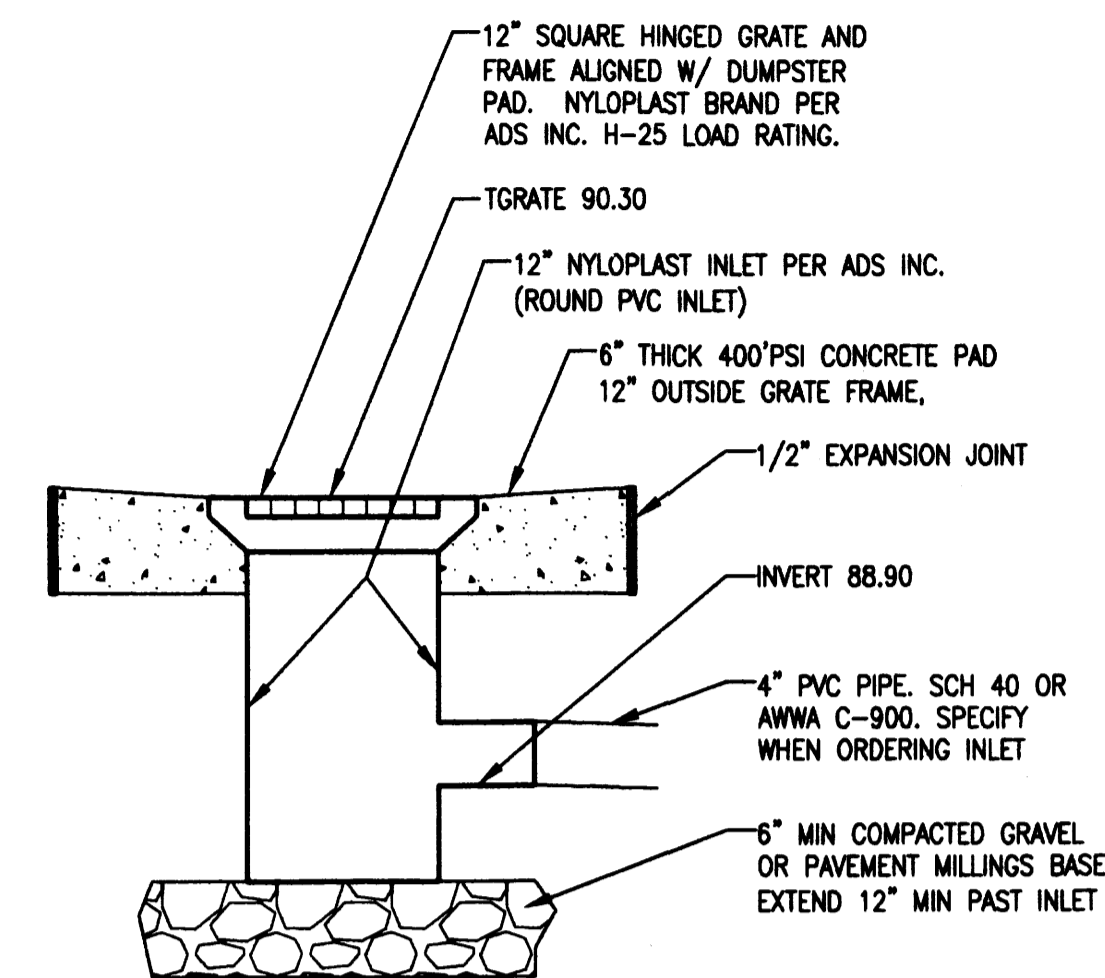
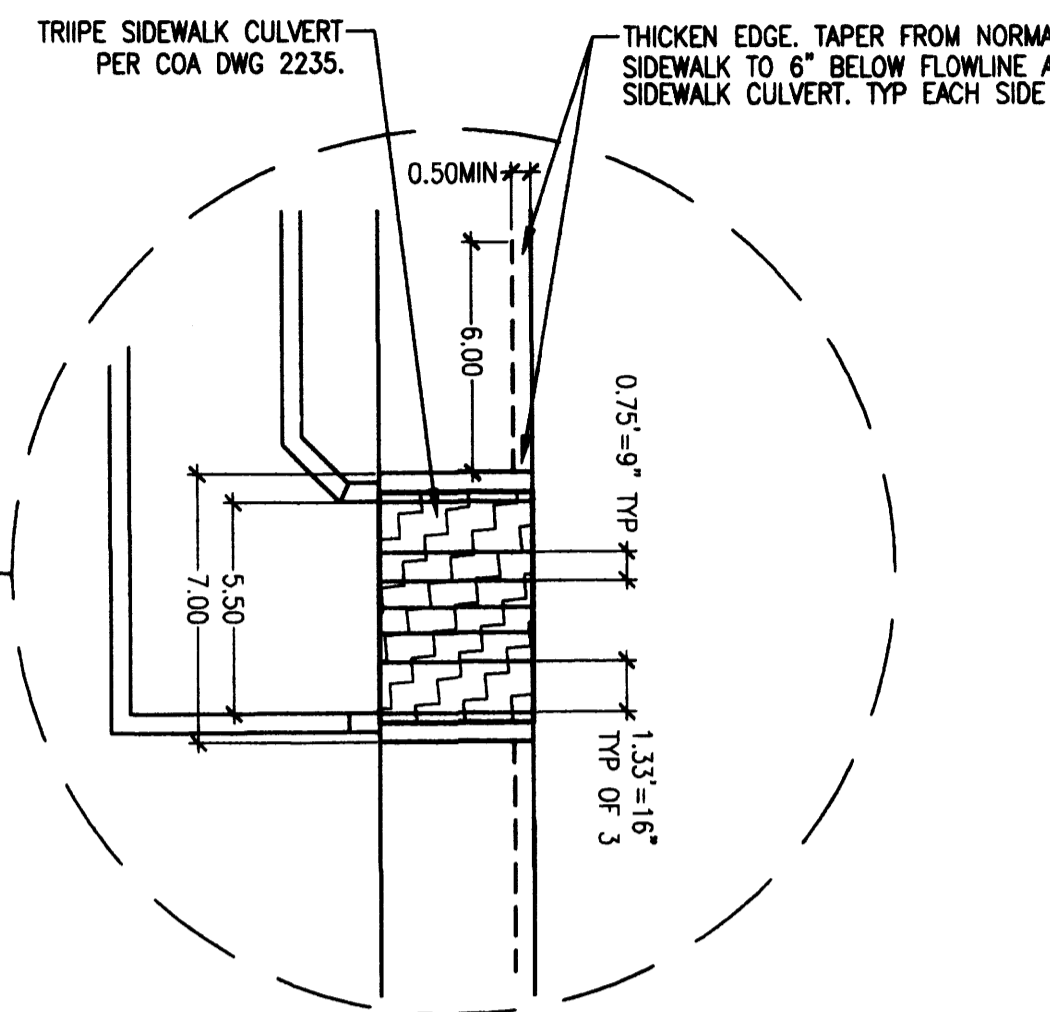
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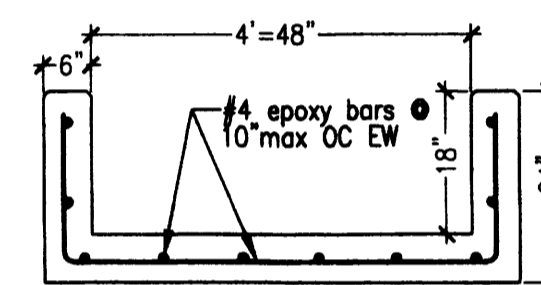
GRADING DETAIL 3



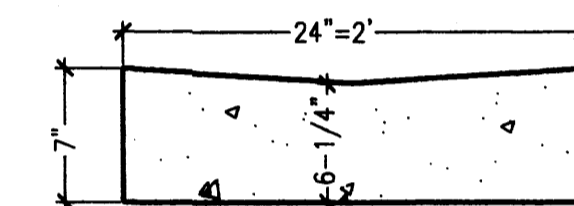
PIPE TRIM DETAILS (NTS)



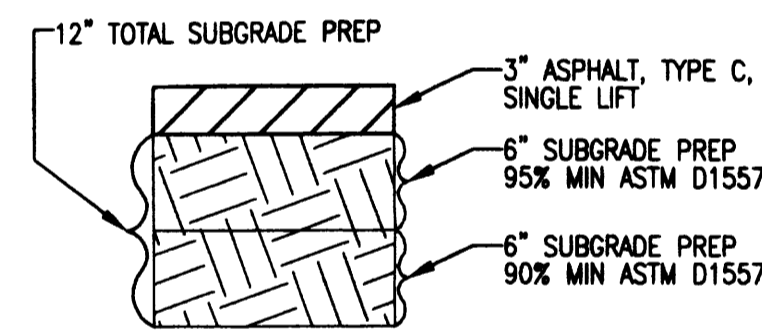
INLET AT DUMPSTER PAD NTS



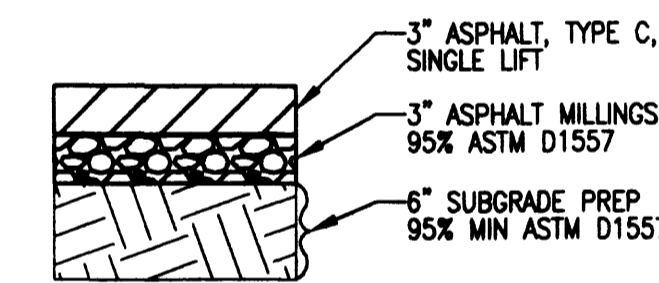
TYPICAL 4' DRAINAGE CHANNEL
1.5" CHANNEL AT WEST SIDE OF BLDG SIMILAR



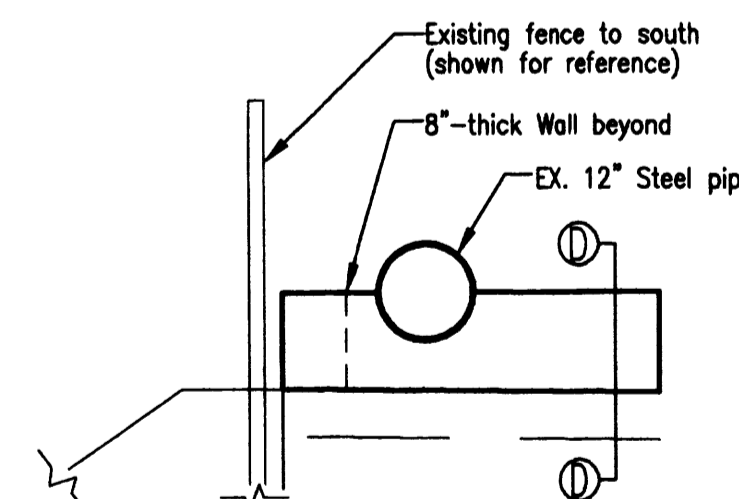
CONCRETE VALLEY GUTTER



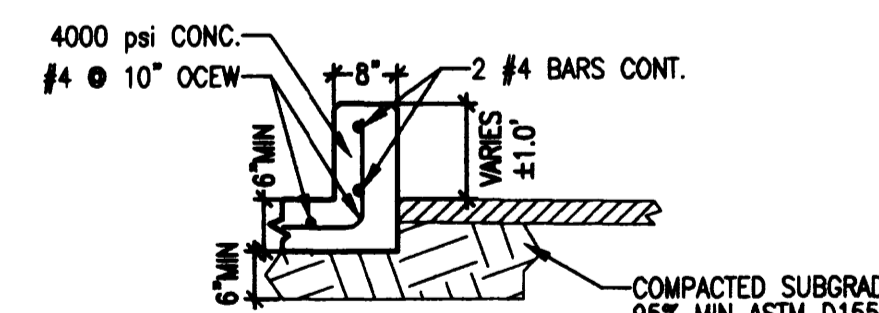
TYPICAL PAVING SECTION NTS
PER COA DWG 2405-A EXCEPT AS SHOWN



