(REV. 1/28/2003rd)

G-21/038A

PROJECT TI	TLE:	Krispy Kreme at Sandia Plaza		ZONE MAP/	DRG. FILE #:	G-31/D38A
DRB	1000074	EPC #: 02EPC-01478 and 01479		WORK ORDER #: N/A		
LEGAL DESC	CRIPTION:	Tract H-3-A La Reina de Los Altos, Unit 2				
CITY ADDRE		3301 Juan Tabo, NE				
			-			
ENGINEERIN		Tierra West, LLC	·	CONTACT:	RONALD R. BOHANN	VAN OR SARA LAVY
ADDRI		8509 Jefferson NE		PHONE:	(505) 858-3100	· · · · · · · · · · · · · · · · · · ·
CITY, 8	STATE:	Albuquerque, NM		ZIP CODE:	87113	
OWNER:		Krispy Kreme		CONTACT:	Bob Howery	
ADDRI	ESS:	2095 West 15th Street		PHONE:	(480) 829-1690	
CITY, 8	STATE:	Tempe, AZ		ZIP CODE:	85281	
ARCHITECT:		FHA Architects		CONTACT:	Harlan Faust	
ADDRI		14344 Y Street, Suite 101		PHONE:	1 Milail Laust	
	STATE:	Omaha, Nebraska		ZIP CODE:	68137	
				CONTACT.		
SURVEYOR: ADDRI	•	Precision Surveys		CONTACT: PHONE:	Larry Medrano	
		8414-D Jefferson Street, NE		ZIP CODE:	856-5700	
Citt, c	STATE:	Albuquerque, NM		ZIP CODE.	87113	
CONTRACTO		Enterprise Builders		CONTACT:	John McMann	
ADDRI		PO Box 3987		PHONE:	857-0050	
	STATE:	Albuquerque, NM		ZIP CODE:	87190	
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					YDROLOGY .	SECTION
DATE SUBMI	TTED.	11/19/2003	ΒY·		Brad Frosh (263-58	(80)

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 21, 2003

Sara Lavy, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Krispy Kreme at Sandia Plaza, 3301 Juan Tabo NE, Certificate of

Occupancy

Engineer's Stamp dated 12-15-02 (G21/D38A)

Certification dated 11-19-03

Dear Ms. Lavy,

Based upon the information provided in your submittal received 10-30-03, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept. Development and Building Services

C: Phyllis Villanueva file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Planning Department Transportation Development Services Section

November 21, 2003

Sara Lavy, P.E. 8509 Jefferson NE Albuquerque, NM 87113

Re:

Certification Submittal for Final Building Certificate of Occupancy for

Krispy Kreme at Sandia Plaza, [G-21 / D38A]

3301 Juan Tabo NE

Engineer's Stamp Dated 11/19/03

Dear Mr. Lavy:

The TCL / Letter of Certification submitted on November 20, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgădo-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

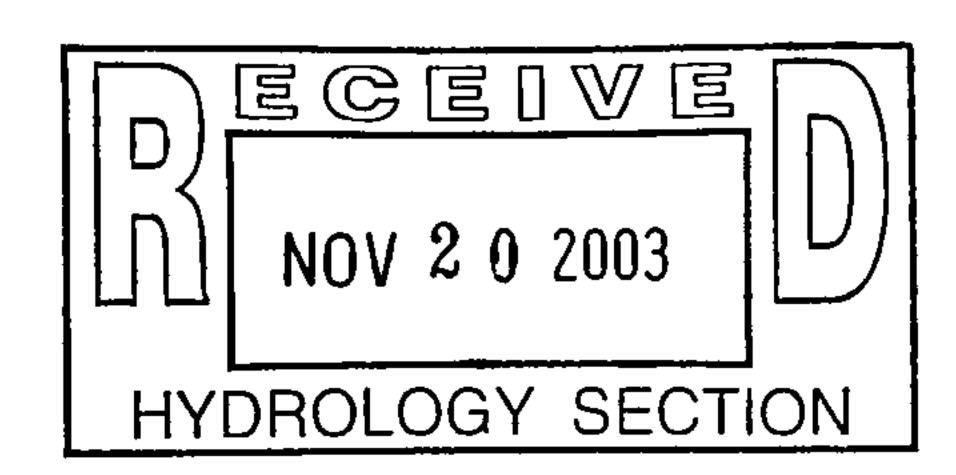
Planning Department

c: Engineer

Hydrology file
CO Clerk

NOVEMBER 19, 2003

Mr. Nilo Salgado-Fernandez
Development and Building Services
Public Works Department
PO Box 1293
Albuquerque, NM 87103



