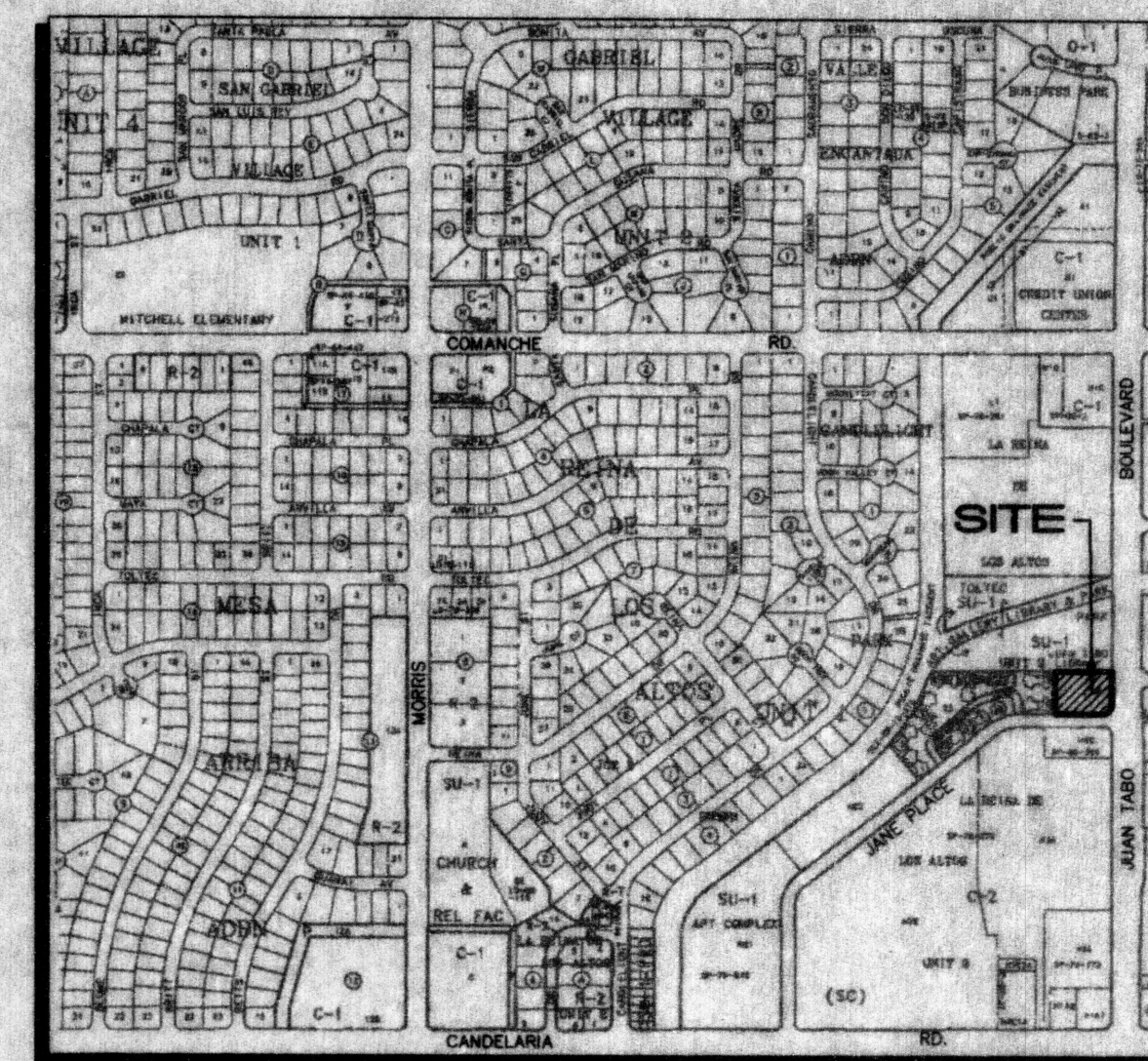
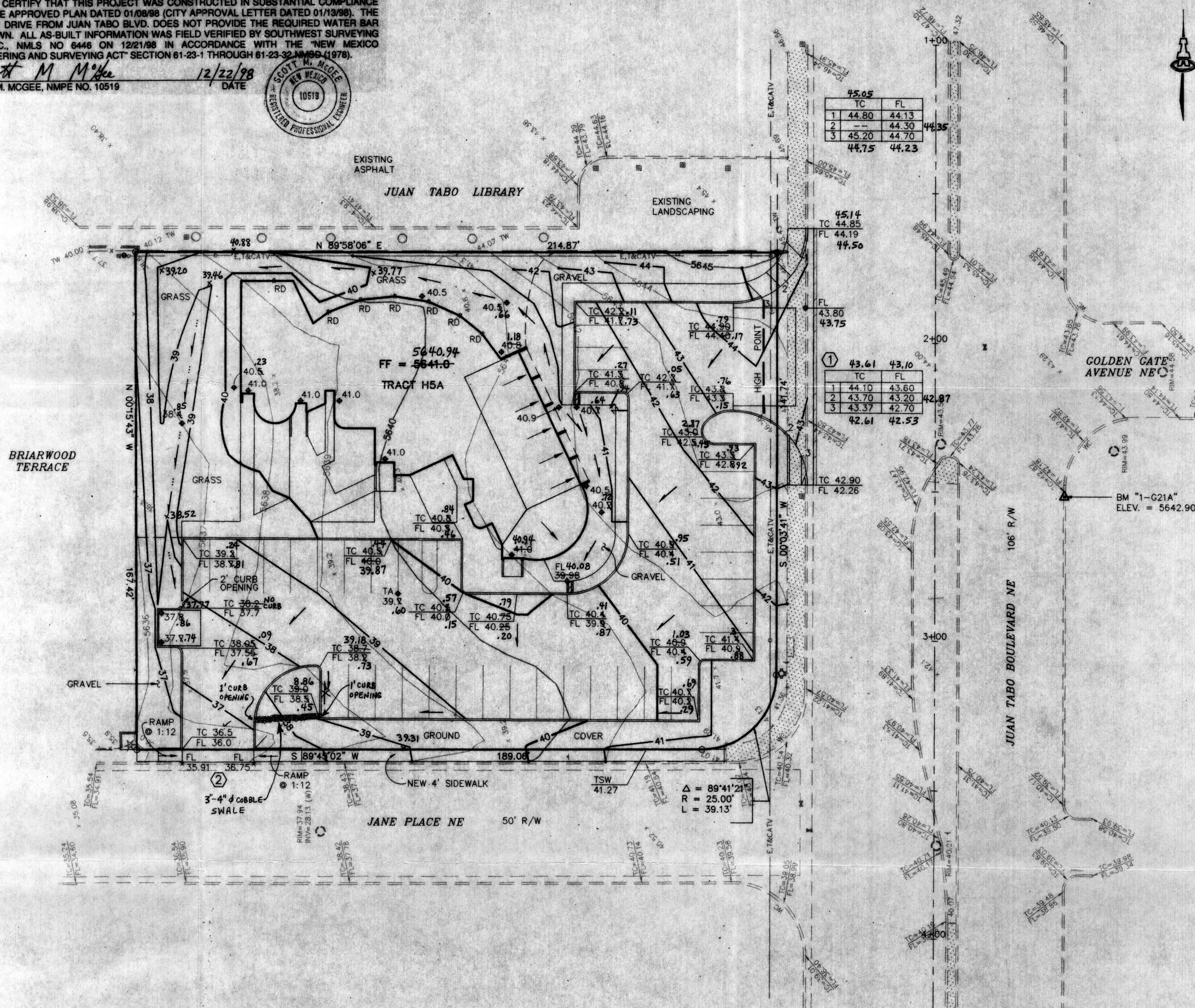


ENGINEER'S CERTIFICATION
I, SCOTT M. MCGEE, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO
HEREBY CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL COMPLIANCE
WITH THE APPROVED PLAN DATED 01/08/98 (CITY APPROVAL LETTER DATED 01/13/98). THE
PRIVATE DRIVE FROM JUAN TABO BLVD. DOES NOT PROVIDE THE REQUIRED WATER BAR
AS SHOWN. ALL AS-BUILT INFORMATION WAS FIELD VERIFIED BY SOUTHWEST SURVEYING
CO., INC. NMLS NO 6448 ON 12/21/98 IN ACCORDANCE WITH THE "NEW MEXICO
ENGINEERING AND SURVEYING ACT" SECTION 61-23-1 THROUGH 61-23-32 N.M.S.A. (1978).