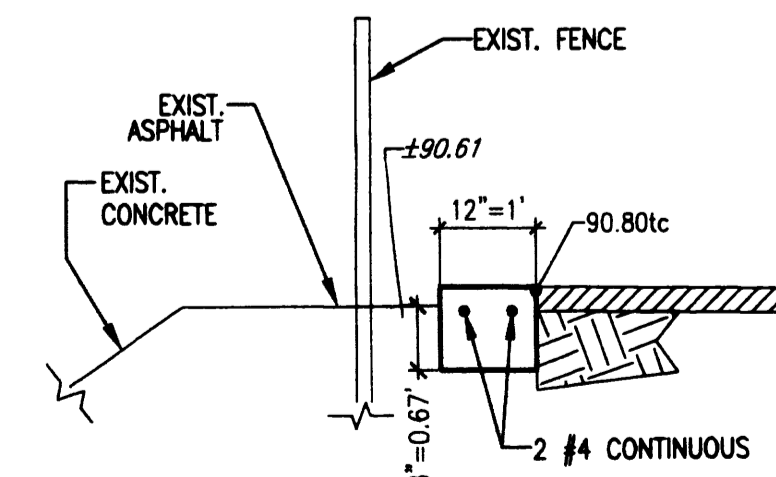
ALTERNATE PAVING SECTION NTS
PER COA DWG 2405-A EXCEPT AS SHOWN



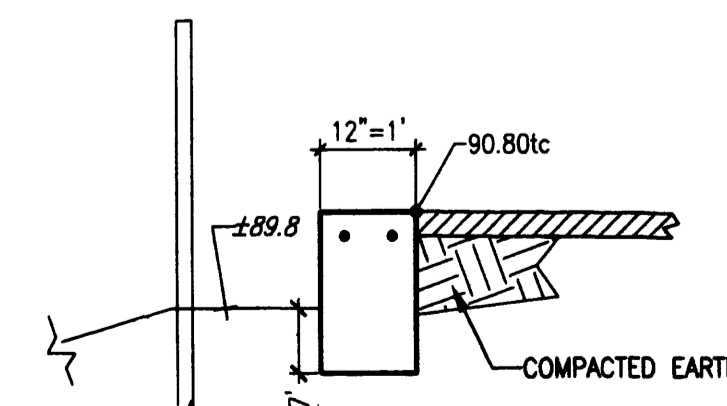
SECTION A-A (NTS)



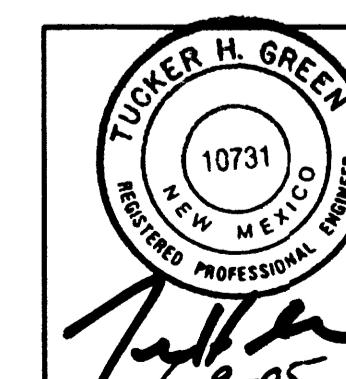
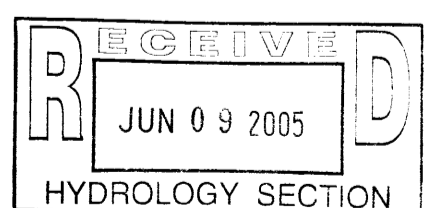
SECTION D-D (NTS)
USE EPOXY-COATED BARS THIS ITEM



SECTION B-B 1/2"=1'



SECTION C-C 1/2"=1'



MARCO POLLO RESTAURANT
9900 MONTGOMERY NE, ALBUQUERQUE, NM
ENLARGED GRADING AREAS,
DIMENSIONS & DETAILS
PER SE ENGINEERING
Drainage, Utilities, and Site Design
2116 Lead Ave. SE Albuquerque NM, 87106
(505) 232-9394

SHEET
C3 OF

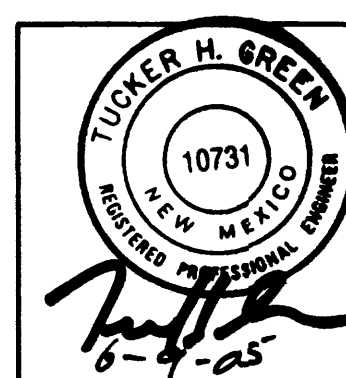
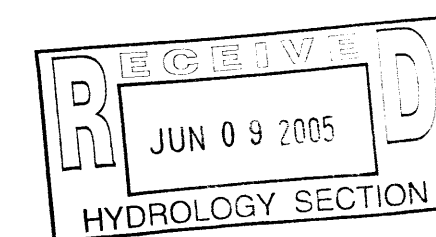
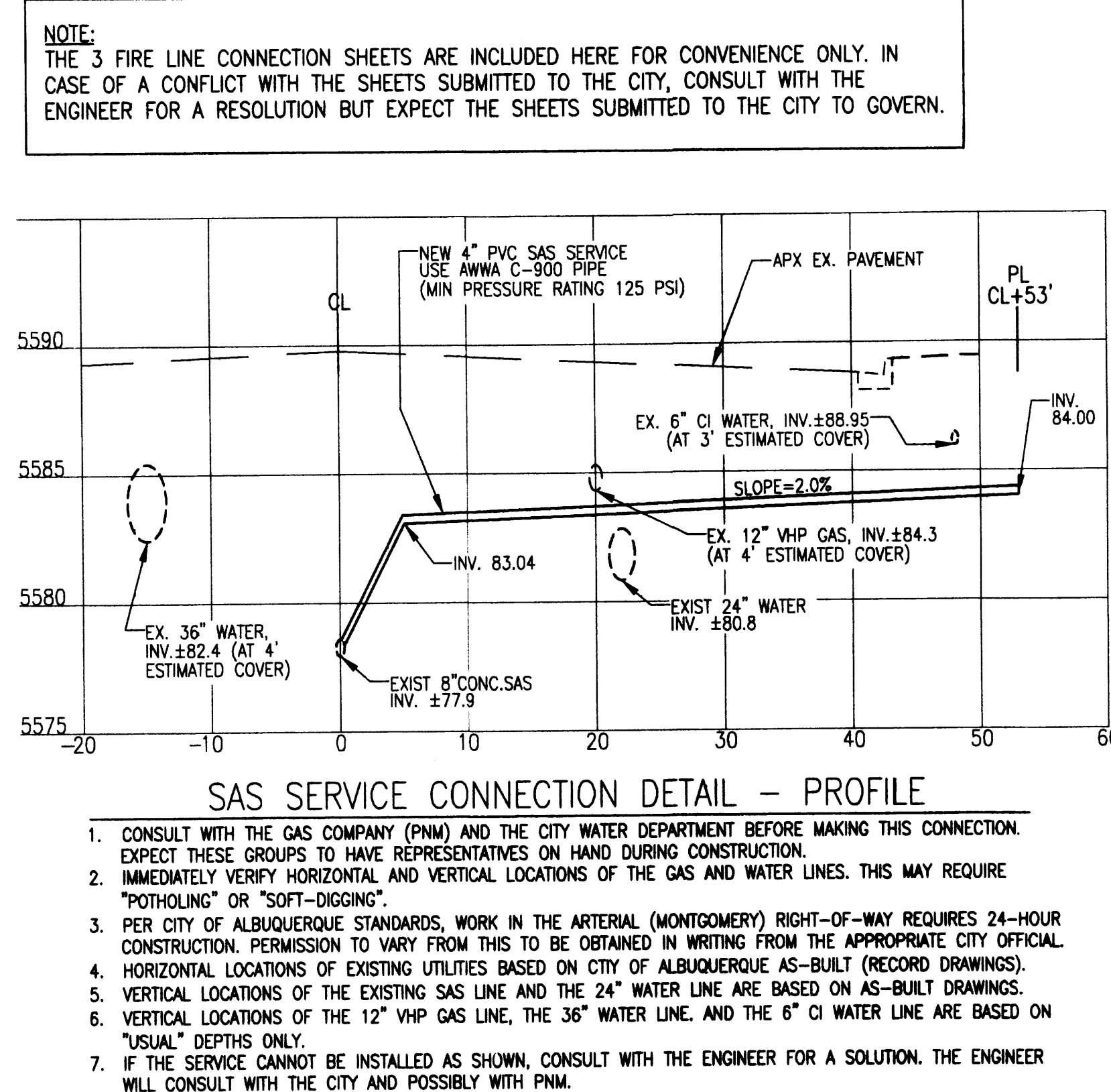
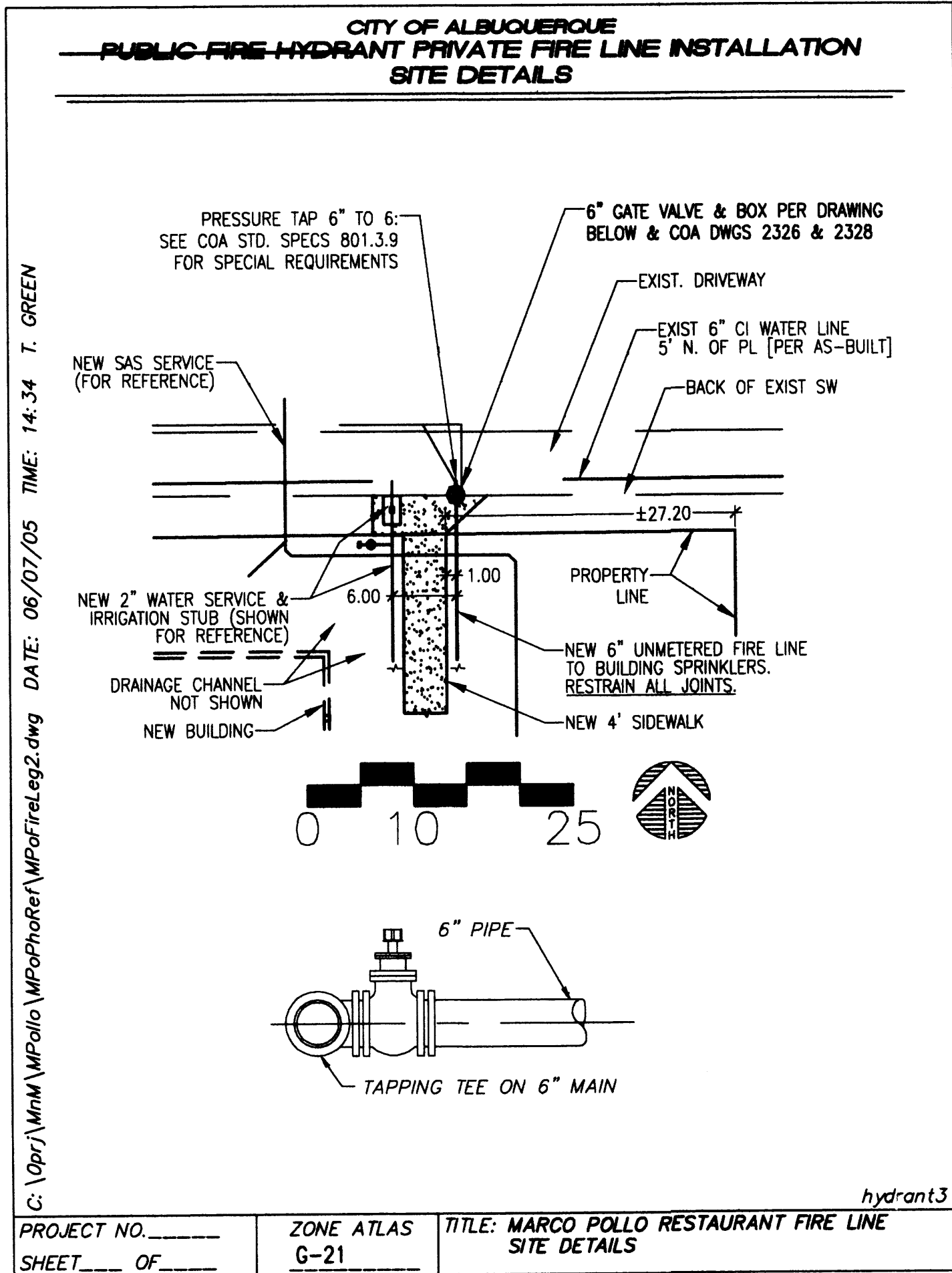
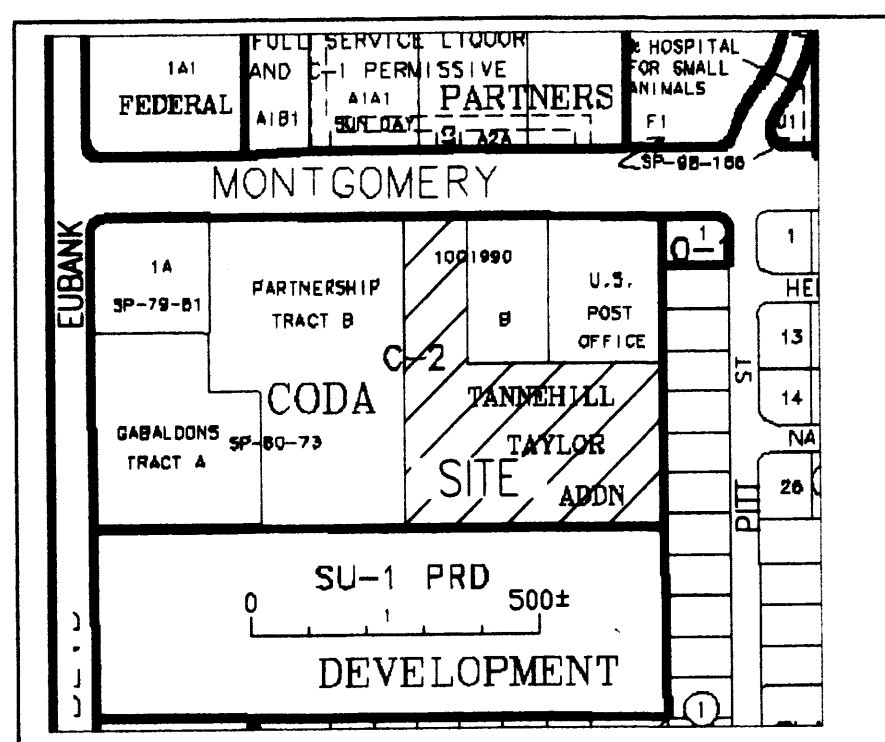
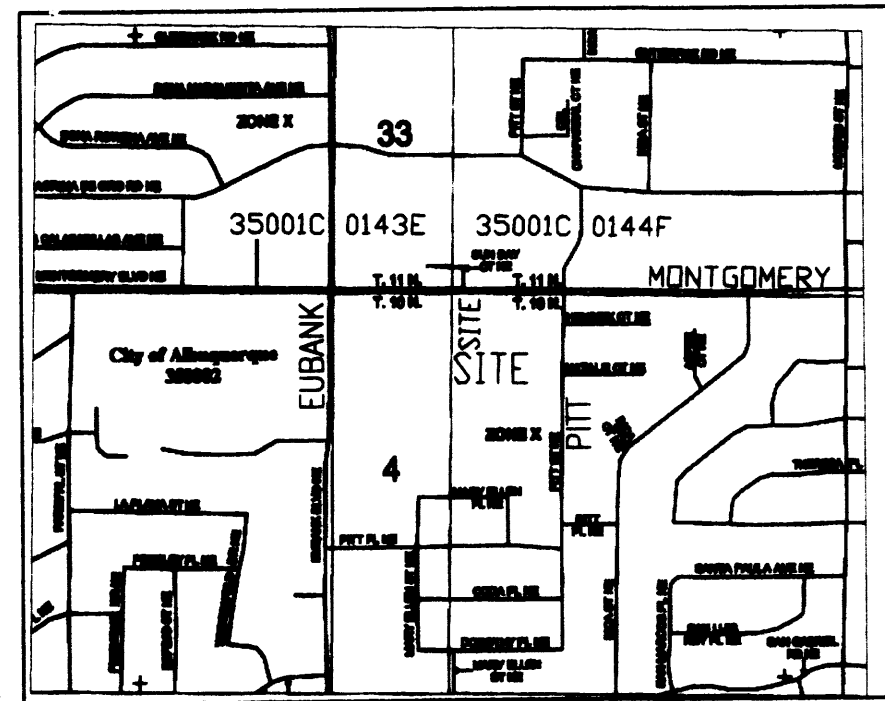


