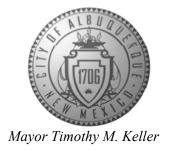
# CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



August 23, 2021

Thomas David Pan American Engineers, LLC 1717 Jackson St. Alexandria, LA 71301

RE: Murphy Express (Montgomery)
9700 Montgomery Blvd. NE
Permanent Certificate of Occupancy - Accepted
Grading and Drainage Plan Stamp Date: 10/1/20

Certification Dated: 8/15/21 Drainage File: G21D032

Dear Mr. David:

PO Box 1293 Based on the on the certification received on 8/19/21 and site inspection on 8/20/21, this

certification is approved in support of Permanent Certificate of Occupancy by Hydrology.

Albuquerque If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

NM 87103 Sincerely,

www.cabq.gov Ernest Armijo, P.E.

Principal Engineer, Planning Dept. Development Review Services



# City of Albuquerque

# Planning Department Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

| Project Title: Murphy Express  | Building Permit #: BP-2020 | -39419 Hydrology File #: G21D032   |
|--|----------------------------|--|
| DRB#:  | EPC#:                      | Work Order#:   |
| Legal Description: Lot 1-A of Americ   |                            |  |
| City Address: 9700 Montgomery Bou  |                            |  |
|  |                            |  |
| Applicant: Pan American Engineers, I   |                            | Contact: Ron Bordelon  |
| Address: 1717 Jackson Street Ale   | exandria, Louisiana 71301  |  |
| Phone#: (318) 473-2100   | Fax#: (318) 473-2275       | E-mail: ron@paealex.com  |
| Owner: Murphy Oil USA, Inc.  |                            | Contact: Terry Rigdon  |
| Address: 200 Peach Street El Dor   |                            | -  |
| Phone#: (870) 866-7457   | Fax#: N/A                  | E-mail: terry.rigdon@murphyusa.com   |
| IS THIS A RESUBMITTAL?: TRAFFIC/ TRAE Check all that Apply:  | NSPORTATION X HYDROLOG     |  |
| TYPE OF SUBMITTAL:  X ENGINEER/ARCHITECT CERTIFICATION  CONCEPTUAL G & D PLAN  GRADING PLAN  DRAINAGE MASTER PLAN  DRAINAGE REPORT  FLOODPLAIN DEVELOPMENT PE  ELEVATION CERTIFICATE  CLOMR/LOMR  TRAFFIC CIRCULATION LAYOUT  TRAFFIC IMPACT STUDY (TIS)  OTHER (SPECIFY)  PRE-DESIGN MEETING? |                            | APPROVAL/ACCEPTANCE SOUGHT: DING PERMIT APPROVAL DIFICATE OF OCCUPANCY MINARY PLAT APPROVAL PLAN FOR SUB'D APPROVAL PLAN FOR BLDG. PERMIT APPROVAL DIAT APPROVAL DELEASE OF FINANCIAL GUARANTEE DATION PERMIT APPROVAL DING PERMIT APPROVAL DING PERMIT APPROVAL DING/PAD CERTIFICATION CORDER APPROVAL DIR/LOMR DPLAIN DEVELOPMENT PERMIT R (SPECIFY) |
| DATE SUBMITTED: 8-16-2021  | -                          |  |
| COA STAFF:   | ELECTRONIC SUBMITTAL RECE  | IVED:  |

FEE PAID:\_\_\_

B. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND GROUND COVER ESTABLISHED. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT

C. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. AND WHERE POSSIBLE. MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION

D. REFER TO GEOTECHINCAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND

E. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.

F. ALL HDPE PIPE IN SANDY OR HIGHLY EROSIVE, OR EXPANSIVE SOILS SHALL BE N-12 WT IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATERTIGHT ACCORDING TO ASTM D3212 (OR AASHTO M252, M294) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WE IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST

G. ALL OTHER HDPE PIPE SHALL BE N-12 ST IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. 4"-48" SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S OR SP) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "n" DESIGN VALUE OF 0.012. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATIONS FOR ADS N-12 ST IB PIPE FOUND IN THE ADS, INC. HAND

DETENTION/RETENTION SYSTEMS, THE PERFORATION SHALL MEET THE AASHTO CLASS II STANDARD PERFORATION PATTERN REQUIREMENTS.

ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 TYPE III UNLESS OTHERWISE INDICATED.

TYPE II OF AASHTO M 36 GALVANIZED WITH TYPE 3 JOINTS.