Scott M. McGee 12/22/98
SCOTT M. MCGEE, NMPE NO. 10519 DATE



LEGAL DESCRIPTION: TRACT H5A, LA REINA DE LOS ALTOS

AREA = 0.82 AC
35,743 SF

BENCHMARK: "1-G21A"
ELEVATION = 5642.90

FLOOD ZONE DESIGNATION: PANEL 357 OF THE FIRM (9-20-96) SHOWS
THIS SITE WITHIN ZONE 'X' WHICH IS DETERMINED TO BE OUTSIDE THE
500-YEAR FLOOD PLAIN.

EXISTING CONDITIONS: THE SITE IS AN UNDEVELOPED LOT THAT DRAINS
FROM NORTHEAST TO THE SOUTHWEST. THE SITE DOES NOT ACCEPT ANY
FLOWS FROM THE DEVELOPED LOT LOCATED TO THE NORTH. THE TRACT
FRONTS FULLY DEVELOPED CITY STREETS BEING JUAN TABO BOULEVARD
TO THE EAST AND JANE PLACE TO THE SOUTH.

PROPOSED CONDITIONS: THE TRACT IS SCHEDULED TO BE DEVELOPED
FOR A SINGLE OFFICE BUILDING. DEVELOPED FLOWS WILL CONTINUE TO
FLOW TO THE SOUTHWEST, EXITING THE PROPERTY THROUGH THE DRIVEWAY
ON JANE PLACE. THE MAJORITY OF THE RUNOFF WILL BE ROUTED
THROUGH THE LANDSCAPED AREA ALONG THE SOUTH SIDE OF THE
SITE. THE PEAK FLOW WILL BE ABATED AND THEN FLOW OUT ONTO
THE JANE PLACE DRIVE.

EXISTING CONDITIONS:
LAND TREATMENT: 100% A
 $Q_{100} = (0.82)(2.20) = 1.8$ CFS

PROPOSED HYDROLOGY:
PRECIPITATION ZONE: 4
DESIGN STORM: 100YR-6HR, D = 2.90 INCHES

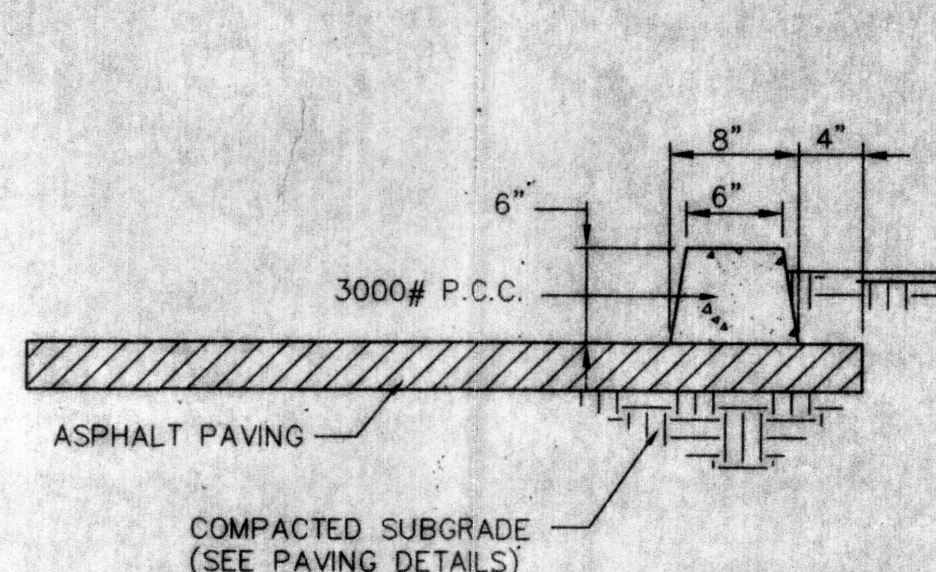
LAND TREATMENTS:
B : 15% , C : 15% , D : 70%
 $Q_{100} = [(15)(2.92) + (15)(3.73) + (70)(5.25)]0.82 = 3.8$ CFS

RUNOFF IS CARRIED SOUTHWEST ON JANE PLACE TO CANDELARIA. FLOWS
THEN TURN AND PROCEED WEST APPROXIMATELY 400 FT WHERE THEY
ENTER THE EMBUDITO CHANNEL.

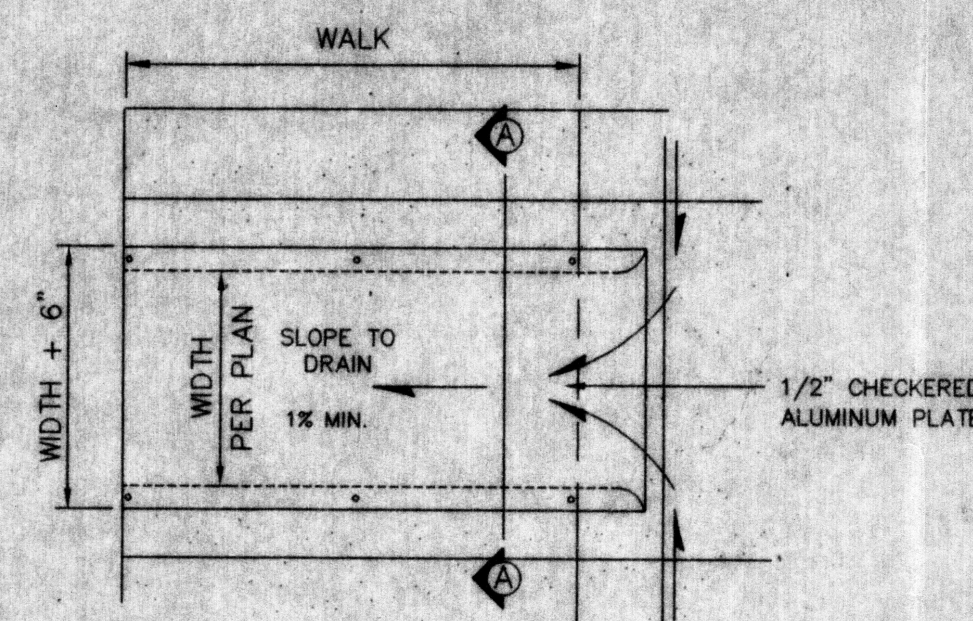
KEYED NOTES:

- CUT, REMOVE AND DISPOSE OF 58 SY PCC CONCRETE, 86 LF
OF STANDARD CURB & GUTTER, AND 11 SY OF ARTERIAL PAVEMENT.
- 24 LF DRIVEWAY CURB CUT WITH 8' FLARE (WEST) AND 16' FLARE
(EAST) FOR SIDEWALK RAMP.

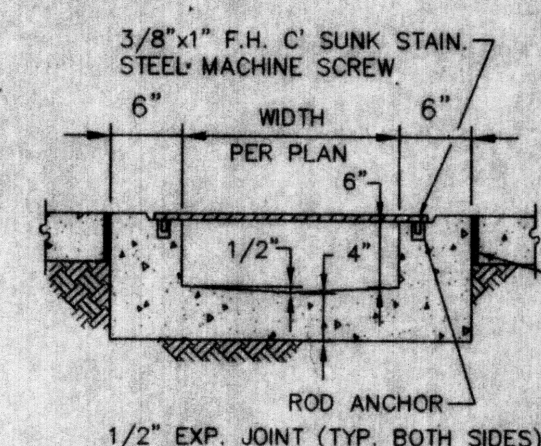
1-8-98 NOTE: CURB OPENINGS CLOSED, ROOF DRAINS
ADDED, & LANDSCAPE TYPE NOTED.