IMAGE: C:\Oprj\MnM\MPollo\MPOPhoRef\g-21.tif IMAGE: C:\Oprj\MnM\MPollo\MPOPhoRef\MPOShutOff.tif C:\Oprj\MnM\MPollo\MPOp08.dwg DATE: 06/09/05 TIME: 06:29 T: GREEN	
MARCO POLLO RESTAURANT 9900 MONTGOMERY NE, ALBUQUERQUE, NM	
UTILITIES	
PER SE ENGINEERING <i>Drainage, Utilities, and Site Design</i> 2116 Lead Ave. SE Albuquerque NM, 87106 (505) 232-8394	SHEET C4 OF



VICINITY MAP (G-21)

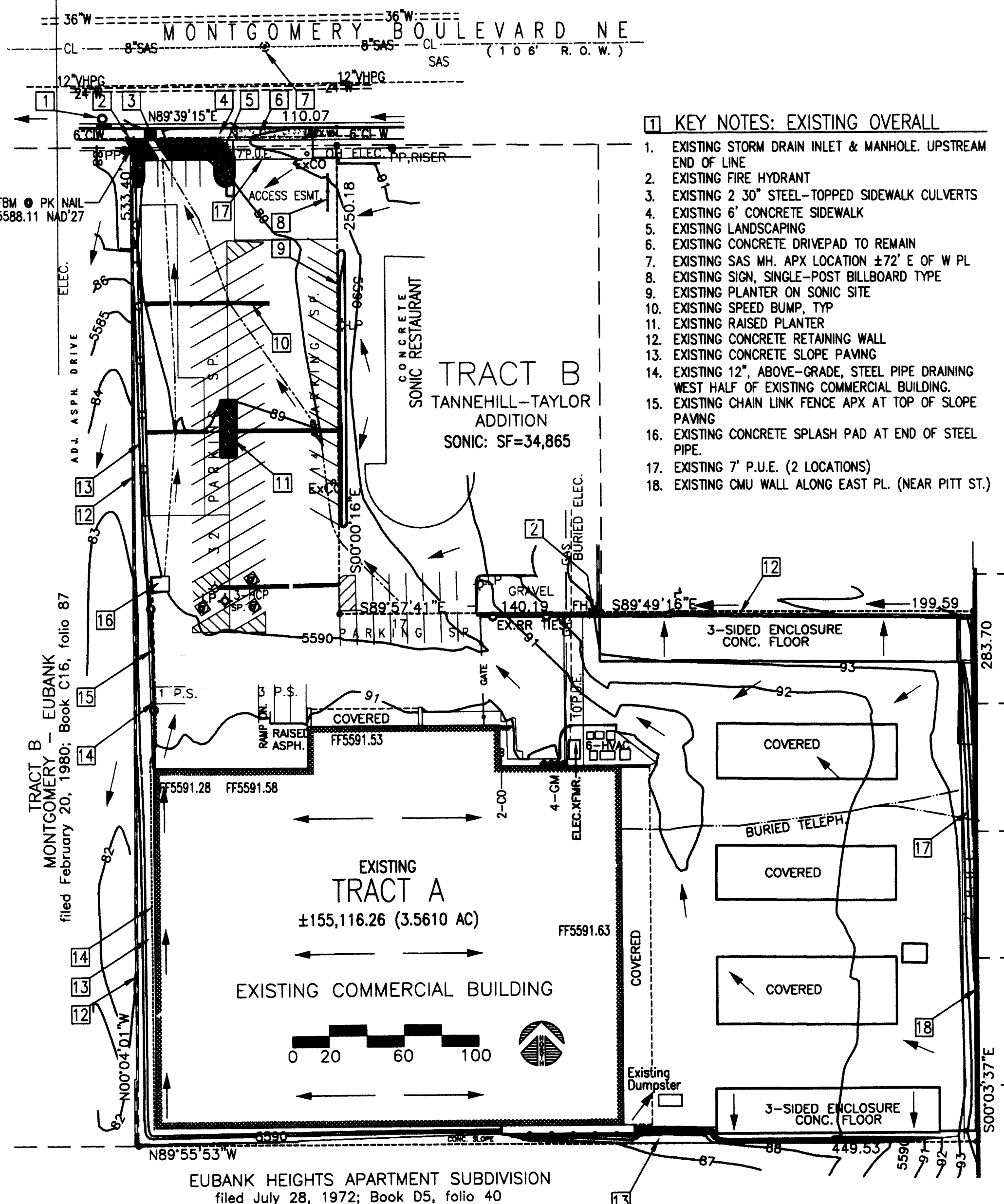


FLOOD ZONE MAP-NO SCALE: 35001C0143E & 0144F

LEGEND

DASHED ITEMS EXISTING OR HIDDEN

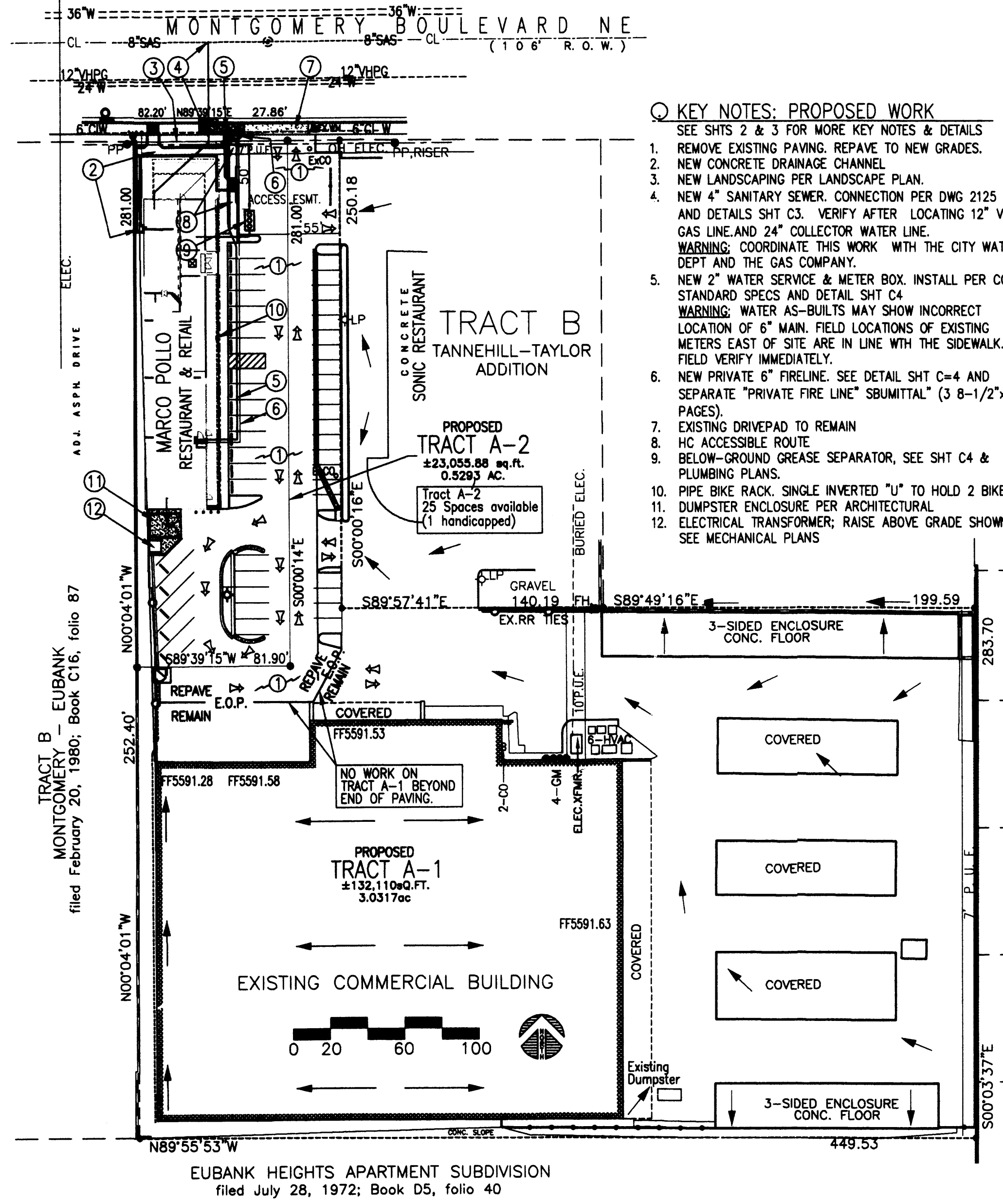
- BW BOTTOM OF WALL
- BSW BACK OF SIDEWALK
- CO SEWER CLEANOUT
- E, EX EXISTING: ELECTRICITY
- EG EXISTING GRADE
- EA EDGE OF ASPHALT
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FL FLOW LINE
- G GAS
- GM GAS METER
- INV INVERT
- LP LIGHT POLE
- OH OVERHEAD
- OHE OVERHEAD ELECTRIC
- PP POWER POLE
- SAS SANITARY SEWER
- SD STORM DRAIN
- SW SIDEWALK
- TA TOP OF ASPHALT
- TP TOP OF PAVEMENT
- TC TOP OF CURB / CONCRETE
- TP TELEPHONE
- TR TOP OF RETAINER
- U UNDERGROUND
- UP UTILITY POLE
- W WATER
- WV WATER VALVE
- WM WATER METER
- FIRE HYDRANT
- 0.0 EXISTING CONTOURS
- 0.0 NEW CONTOURS
- FLOW DIRECTION, WATER
- FLOW DIRECTION, TRAFFIC
- EXISTING CURB AND GUTTER
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- (NEW) TOP OF CURB
- (NEW) TOP OF PAVING
- WM WATER METER
- GM GAS METER
- MH STORM SEWER MANHOLE
- CO SEWER CLEANOUT
- FIRE HYDRANT
- PP POWER POLE
- LP LIGHT POLE
- CHAIN LINK FENCE
- CONCRETE RETAINING WALL
- CONCRETE BLOCK WALL
- OVERHEAD POWER LINE
- BURIED POWER CONDUIT
- BURIED TELEPHONE LINE
- GAS LINE
- EXISTING LANDSCAPING
- PROPOSED LANDSCAPING
- CONCRETE, SURFACE
- CONCRETE, CROSS-SECTION



OVERALL SITE
EXISTING CONDITIONS

KEY NOTES: EXISTING OVERALL

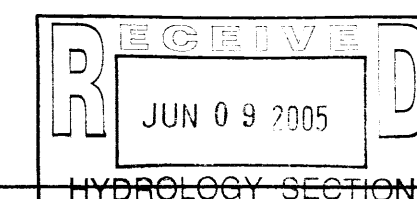
1. EXISTING STORM DRAIN INLET & MANHOLE, UPSTREAM END OF LINE
2. EXISTING FIRE HYDRANT
3. EXISTING 2.30' STEEL-TOPPED SIDEWALK CULVERTS
4. EXISTING 6" CONCRETE SIDEWALK
5. EXISTING LANDSCAPING
6. EXISTING CONCRETE DRIVEPAD TO REMAIN
7. EXISTING SAS MH, APX LOCATION ±72' E OF W PL
