

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

August 23, 2021

Thomas David
Pan American Engineers, LLC
1717 Jackson St.
Alexandria, LA 71301

RE: **Murphy Express (Montgomery)**
9700 Montgomery Blvd. NE
Permanent Certificate of Occupancy - Accepted
Grading and Drainage Plan Stamp Date: 10/1/20
Certification Dated: 8/15/21
Drainage File: G21D032

Dear Mr. David:

PO Box 1293

Based on the on the certification received on 8/19/21 and site inspection on 8/20/21, this certification is approved in support of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Murphy Express **Building Permit #:** BP-2020-39419 **Hydrology File #:** G21D032
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 1-A of American Bank of Commerce
City Address: 9700 Montgomery Boulevard NE, Albuquerque, NM 87154

Applicant: Pan American Engineers, LLC. **Contact:** Ron Bordelon
Address: 1717 Jackson Street Alexandria, Louisiana 71301
Phone#: (318) 473-2100 **Fax#:** (318) 473-2275 **E-mail:** ron@paealex.com
Owner: Murphy Oil USA, Inc. **Contact:** Terry Rigdon
Address: 200 Peach Street El Dorado, Arkansas 717301
Phone#: (870) 866-7457 **Fax#:** N/A **E-mail:** terry.rigdon@murphyusa.com

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 8-16-2021 **By:** Ron Bordelon

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