EXTRUDED CONCRETE CURB
NTS



PLAN
SIDEWALK CULVERT
NTS



SECTION A-A

LEGEND	
	EXISTING SPOT ELEVATION
	EXISTING TOP OF CURB ELEVATION FLOW LINE
	EXISTING CONTOUR
	PROPOSED STOP ELEVATION
	PROPOSED CONTOUR
	FLOW ARROW
	FINISH FLOOR ELEVATION
	SIDEWALK CULVERT
	TOP OF CURB ELEVATION FLOWLINE
	PAVING TO BE REMOVED
	12" SIDEWALK CULVERT
	AS-BUILT ELEVATION
	ROOF DRAIN LOCATION

JUAN TABO/JANE PLACE OFFICE BUILDING GRADING & DRAINAGE PLAN

RECEIVED
DEC 22 1998
HYDROLOGY SECTION



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128 Monroe Street N.E.
Albuquerque New Mexico

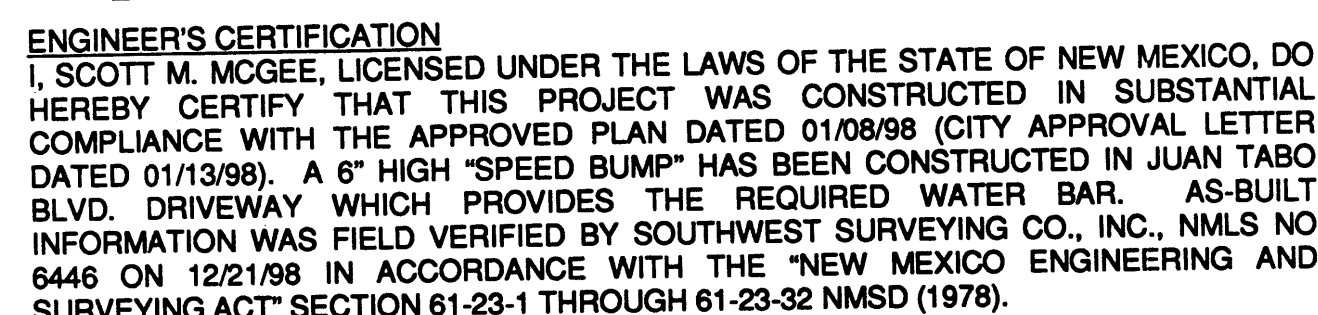
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SHEET 1 OF 1

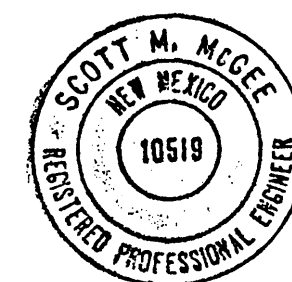
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SCOTT M. MCGEE, NMPE NO. 10519

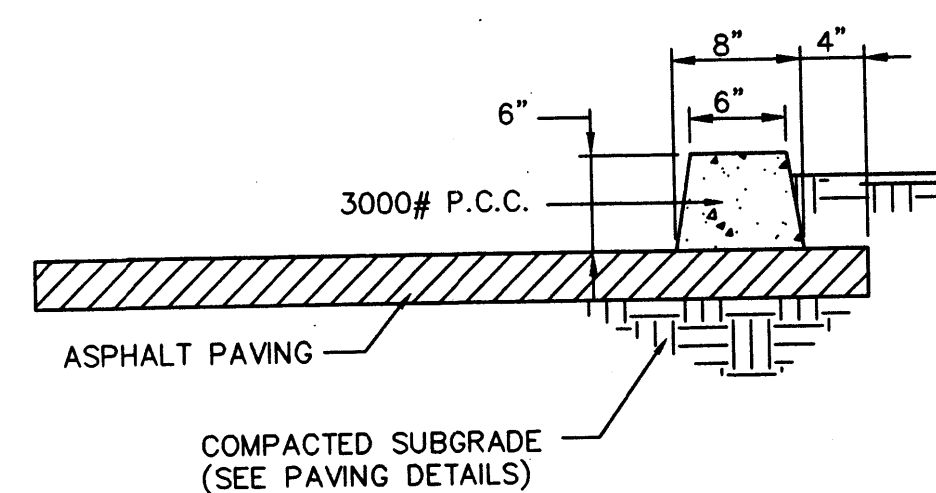
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DATE



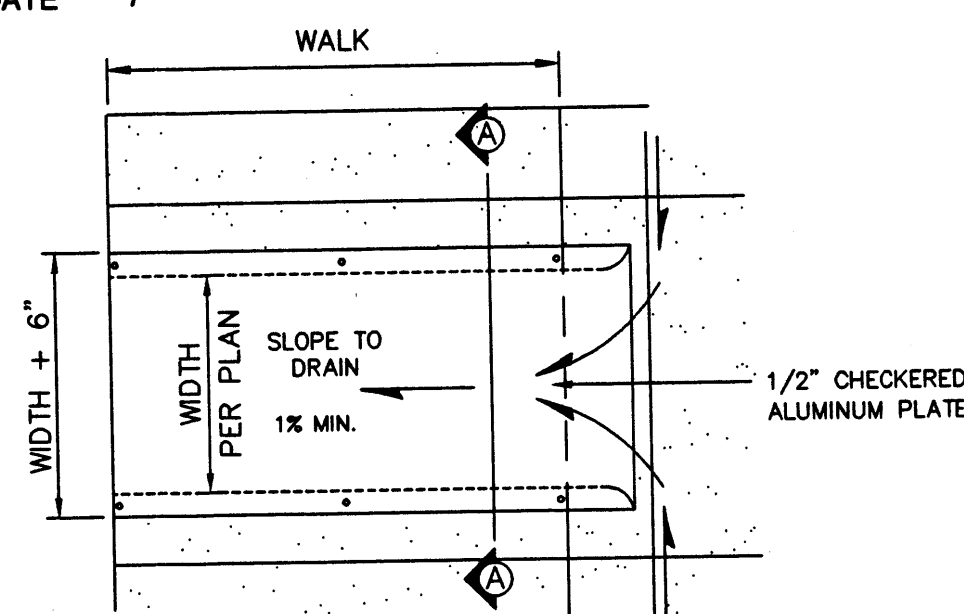
Scott M McGee
SCOTT M. MCGEE, NMPE NO. 10519