8. EXISTING SIGN, SINGLE-POST BILLBOARD TYPE
9. EXISTING PLANTER ON SONIC SITE
10. EXISTING SPEED BUMP, TYP
11. EXISTING RAISED PLANTER
12. EXISTING CONCRETE RETAINING WALL
13. EXISTING CONCRETE SLOPE PAVING
14. EXISTING 12" ABOVE-GRADE, STEEL PIPE DRAINING WEST HALF OF EXISTING COMMERCIAL BUILDING
15. EXISTING CHAIN LINK FENCE APX AT TOP OF SLOPE PAVING
16. EXISTING CONCRETE SPLASH PAD AT END OF STEEL PIPE
17. EXISTING 7" P.U.E. (2 LOCATIONS)
18. EXISTING CMU WALL ALONG EAST PL. (NEAR PITT ST.)



OVERALL SITE
PROPOSED CONDITIONS
SEE SHT-2 FOR MORE INFO AT WORK AREA

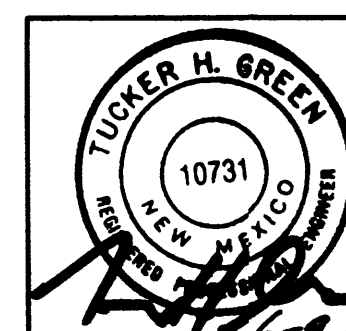
KEY NOTES: PROPOSED WORK

1. REMOVE EXISTING PAVING, REPAVE TO NEW GRADES.
2. NEW CONCRETE DRAINAGE CHANNEL
3. NEW LANDSCAPING PER LANDSCAPE PLAN.
4. NEW 4" SANITARY SEWER, CONNECTION PER DWG 2125 AND DETAILS SHT C3. VERIFY AFTER LOCATING 12" VHP GAS LINE AND 24" COLLECTOR WATER LINE. WARNING: COORDINATE THIS WORK WITH THE CITY WATER DEPT AND THE GAS COMPANY.
5. NEW 2" WATER SERVICE & METER BOX, INSTALL PER COA STANDARD SPECS AND DETAIL SHT C4. WARNING: WATER AS-BUILTS MAY SHOW INCORRECT LOCATION OF 6" MAIN. FIELD LOCATIONS OF EXISTING METERS EAST OF SITE ARE IN LINE WITH THE SIDEWALK. FIELD VERIFY IMMEDIATELY.
6. NEW PRIVATE 6" FIRELINE. SEE DETAIL SHT C-4 AND SEPARATE "PRIVATE FIRE LINE" SUBMITTAL (3 8-1/2"x11" PAGES).
7. EXISTING DRIVEPAD TO REMAIN
8. NO ACCESSIBLE ROUTE
9. BELOW-GROUND GREASE SEPARATOR, SEE SHT C4 & PLUMBING PLANS.
10. PIPE BIKE RACK, SINGLE INVERTED "U" TO HOLD 2 BIKES.
11. DUMPSTER ENCLOSURE PER ARCHITECTURAL
12. ELECTRICAL TRANSFORMER; RAISE ABOVE GRADE SHOWN. SEE MECHANICAL PLANS



PROJECT BENCH MARK:
PK NAIL AT NORTHWEST PROPERTY CORNER OF THE SITE, ELEVATION 5588.11, NAD 1927

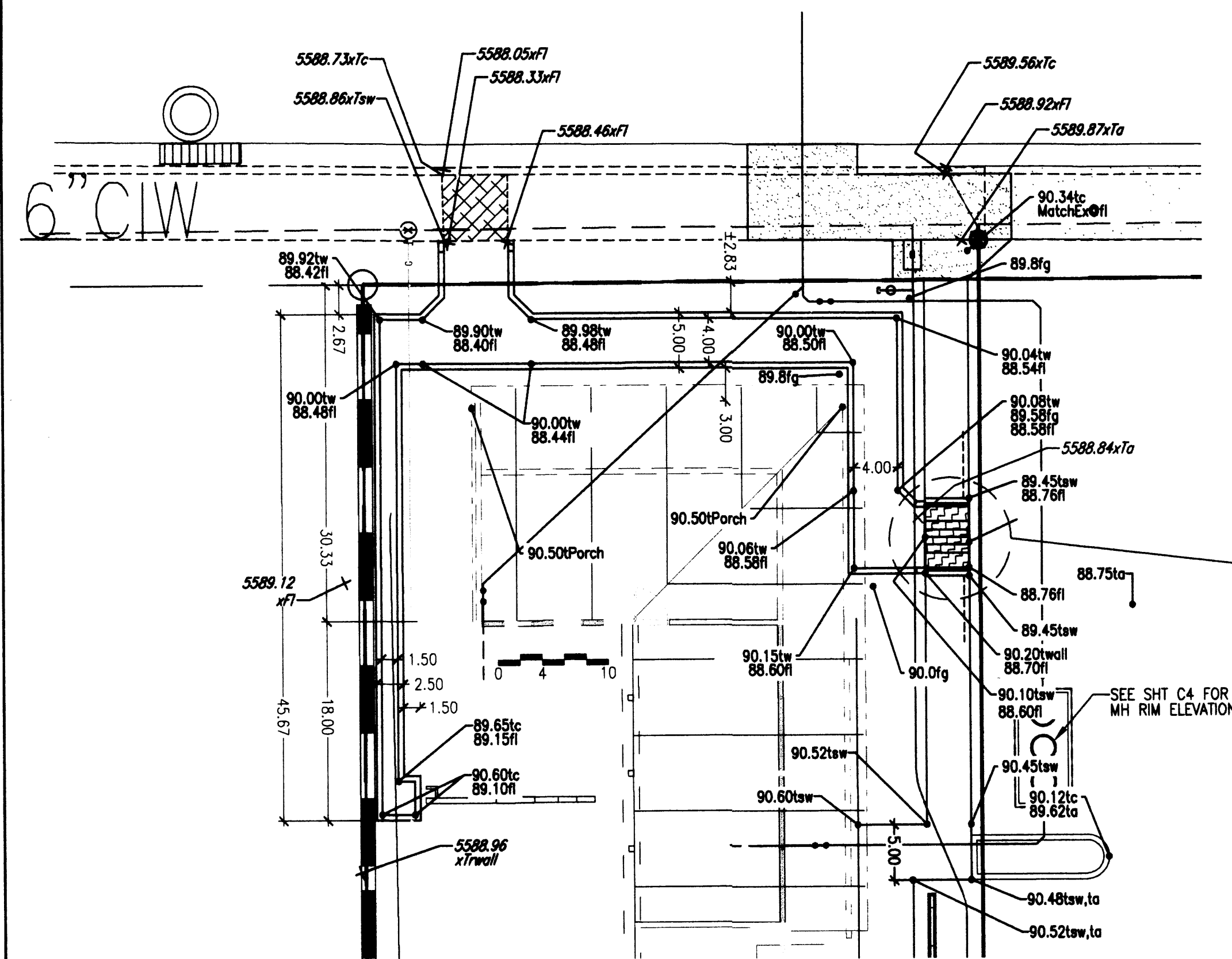
THE PURPOSES OF THIS SHEET ARE:
(1) SHOW THE MARCO POLLO RESTAURANT SITE IN RELATION TO TRACT A-1 AND TRACT B
(2) SHOW EXISTING CONDITIONS ON ATRACTA A-1 & A-2 AND RELEVANT PORTIONS OF ADJACENT SITES
(3) SHOW PARKING LAYOUT AND TRAFFIC CIRCULATION IN THE AREA RELATING TO MARCO POLLO RESTAURANT