K. CONTRACTOR SHALL ESTABLISH GRADES OF FINISH PAVEMENT TO ENSURE PROPER (POSITIVE) DRAINAGE AND PREVENT PUDDLING OF WATER, SPECIALLY IN PEDESTRIAN WALKWAYS. UNPAVED AREAS OF SITE SHALL ALSO BE GRADED FOR

27B SIDEWALK TRENCH DRAIN

28A STORM SEWER TRENCH & BEDDING



Storm Drain Manhole

Sanitary Sewer Line

——COM — Underground Communications Line

———E —— Underground Electric line

Water Meter

Water Valve

Sanitary Sewer Manhole

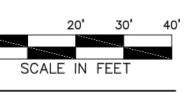
EXISTING

PROPOSED

XX.XX

= = = =

GENERAL GRADING NOTES



Cable Pedstal Electric Pedstal Utility Vault Traffic Box Utility Box

Fiber Optic Box Light Pole Bollard

Concrete Symbol R.T.D.M. Raised Truncated Dome Ma Control Point

XX.XX TOI = TOP OF ISLAND XX.XX = FINISHED GRADEDRAINAGE SLOPE AND DIRECTION CONSTRUCTION FENCE (SEE DETAIL SHEETS)

A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN, OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSING AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM

OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE

SHALL BE STABILIZE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE

BOUNDARY LINE

CONTOUR ELEVATIONS SWALE/FLOW DIRECTION

XX.XX TC = TOP OF CURB

XX.XX G = GUTTER

PROPOSED STORM PIPE

SPOT ELEVATIONS:

TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

CONSIDERATIONS.

H. IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND

J. CORRUGATED METAL PIPE, WHERE SPECIFICALLY SPECIFIED ON PLAN, SHALL BE

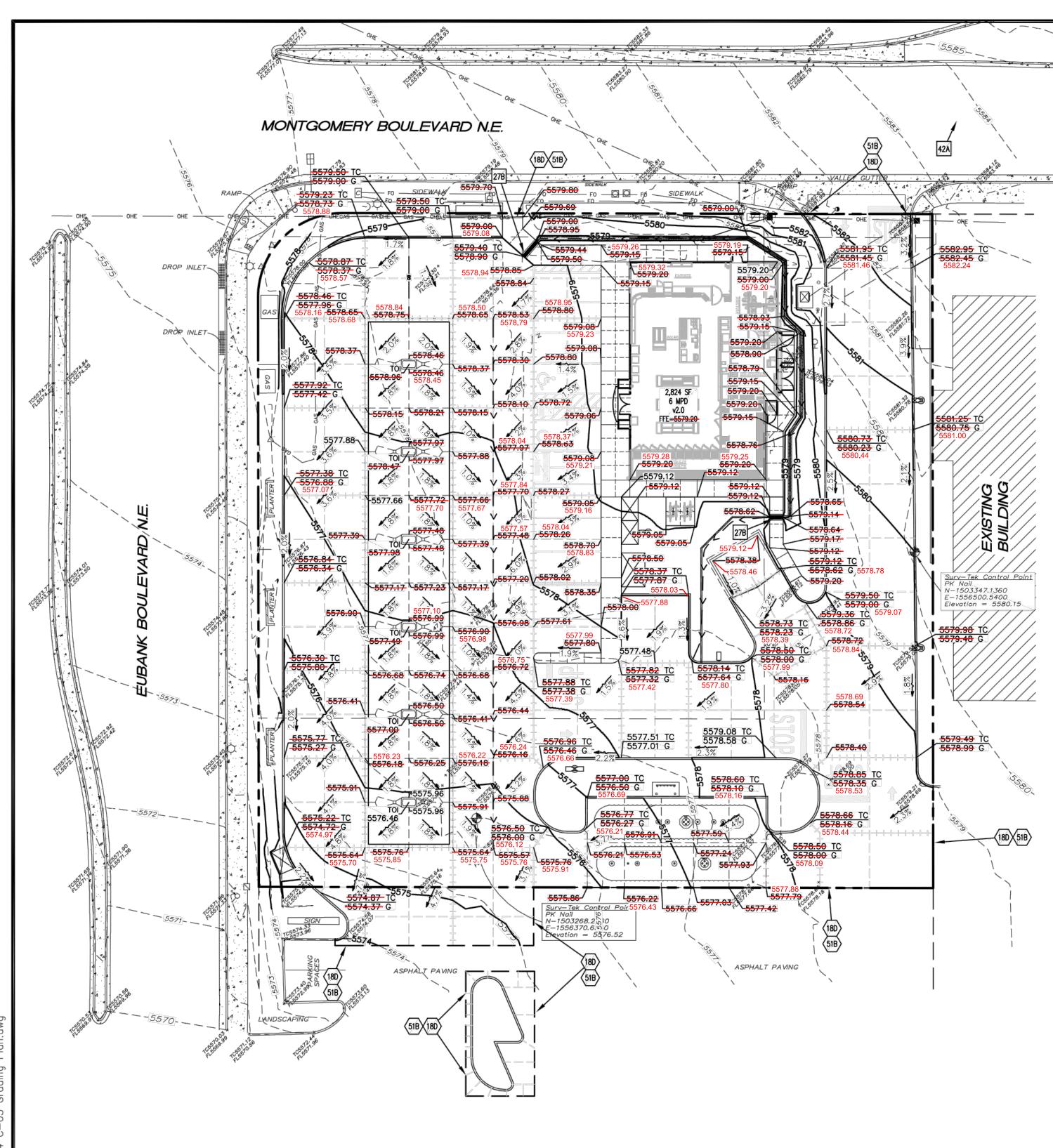
POSITIVE DRAINAGE. CONSULT ENGINEER SHOULD THEIR BE CONFLICTS WITH CRITICAL GRADES SHOWN HEREON.