DATE 3/31/99

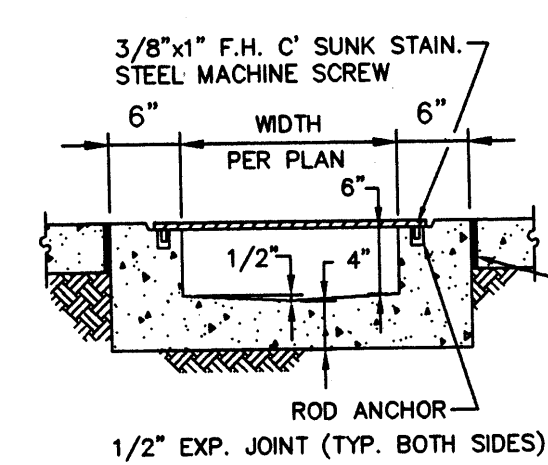


EXTRUDED CONCRETE CURB
NTS



PLAN

SIDEWALK CULVERT
NTS



SECTION A-A



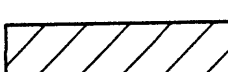

	TC	FL
1	44.80	44.13
2	--	44.30
3	45.20	44.70
	44.75	44.23

	45.14
TC	44.85
FL	44.19
	44.50

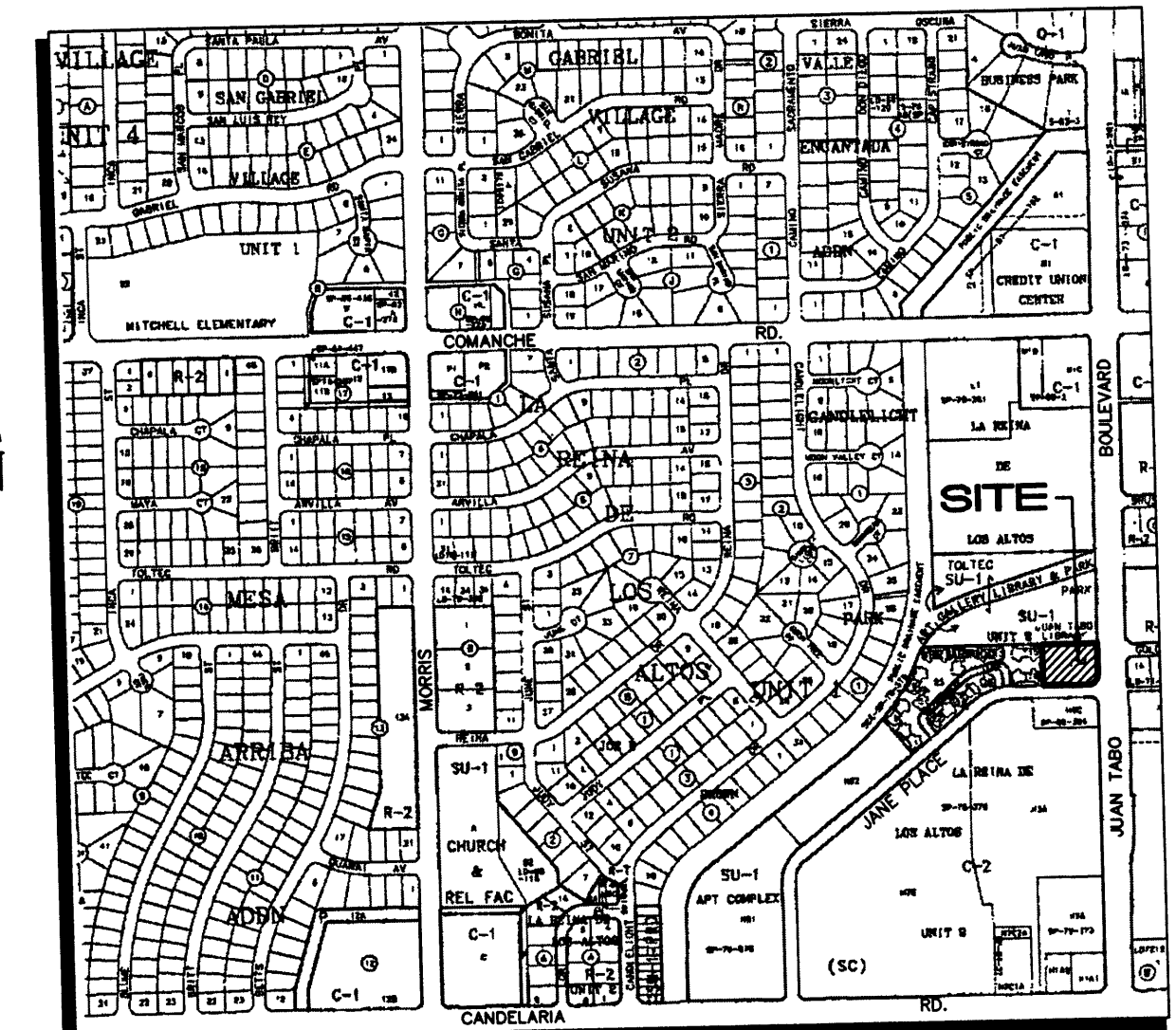
①

	TC	FL
1	44.10	43.60
2	43.70	43.20
3	43.37	42.70
	42.61	42.50

LEGEND

$\times 38.40$
 $\text{TC} = 44.29$
 $\text{FL} = 43.79$
5645
 $\diamond 38.5$
45

FF = 5641.0

 $\text{TC } 81.9$
 $\text{FL } 81.4$


 $\times 39.87$

EXISTING SPOT ELEVATION
 EXISTING TOP OF CURB ELEVATION
FLOW LINE
 EXISTING CONTOUR
 PROPOSED STOP ELEVATION
 PROPOSED CONTOUR
 FLOW ARROW
 FINISH FLOOR ELEVATION
 SIDEWALK CULVERT
TOP OF CURB
FLOWLINE ELEVATION
 PAVING TO BE REMOVED
 12" SIDEWALK CULVERT
 AS-BUILT ELEVATION
 ROOF DRAIN LOCATION



G-21

VICINITY MAP

LEGAL DESCRIPTION: TRACT H5A, LA REINA DE LOS ALTOS

AREA = 0.82 AC
35,743 SF

BENCHMARK: "1-G21A"
ELEVATION = 5642.90

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EXISTING CONDITIONS:
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 $Q_{100} = (0.82)(2.20) = 1.8 \text{ CFS}$

PROPOSED HYDROLOGY:
PRECIPITATION ZONE: 4
DESIGN STORM: 100YR-6HR, D = 2.90 INCHES

LAND TREATMENTS:
B : 15%, C : 15%, D : 70%
 $Q_{\text{ave}} = [(.15)(2.92) + (.15)(3.73) + (.70)(5.25)]0.82 = 3.8 \text{ CFS}$

RUNOFF IS CARRIED SOUTHWEST ON JANE PLACE TO CANDELARIA. FLOWS THEN TURN AND PROCEED WEST APPROXIMATELY 400 FT WHERE THEY ENTER THE EMBUDITO CHANNEL.

KEYED NOTES:

1. CUT, REMOVE AND DISPOSE OF 58 SY PCC CONCRETE, 86 LF OF STANDARD CURB & GUTTER, AND 11 SY OF ARTERIAL PAVEMENT.
2. 24 LF DRIVEWAY CURB CUT WITH 8' FLARE (WEST) AND 16' FLARE (EAST) FOR SIDEWALK RAMPS.

1-8-98 NOTE: CURB OPENINGS CLOSED, ROOF DRAWS
ADDED, & LANDSCAPE TYPE NOTED.