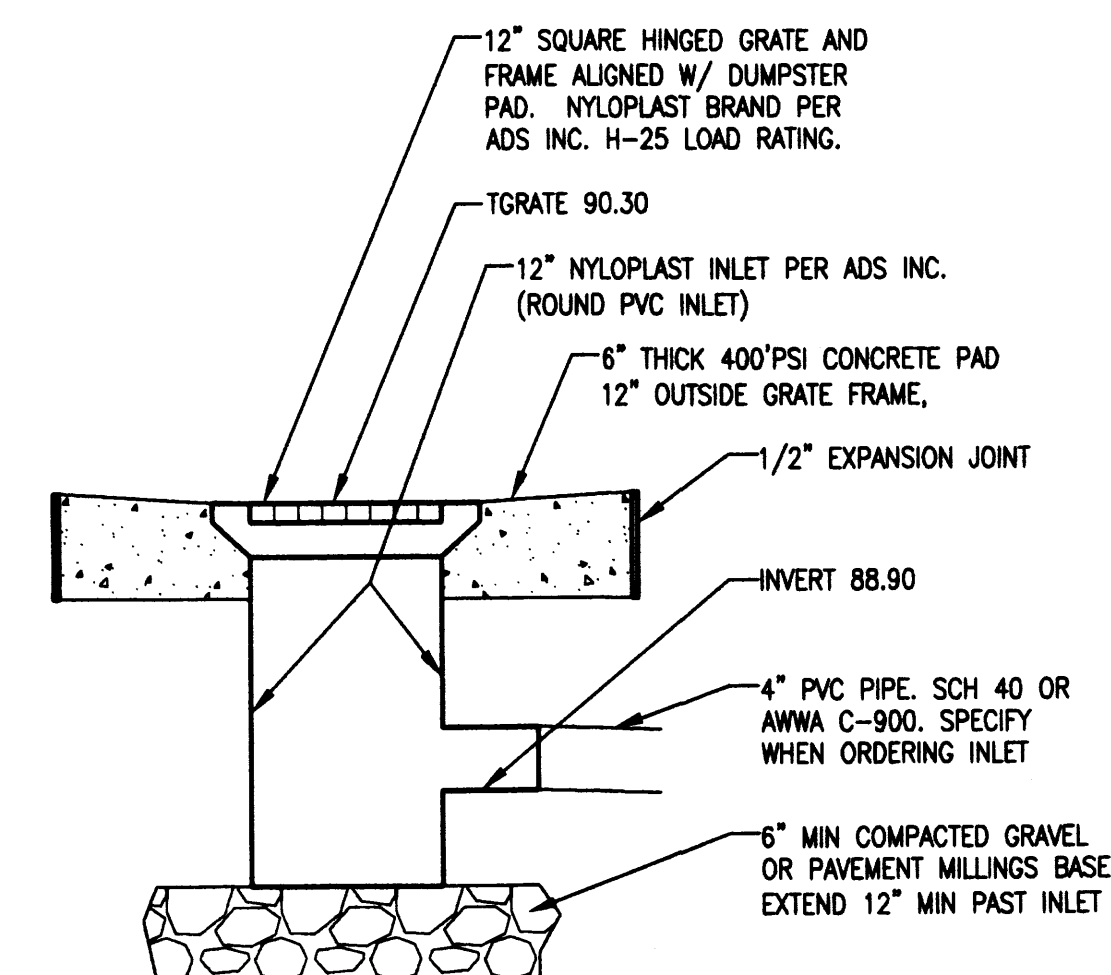
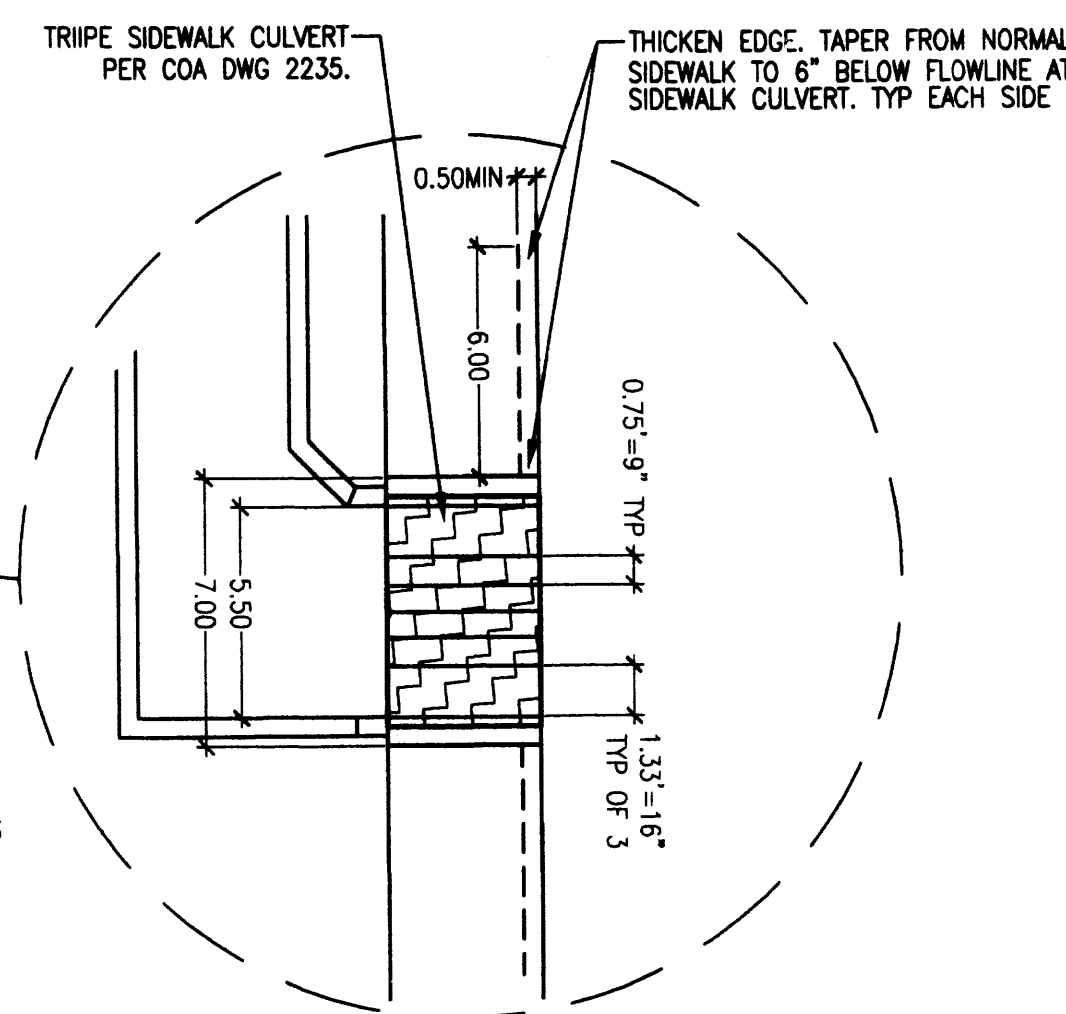
MARCO POLLO RESTAURANT
9900 MONTGOMERY NE, ALBUQUERQUE, NM
OVERALL SITE PLAN, NOTES, LEGEND,
TRAFFIC CIRCULATION LAYOUT
PER SE ENGINEERING
Drainage, Utilities, and Site Design
2116 Lead Ave. SE Albuquerque NM, 87106
(505) 232-9394

SHEET
C1 OF

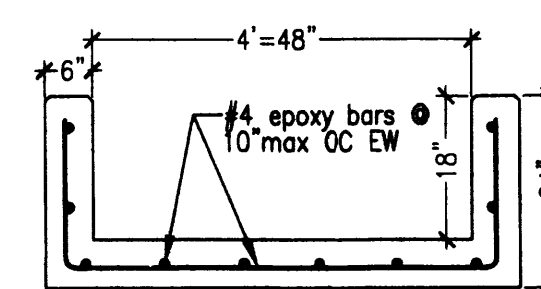
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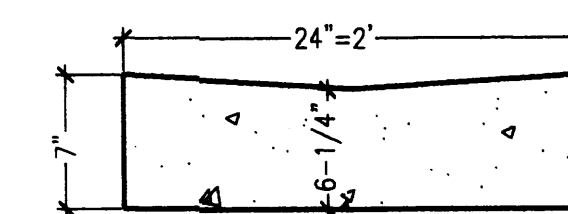
GRADING DETAIL 1



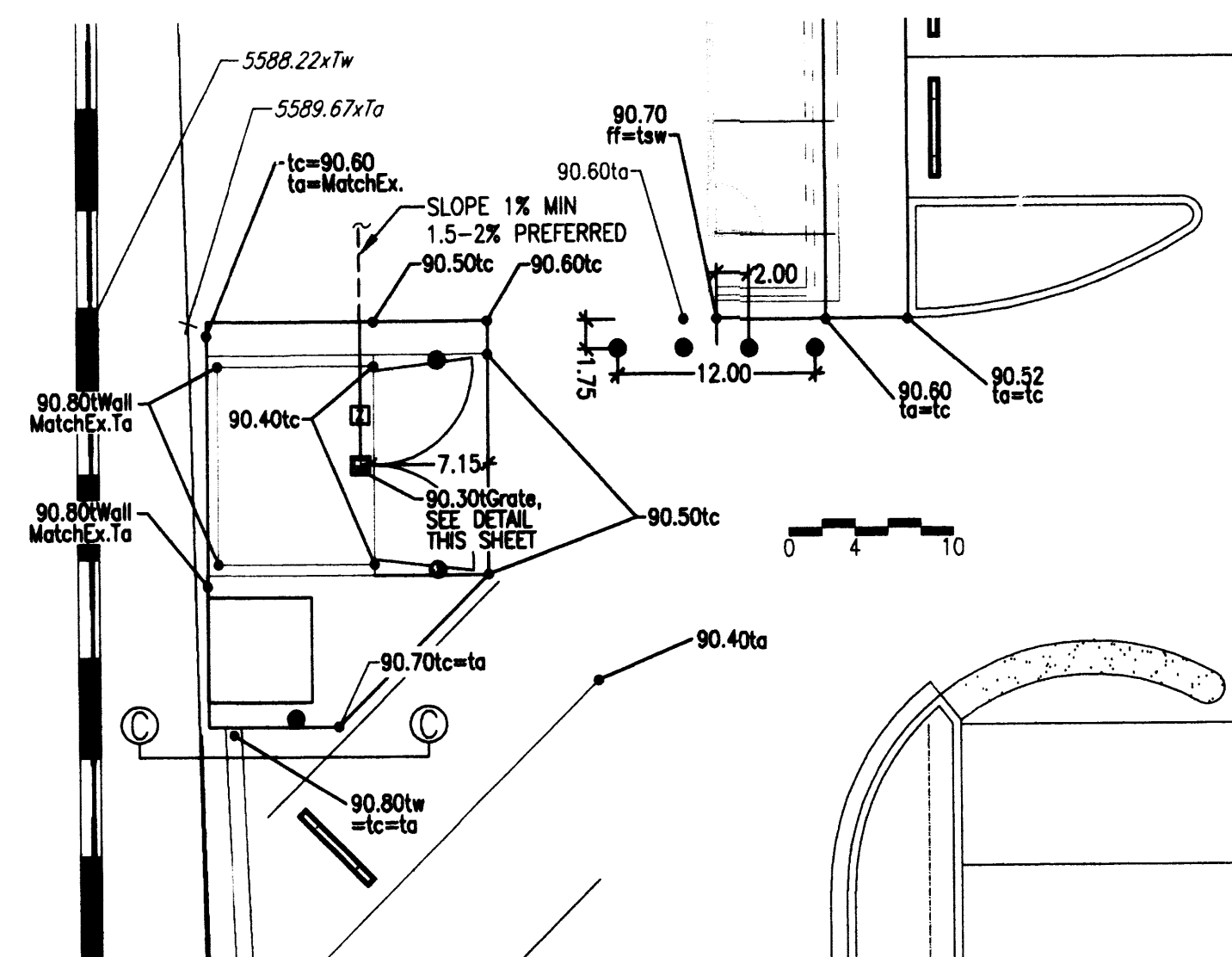
INLET AT DUMPSTER PAD NTS



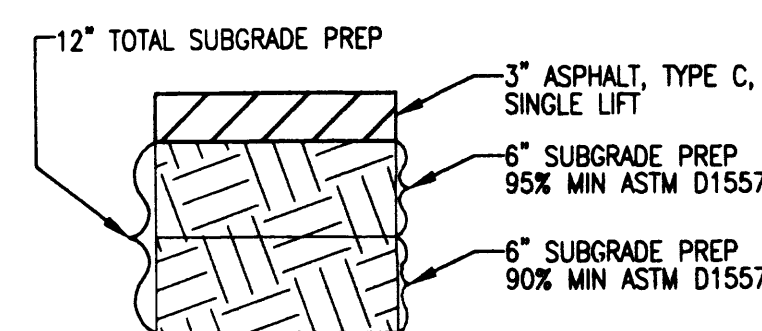
TYPICAL 4' DRAINAGE CHANNEL
1.5' CHANNEL AT WEST SIDE OF BLDG SIMILAR