18D MATCH EXISTING PAVEMENT ELEVATIONS

51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL

GRADING DETAILS

42A FRENCH DRAIN



## DRAINAGE CERTIFICATION

I, Thomas C. David, Jr., NMPE 24592, OF THE FIRM, Pan American Engineers, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/1/20. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THE SITE AS-BUILT SURVEY PREPARED BY BRIAN MARTINEZ, NMPS 18374, OF THE FIRM CSI-CARTESIAN SURVEYS INC. I FURTHER CERTIFY THAT I HAVE REVIEWED SITE PICTURES OF THE PROJECT SITE AND CONTRACTOR REDLINES AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE INFORMATION PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

particularly described as follows:

LEGAL DESCRIPTION As listed within the Title Commitment prepared for this property by Old Republic National Title Insurance Company, Commitment 2005786, commitment date July 16,

VICINITY MAP

PK NAIL

ELEVATION=5580.15

ELEVATION=5576.52

ALL CASTINGS SHALL BE COATED

WITH BLACK ASPHALTIC VARNISH

MURPHY OIL USA, INC. HAS ELECTED

"STORMWATER QUALITY VOLUME" OF

697 CUBIC FEET BUT INSTEAD WILL PAY

TO NOT PROVIDE THE REQUIRED

THE "PAYMENT IN LIEU" OF \$5,576

A certain tract of land situate within Section 4, Township 10 North, Range 4 East, of the New Mexico Principal Meridian, Bernalillo County, New Mexico, being and comprising "Lot 1-A" as such lot is shown and so designated on the Plat of American Bank of Commerce Lot 1-A, filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 5, 1979, Vol. C14, Folio 131, and being more

Beginning at the northeast corner of the tract herein described, whence A.C.S. Monument "M-1A" bears N 44° 49' 12" E, 73.42 feet and running; thence,

S 00° 35' 49" W, 200.00 feet to the southeast corner (a found #4 rebar in asphalt);

N 89° 13' 41" W, 200.00 feet to the southwest corner (a found #5 rebar) and being a point on the easterly right-of-way of Eubank Blvd NE; thence, following said right-of-way,

N 00° 35' 49" E, 174.92 feet to a point of curvature; thence, leaving the easterly

right-of-way of Eubank Blvd NE Northeasterly, 39.35 feet along the arc of a curve bearing to the right, said arc

having a radius of 25.00 feet and a delta of 90° 10' 34" to a point of tangency, being a point on the southerly right-of-way of Montgomery Blvd NE, and following said right-of-way

S 89° 13' 41" E, 174.92 feet to the northeast corner and point of beginning of the tract herein described.

# FLOOD ZONE DETERMINATION

The subject property (as shown hereon) appears to lie within Zone "X" (areas determined to be outside 0.2% annual chance floodplain) in accordance with the National Flood Insurance Program Rate Map No. 35001C0143G, Effective Date 9-26-2008.

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EACH S'

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