APR 1 1999

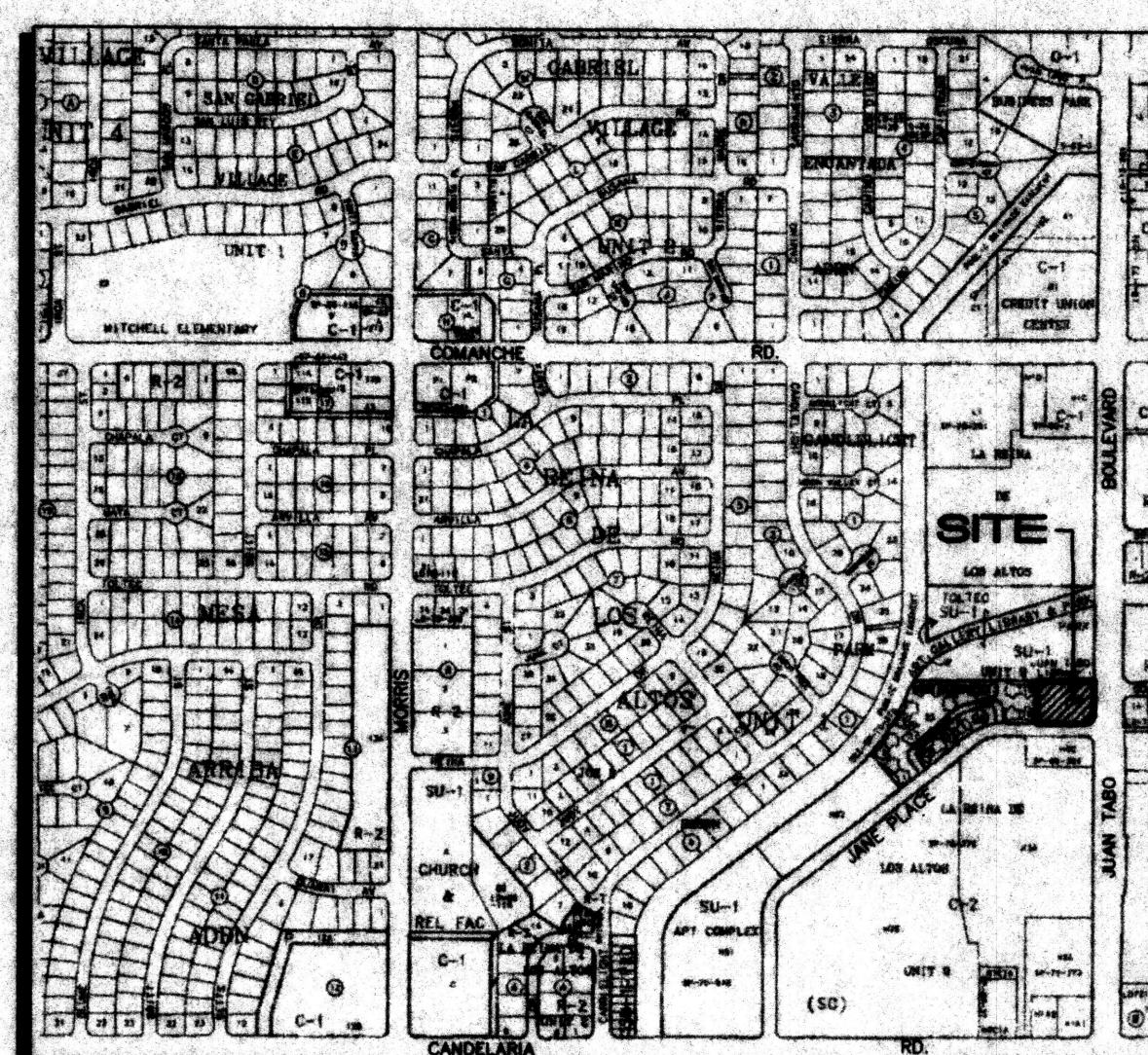
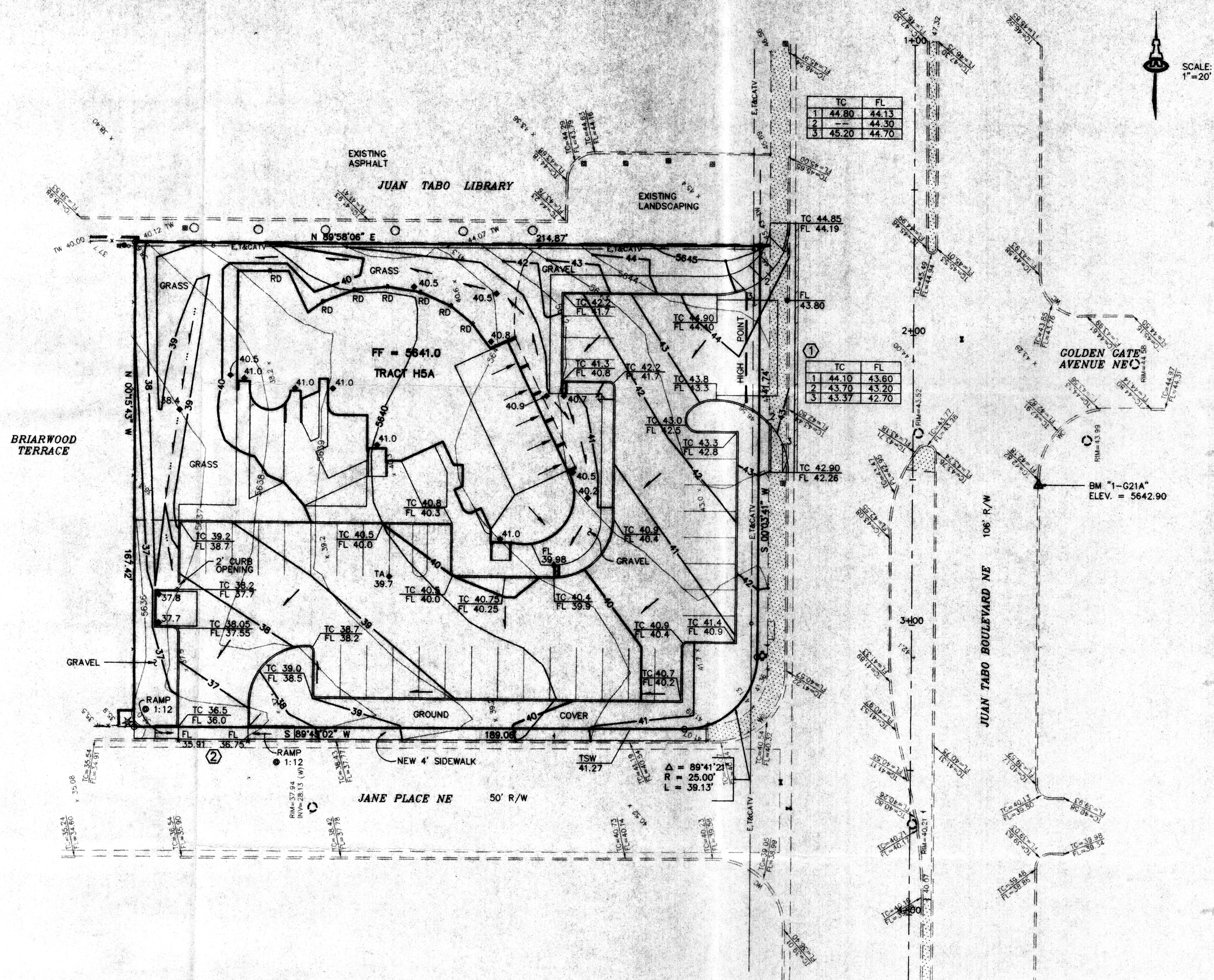
JUAN TABO/JANE PLACE OFFICE BUILDING
GRADING & DRAINAGE PLAN

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

951GRD.DWGdlv	01/08/97
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SHEET 1 OF 1

951-1



G-21
VICINITY MAP
1"=750'

LEGAL DESCRIPTION: TRACT H5A, LA REINA DE LOS ALTOS

AREA = 0.82 AC
35,743 SF

BENCHMARK: "1-G21A"
ELEVATION = 5642.90

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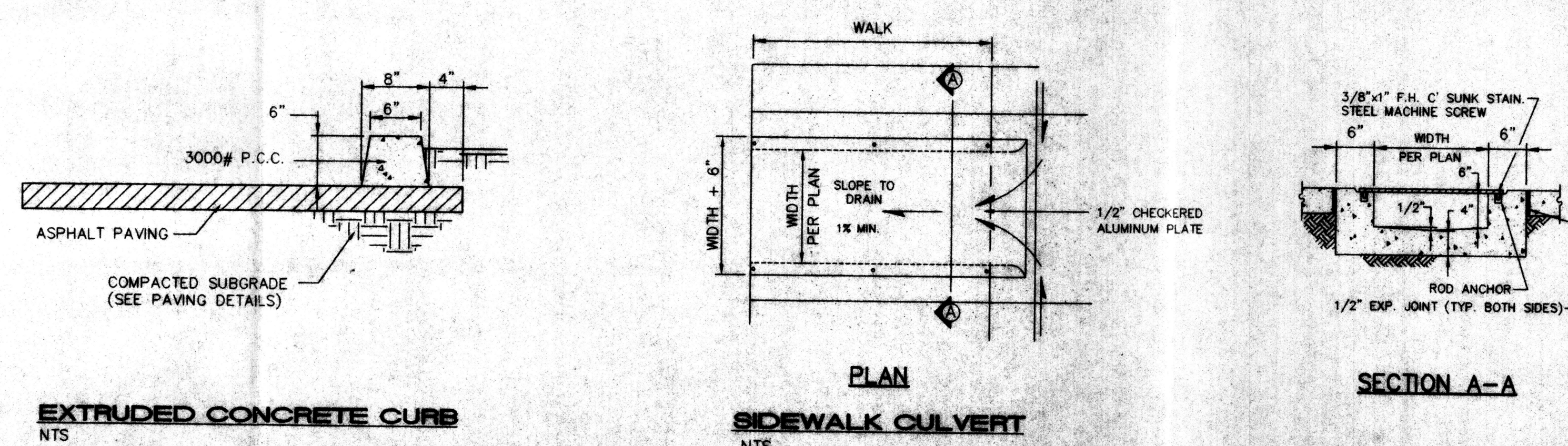
EXISTING CONDITIONS:
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PROPOSED HYDROLOGY:
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DESIGN STORM: 100YR-6HR, D = 2.90 INCHES