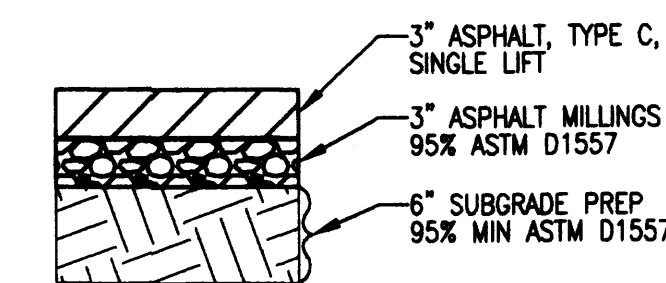
CONCRETE VALLEY GUTTER



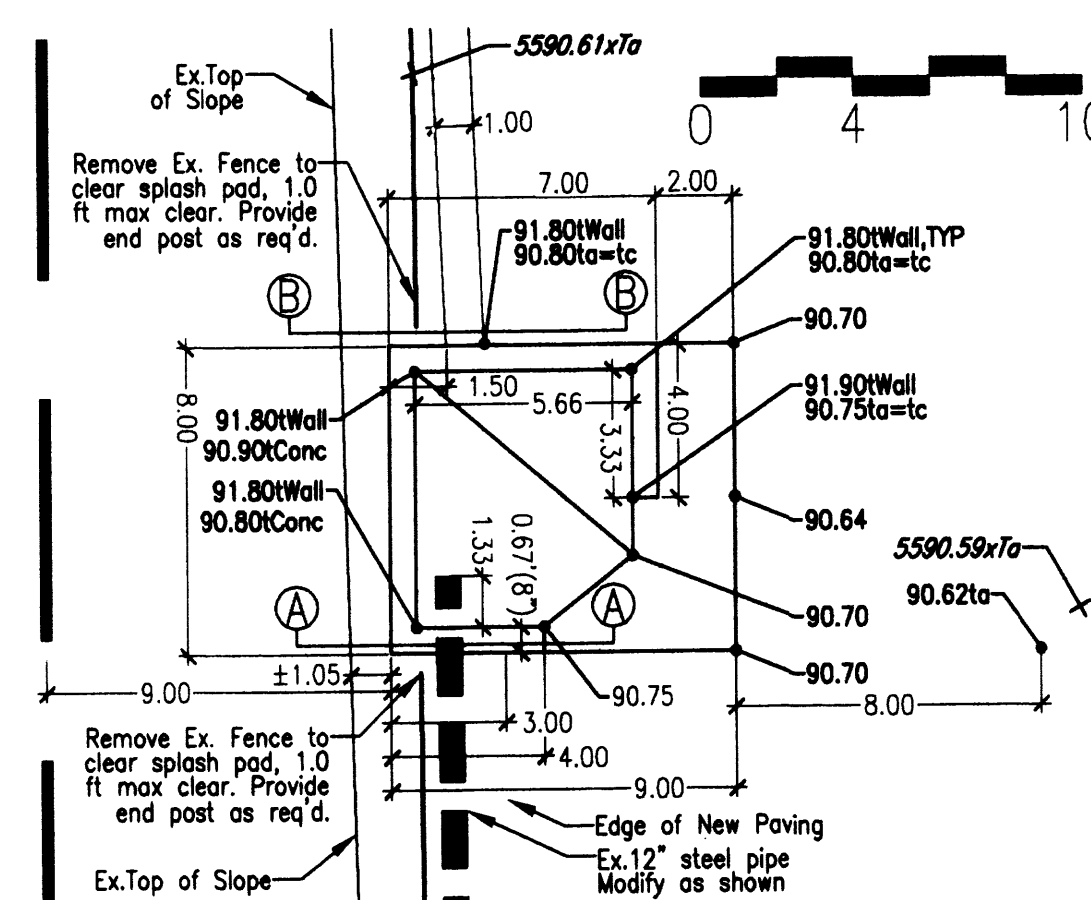
GRADING DETAIL 2



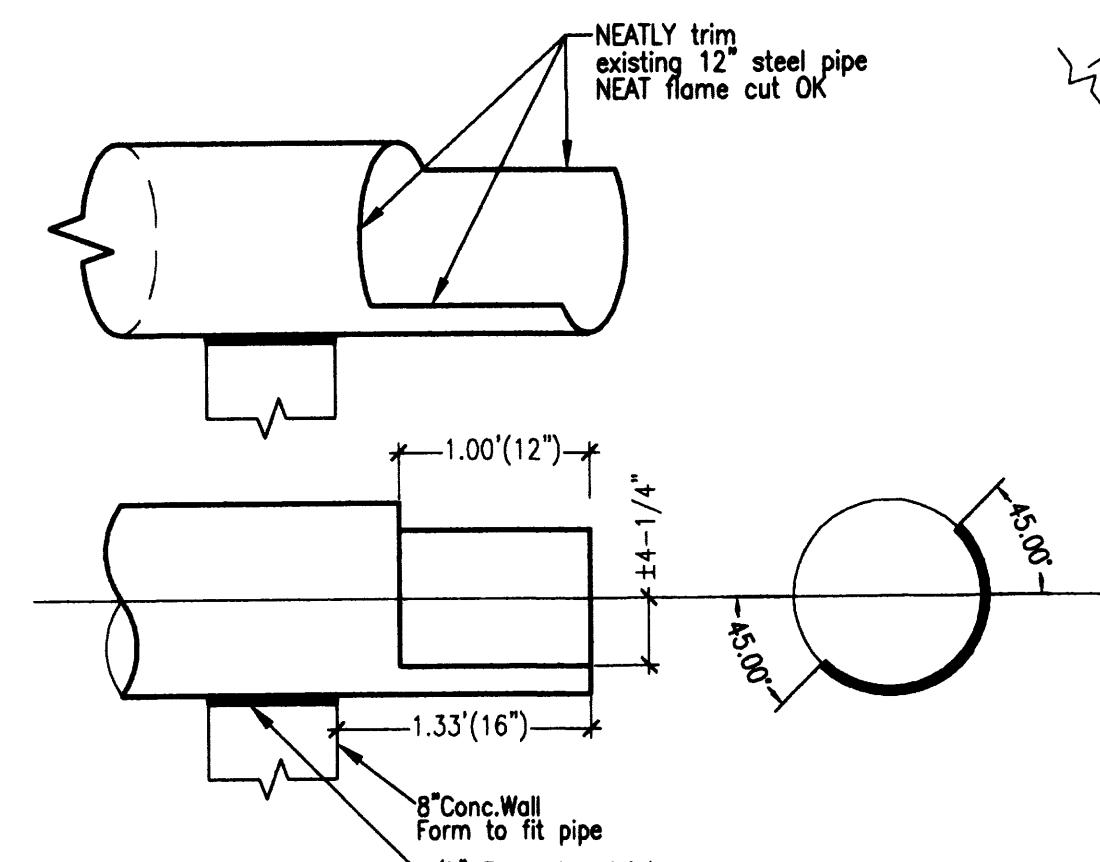
TYPICAL PAVING SECTION NTS
PER COA DWG 2405-A EXCEPT AS SHOWN



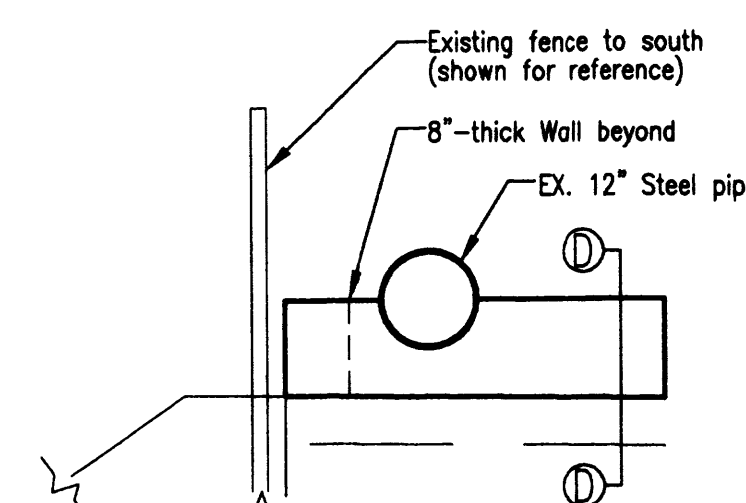
ALTERNATE PAVING SECTION NTS
PER COA DWG 2405-A EXCEPT AS SHOWN



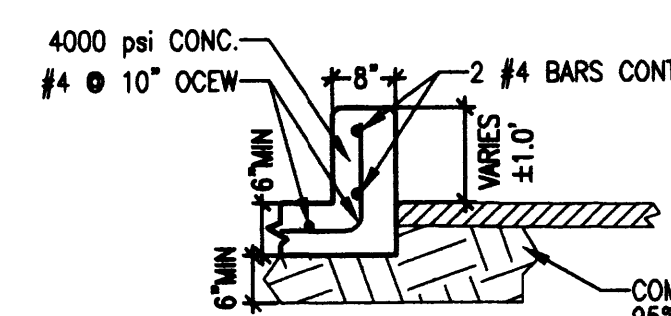
GRADING DETAIL 3



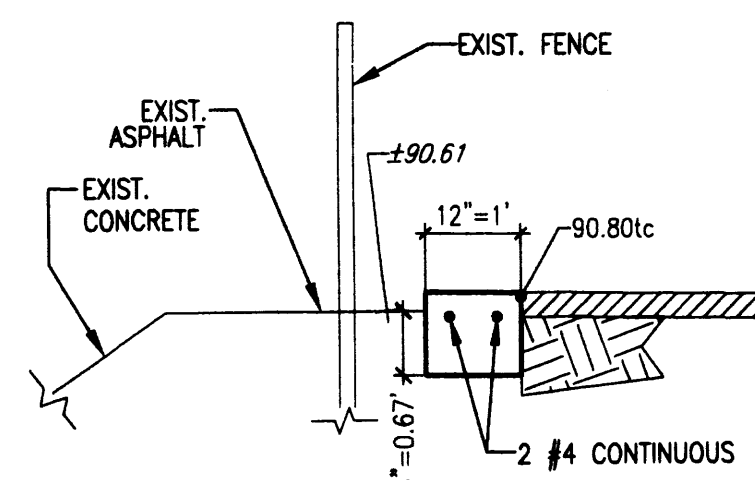
PIPE TRIM DETAILS (NTS)



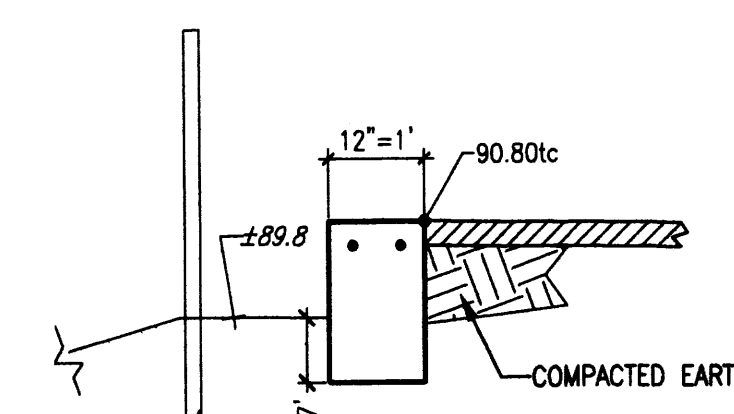
SECTION A-A (NTS)



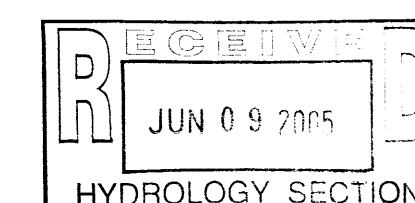
SECTION D-D (NTS)
USE EPOXY-COATED BARS THIS ITEM



SECTION B-B 1/2\"/>



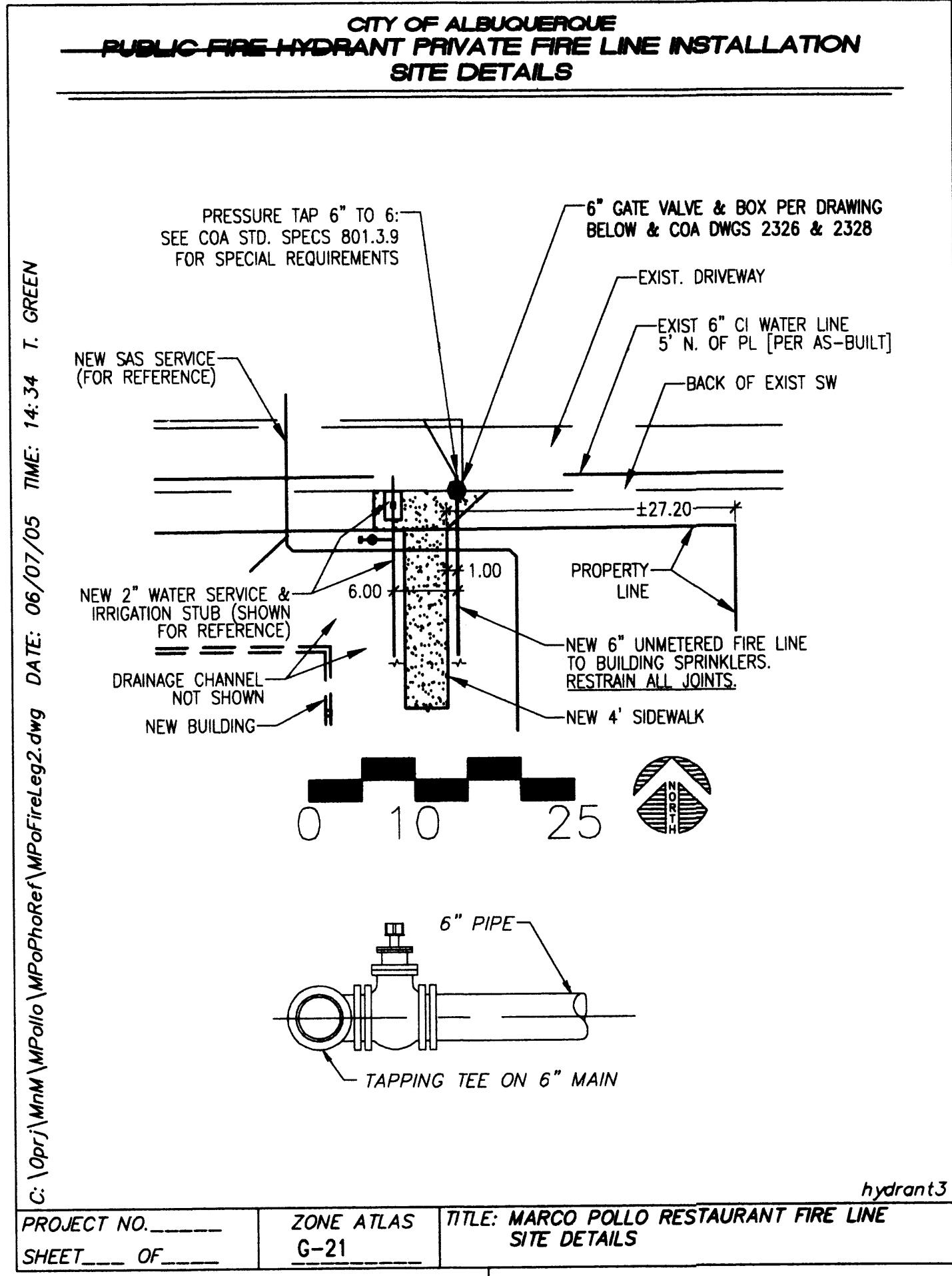
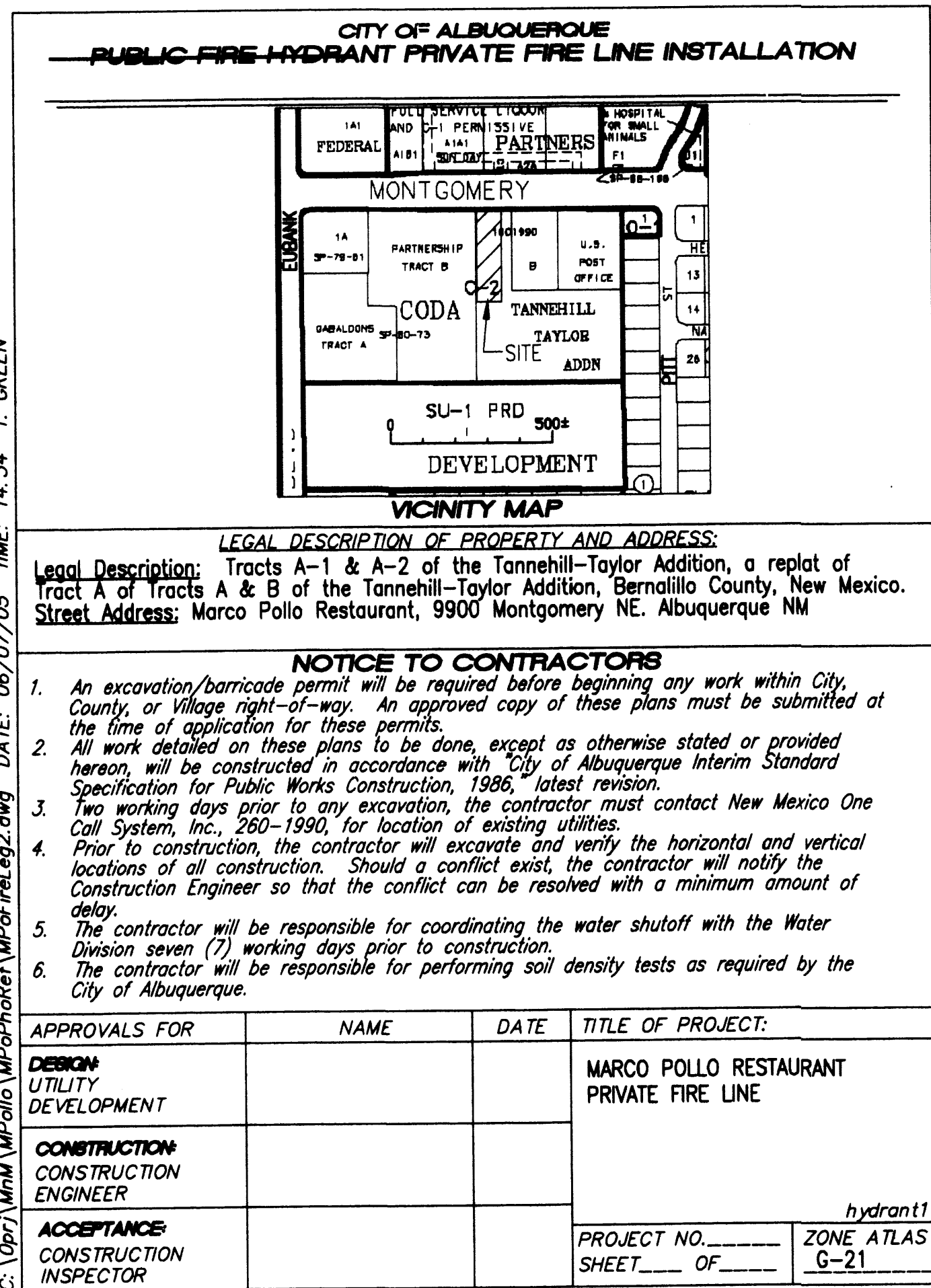
SECTION C-C 1/2\"/>



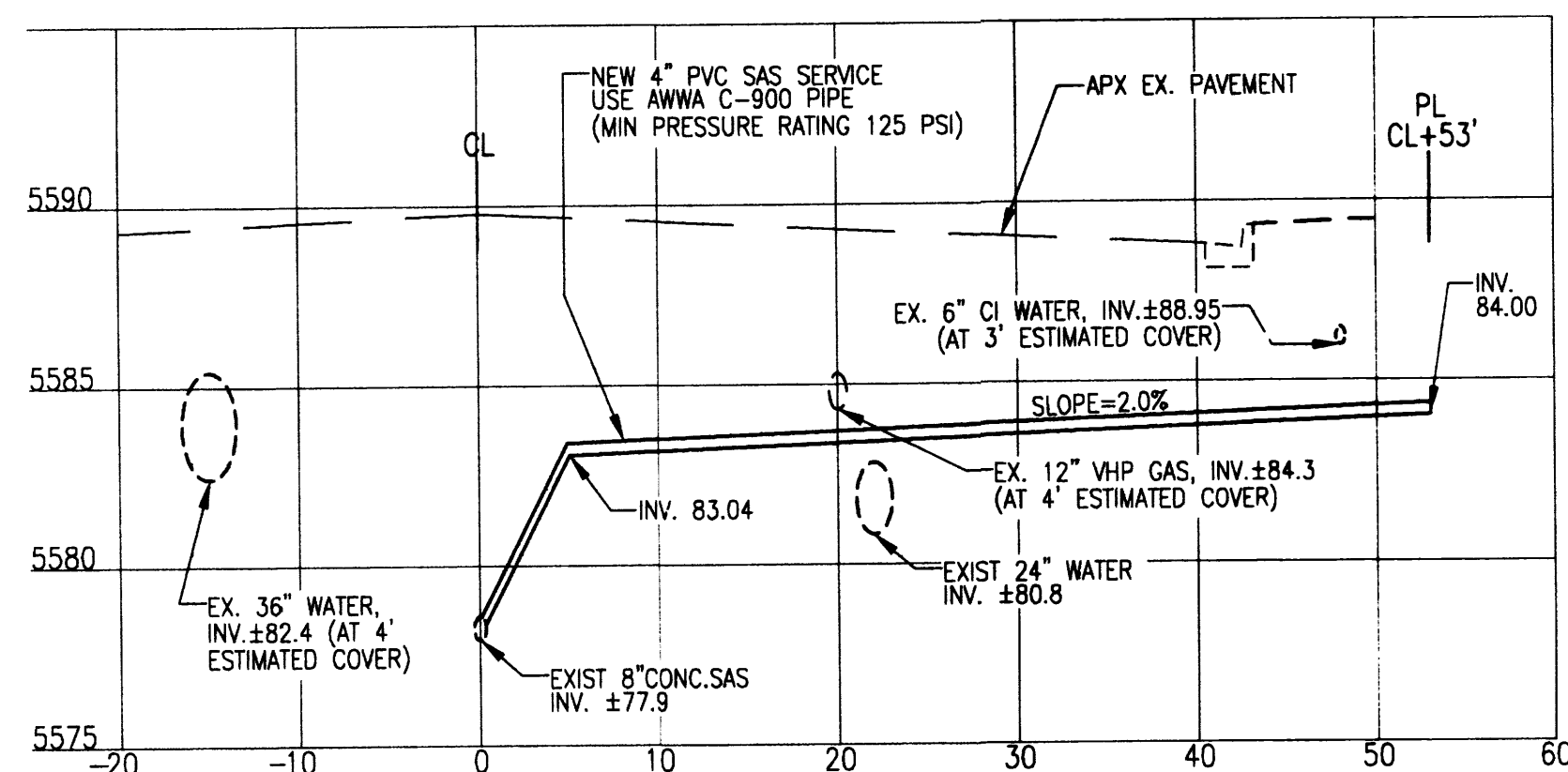
MARCO POLLO RESTAURANT
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SHEET
C3 OF