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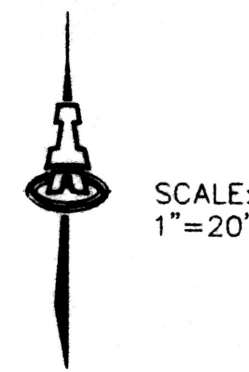
- LEGEND**
- EXISTING SPOT ELEVATION
 - EXISTING TOP OF CURB ELEVATION
 - EXISTING CONTOUR
 - PROPOSED STOP ELEVATION
 - PROPOSED CONTOUR
 - FLOW ARROW
 - FINISH FLOOR ELEVATION
 - SIDEWALK CULVERT
 - TOP OF CURB ELEVATION
 - PAVING TO BE REMOVED
 - 12" SIDEWALK CULVERT
 - ROOF DRAIN LOCATION

**JUAN TABO/JANE PLACE OFFICE BUILDING
GRADING & DRAINAGE PLAN**

1-8-98
SCOTT M. MCCORMICK
NEW MEXICO
10010
JAN 09 1998
951GRD.DWG.dwg
01/08/97

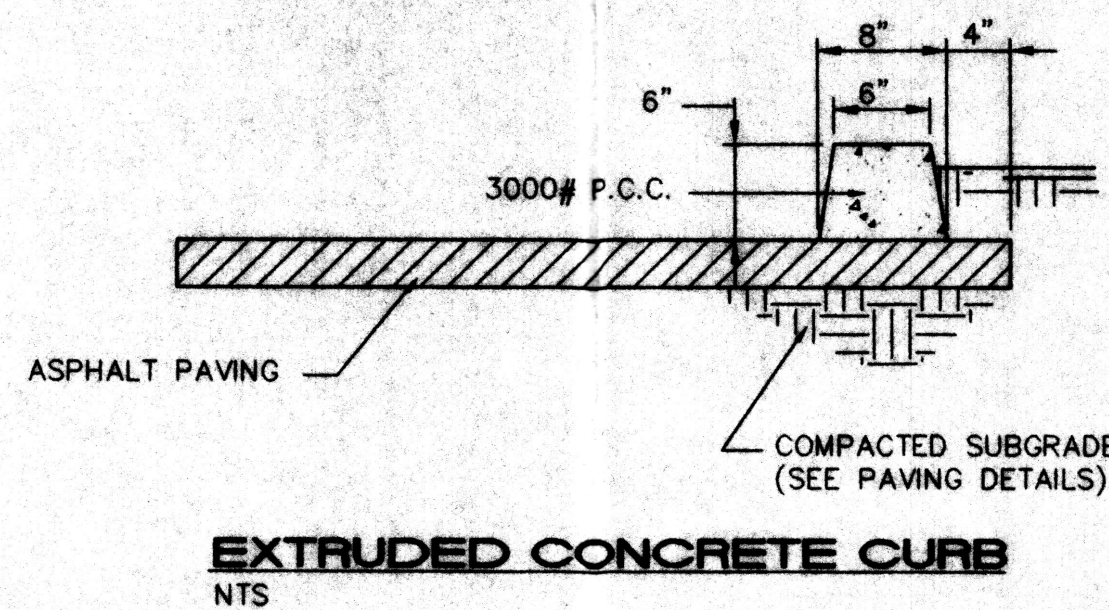
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
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SHEET 1 OF 1

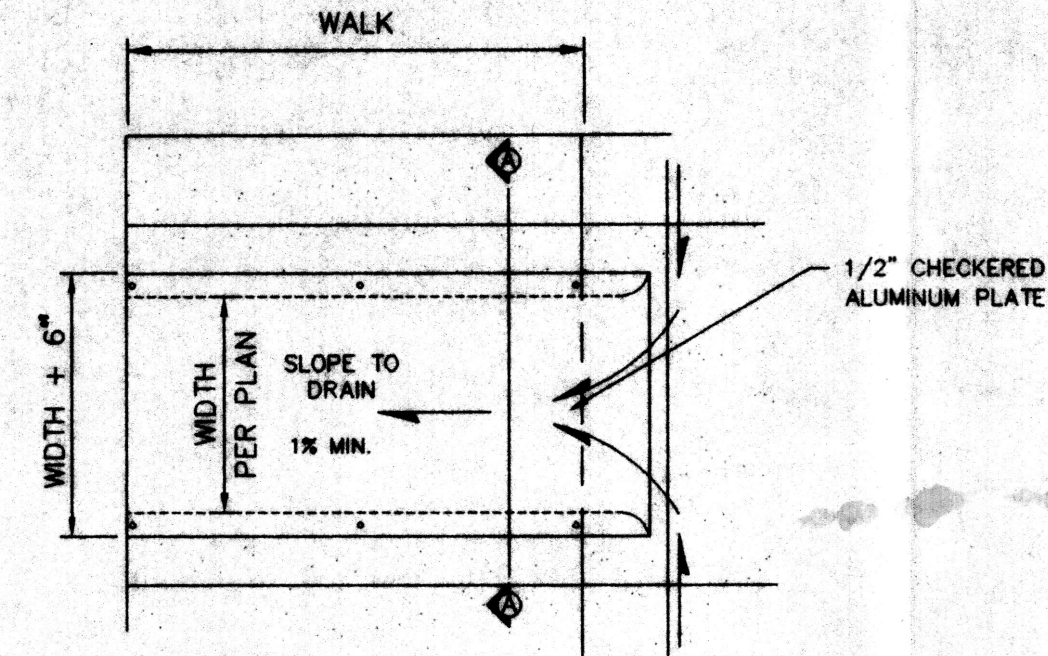


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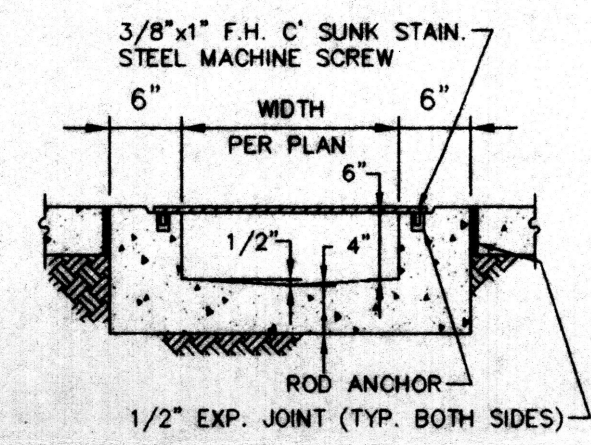
- EXISTING SPOT ELEVATION
- EXISTING TOP OF CURB ELEVATION
- EXISTING CONTOUR
- PROPOSED STOP ELEVATION
- PROPOSED CONTOUR
- FLOW ARROW
- FF = 5641.0
- SIDEWALK CULVERT
- TOP OF CURB ELEVATION
- PAVING TO BE REMOVED
- 12" SIDEWALK CULVERT