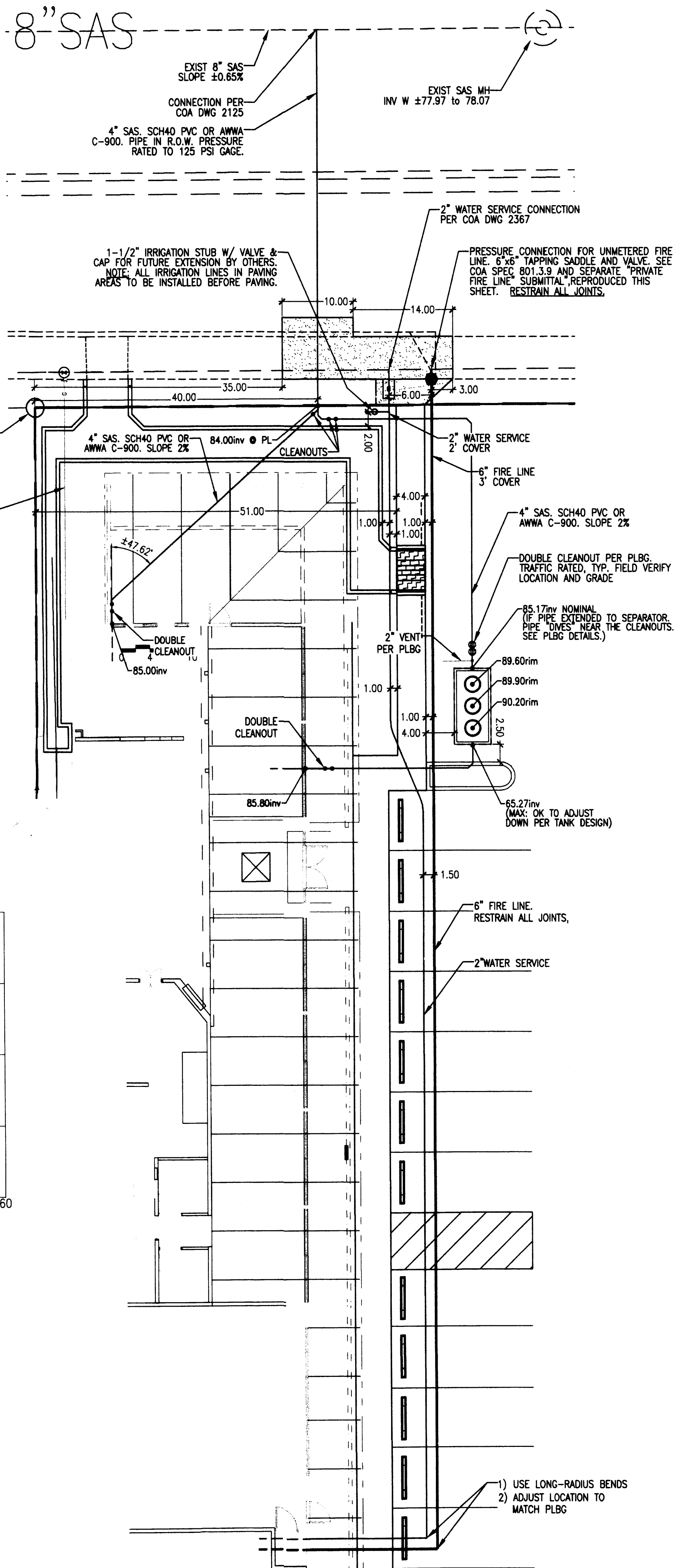
C:\Opri\MinM\MPollo\MPoPhoRef\MPoFireLeg2.dwg DATE: 06/07/05 TIME: 14:34 T. GREEN



NOTE:
THE 3 FIRE LINE CONNECTION SHEETS ARE INCLUDED HERE FOR CONVENIENCE ONLY. IN CASE OF A CONFLICT WITH THE SHEETS SUBMITTED TO THE CITY, CONSULT WITH THE ENGINEER FOR A RESOLUTION BUT EXPECT THE SHEETS SUBMITTED TO THE CITY TO GOVERN.



1. CONSULT WITH THE GAS COMPANY (PNM) AND THE CITY WATER DEPARTMENT BEFORE MAKING THIS CONNECTION. EXPECT THESE GROUPS TO HAVE REPRESENTATIVES ON HAND DURING CONSTRUCTION.
2. IMMEDIATELY VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF THE GAS AND WATER LINES. THIS MAY REQUIRE "POTHOLING" OR "SOFT-DIGGING".
3. PER CITY OF ALBUQUERQUE STANDARDS, WORK IN THE ARTERIAL (MONTGOMERY) RIGHT-OF-WAY REQUIRES 24-HOUR CONSTRUCTION. PERMISSION TO VARY FROM THIS TO BE OBTAINED IN WRITING FROM THE APPROPRIATE CITY OFFICIAL.
4. HORIZONTAL LOCATIONS OF EXISTING UTILITIES BASED ON CITY OF ALBUQUERQUE AS-BUILT (RECORD DRAWINGS).
5. VERTICAL LOCATIONS OF THE EXISTING SAS LINE AND THE 24" WATER LINE ARE BASED ON AS-BUILT DRAWINGS.
6. VERTICAL LOCATIONS OF THE 12" VHP GAS LINE, THE 36" WATER LINE, AND THE 6" CI WATER LINE ARE BASED ON "USUAL" DEPTHS ONLY.
7. IF THE SERVICE CANNOT BE INSTALLED AS SHOWN, CONSULT WITH THE ENGINEER FOR A SOLUTION. THE ENGINEER WILL CONSULT WITH THE CITY AND POSSIBLY WITH PNM.



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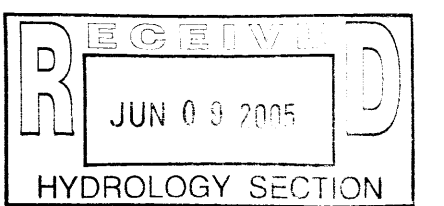
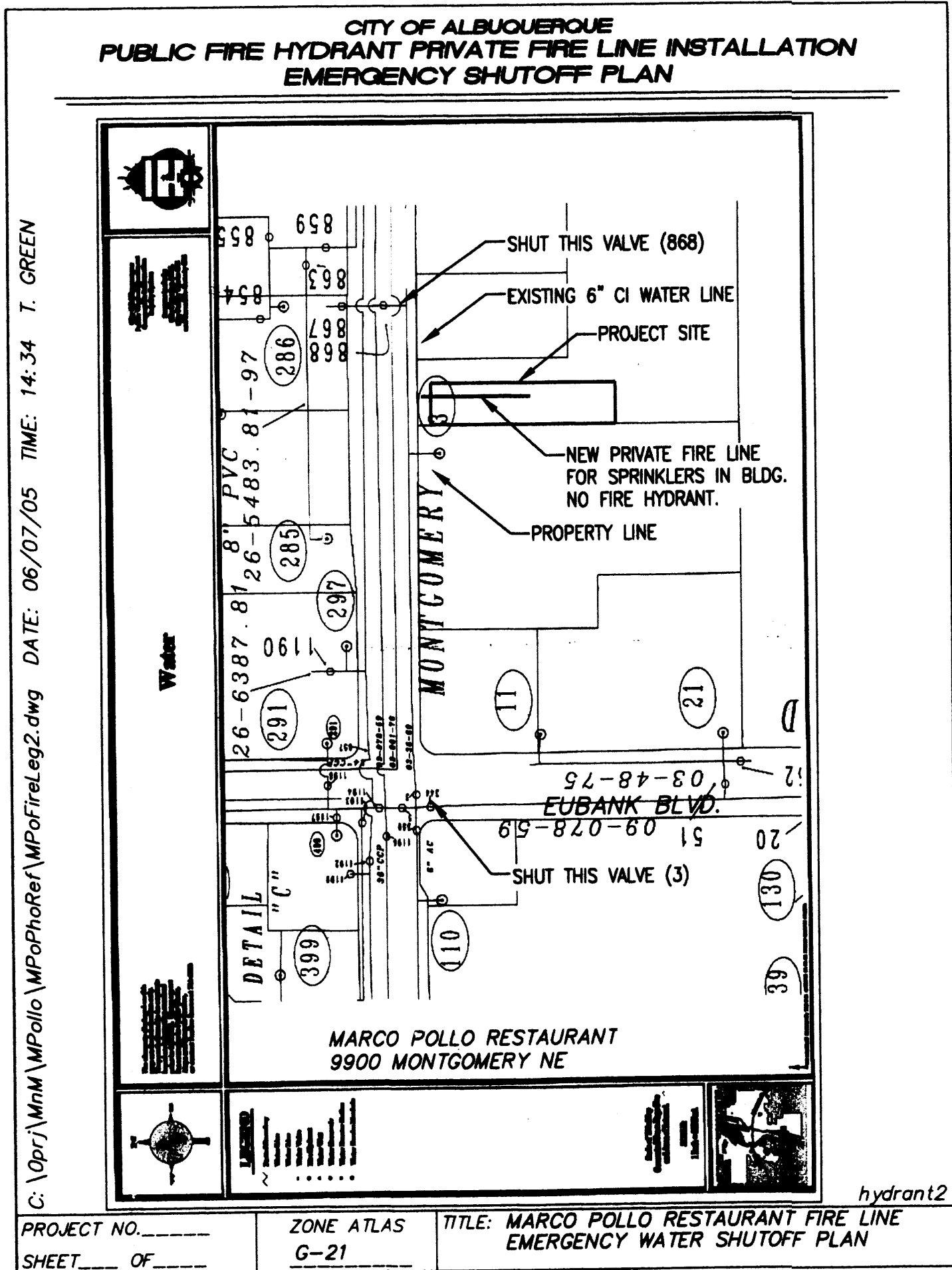
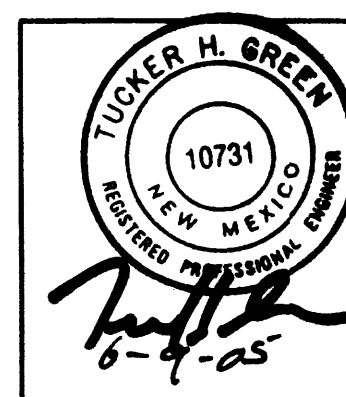


IMAGE: C:\Opri\MinM\MPollo\MPoPhoRef\g-21.tif
IMAGE: C:\Opri\MinM\MPollo\MPoPhoRef\MPoShutOff.TIF
C:\Opri\MinM\MPollo\MPoDr8.dwg DATE: 06/09/05 TIME: 06:29 T. GREEN



MARCO POLLO RESTAURANT 9900 MONTGOMERY NE, ALBUQUERQUE, NM	
UTILITIES	
PER SE ENGINEERING Drainage, Utilities, and Site Design 2116 Lead Ave. SE Albuquerque NM, 87106 (505) 232-9394	
SHEET C4 of	