EXTRUDED CONCRETE CURB
NTS

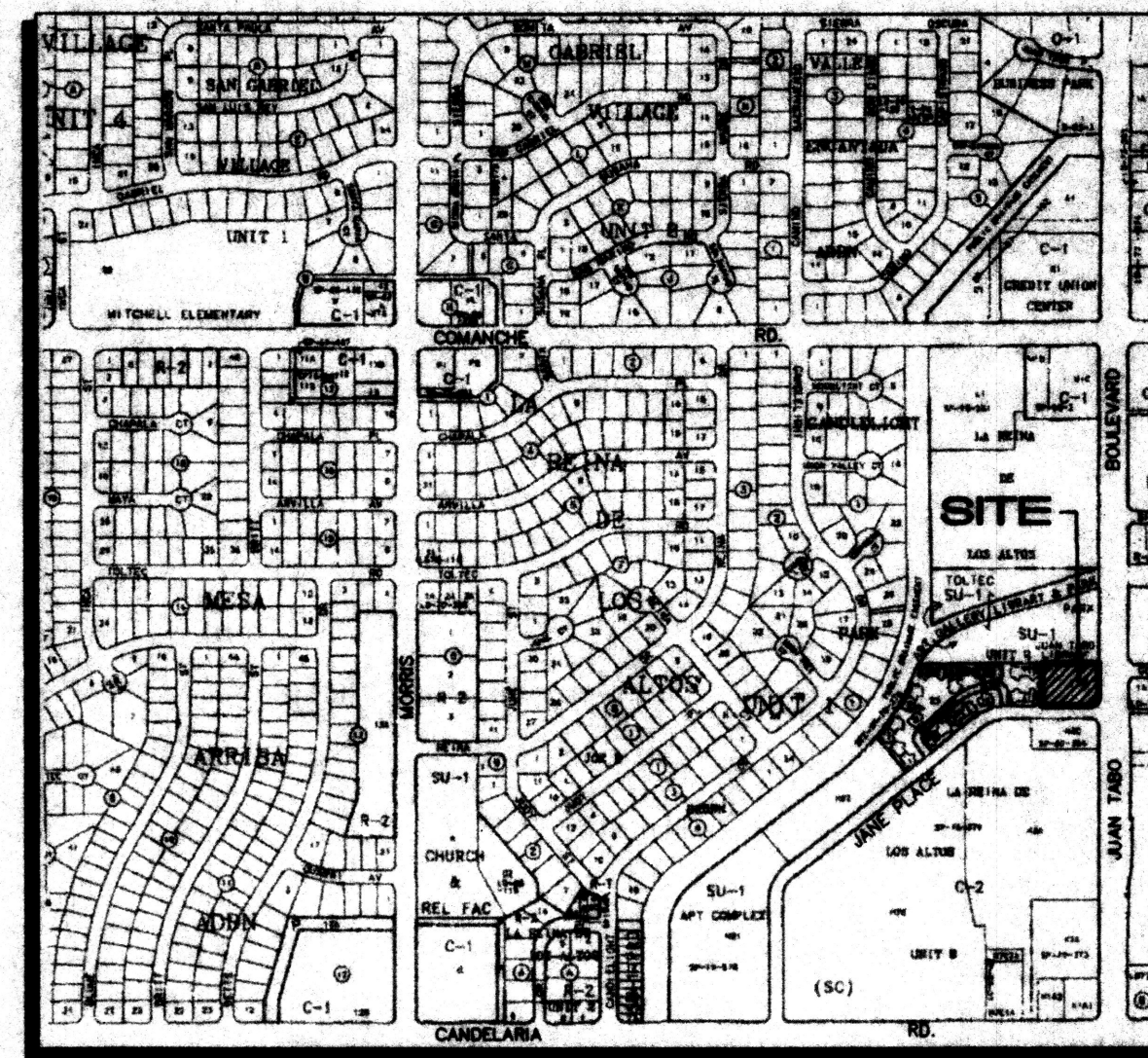


PLAN



SECTION A-A

SIDEWALK CULVERT
NTS



G-21
VICINITY MAP
1"=750'

LEGAL DESCRIPTION: TRACT H5A, LA REINA DE LOS ALTOS

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EXISTING CONDITIONS:
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 $Q_{100} = (0.82)(2.20) = 1.8$ CFS

PROPOSED HYDROLOGY:
PRECIPITATION ZONE: 4
DESIGN STORM: 100YR-6HR, D = 2.90 INCHES

LAND TREATMENTS:
B : 15% , C : 15% , D : 70%
 $Q_{100} = [(1.15)(2.92) + (1.15)(3.73) + (.70)(5.25)](0.82) = 3.8$ CFS

RUNOFF IS CARRIED SOUTHWEST ON JANE PLACE TO CANDELARIA. FLOWS THEN TURN AND PROCEED WEST APPROXIMATELY 400 FT WHERE THEY ENTER THE EMBUDO CHANNEL.

PUBLIC R.O.W. CONSTRUCTION NOTES

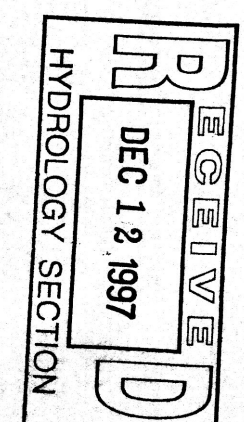
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS PUBLIC WORKS CONSTRUCTION, 1986."
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING LINES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE (RESIDENTIAL).
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

KEYED NOTES:

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- 24 LF DRIVEWAY CURB CUT WITH 8" FLARE(WEST) AND 16" FLARE(EAST) FOR SIDEWALK RAMPS.

APPROVALS	NAME	DATE
HYDROLOGY		
INSPECTOR		
A.C.E./FIELD		
PERMIT NO.	MAP NO.	

G-21



JUAN TABO/JANE PLACE OFFICE BUILDING GRADING & DRAINAGE PLAN



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

951GRD.DWG.drv 12/11/97

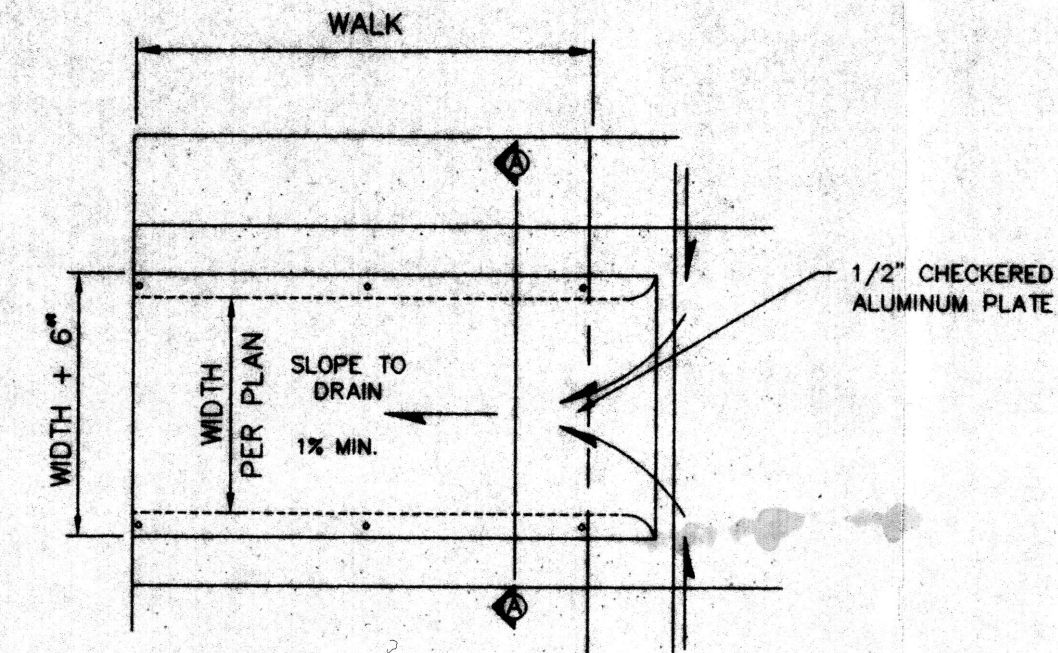
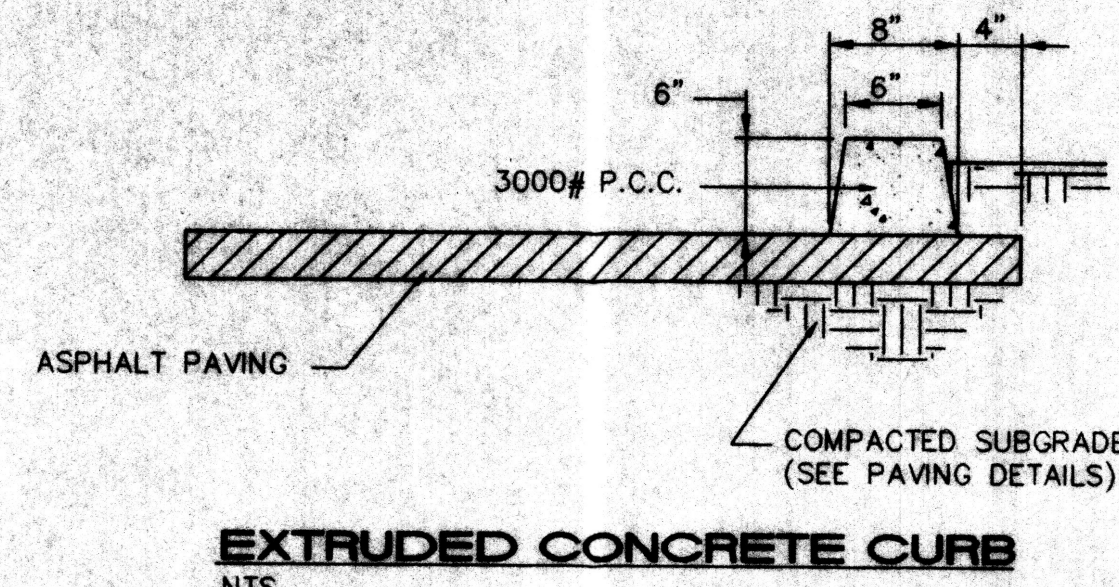
SHEET 1 OF 1



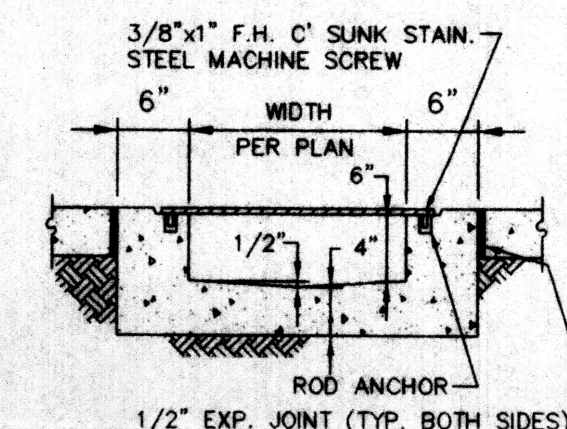
SCALE:
1"=20'

LEGEND

- 38.40 EXISTING SPOT ELEVATION
- TC=44.29
FL=43.79 EXISTING TOP OF CURB ELEVATION
FLOW LINE
- 5645 EXISTING CONTOUR
- 38.5 PROPOSED STOP ELEVATION
- 45 PROPOSED CONTOUR
- FLOW ARROW
- FF = 5641.0 FINISH FLOOR ELEVATION
- SIDEWALK CULVERT
- TC 81.9
FL 81.4 TOP OF CURB ELEVATION
FLOWLINE
- PAVING TO BE REMOVED
- 12" SIDEWALK CULVERT



PLAN



SECTION A-A

SIDEWALK CULVERT

NTS

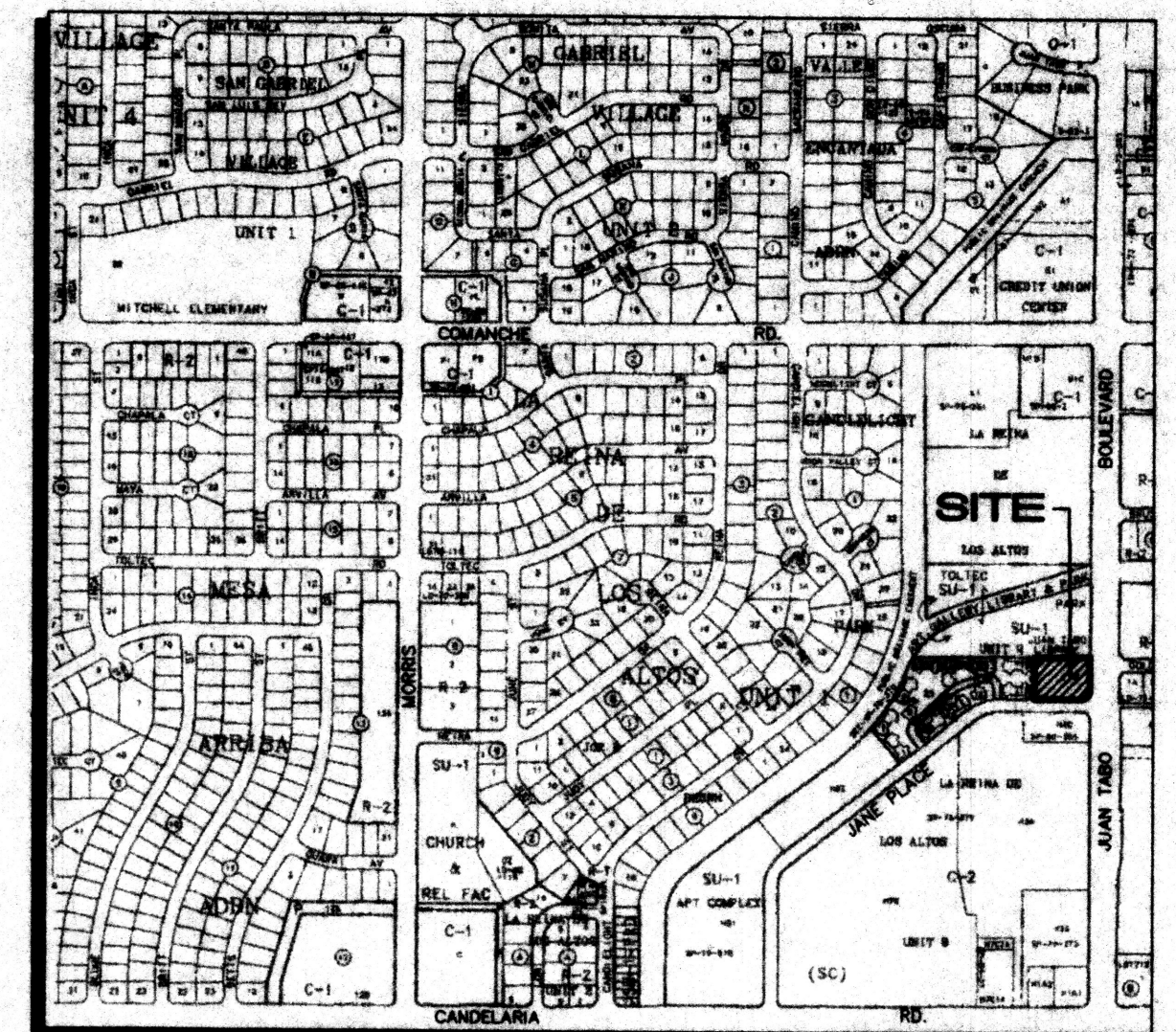
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APPROVALS	NAME	DATE
HYDROLOGY		
INSPECTOR		
A.C.E./FIELD		
PERMIT NO.	MAP NO.	
	G-21	



G-21

VICINITY MAP

1"=750'

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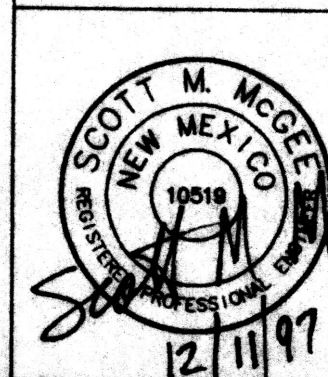
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RUNOFF IS CARRIED SOUTHWEST ON JANE PLACE TO CANDELARIA. FLOWS THEN TURN AND PROCEED WEST APPROXIMATELY 400 FT WHERE THEY ENTER THE EMBUDO CHANNEL.

JUAN TABO/JANE PLACE OFFICE BUILDING GRADING & DRAINAGE PLAN



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque New Mexico

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