RE: Site Plan Certification for Final Certificate of Occupancy

Krispy Kreme at Sandia Plaza

3301 Juan Tabo Blvd. N.E. (G-31/D38A)

Dear Nilo,:

Tierra West, LLC, requests Final Certification of the DRB amended Site Plan (Traffic Control Layout) for the Krispy Kreme Restaurant located in Sandia Plaza. Enclosed is the DRB approved/amended Site Plan for Subdivision, the amended/as-built Site Plan for Building Permit and the Information Sheet for the site. Also enclosed is the original Site Plan for Subdivision and the original Site Plan for Building Permit. Paving and sidewalk improvements adjacent to the building are complete. Pedestrian access to Juan Tabo is complete. Field verification of the Site Plan was completed by our office and is in substantial compliance with the approved Plan. Construction of covered parking, west of the site, is to be completed in phase II; however it will not hamper traffic flow to the Krispy Kreme. We are, therefore, requesting Certification of the Site Plan for Final Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

Sara Lavy, PE

Enclosure/s

cc: Bot

Bob Howery
Paul Blanchard

JN: 220093

SL/rw

220093Krispy@JuanTaboTempTCLCert

DRAINAGE AND TRANSPORTATION SHEET (REV. 1/28/2003rd)

G-21/038A

PROJECT TITLE:		spy Kreme at Sandia Plaza	ZONE MAP/	G-31/D38A			
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LEGAL DESCRIP CITY ADDRESS:		ct H-3-A La Reina de Los Altos, Unit 2					
MII ADDRESS.	330	01 Juan Tabo, NE		<u> </u>			
NGINEERING F	IRM: Tier	rra West, LLC	CONTACT:	RONALD R. BOHANNA	AN OR SARA LAVY		
ADDRESS:		9 Jefferson NE	PHONE:	(505) 858-3100			
CITY, STAT		uquerque, NM	ZIP CODE:	87113			
•							
WNER:	Kris	py Kreme	CONTACT:	Bob Howery			
ADDRESS:	209	5 West 15th Street	PHONE:	(480) 829-1690			
CITY, STAT	E: Ten	npe, AZ	ZIP CODE:	85281			
RCHITECT:	****	A Architects	CONTACT:	Harlan Faust			
ADDRESS:		44 Y Street, Suite 101	_ PHONE:				
CITY, STAT	E: <u>Om</u>	aha, Nebraska	ZIP CODE:	68137			
URVEYOR:	Pre	cision Surveys	CONTACT:	Larry Medrano			
ADDRESS:		4-D Jefferson Street, NE	PHONE:	856-5700			
CITY, STAT	E: Albi	uquerque, NM	ZIP CODE:	87113			
ALITO 4 ATAB							
ONTRACTOR:		erprise Builders	CONTACT:	John McMann			
ADDRESS: CITY, STAT		Box 3987 uquerque, NM	PHONE: ZIP CODE:	857-0050 87190			
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ENGINEERS CERTIFICATION (TCL)		CERTIFICATE OF OCCUPANCY (TEMP.)					
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ATE SUBMITTED) :	11/19/2003	BY:	Brad Frosh (263-580	8)		

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 31, 2003

Sara Lavy, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Krispy Kreme at Sandia Plaza, 3301 Juan Tabo NE, Certificate of

Occupancy

Engineer's Stamp dated 12-15-02 (G21/D38A)

Certification dated 10-30-03

Dear Ms. Lavy,

Based upon the information provided in your submittal received 10-30-03, the above referenced certification is approved for release of 30-day temporary Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept. Development and Building Services

C: Phyllis Villanueva

file

(REV. 1/28/2003rd)

G-21

PROJECT TITLE:	Krispy Kreme at Sandia Plaza	ZONE MAP/	DRG. FILE #:	
DRB 1000074	EPC #: 02EPC-01478 and 01479	WORK ORD	ER #: N/A	
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	Tract H-3-A La Reina de Los Altos, Unit 2	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	
CITY ADDRESS:	3301 Juan Tabo, NE			
ENGINEERING FIRM:	Tierra West, LLC	CONTACT:	RONALD R. BOHANNAN OR SARA LAVY	
ADDRESS:	8509 Jefferson NE	PHONE:	(505) 858-3100	
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113	
	- Houded doc 11111		<u> </u>	
OWNER:	Krispy Kreme	CONTACT:	Bob Howery	
ADDRESS:	2095 West 15th Street	PHONE:	(480) 829-1690	
CITY, STATE:	Tempe, AZ	ZIP CODE:	85281	
ARCHITECT:	FHA Architects	CONTACT:	Harlan Faust	
ADDRESS:	14344 Y Street, Suite 101	PHONE:		
CITY, STATE:	Omaha, Nebraska	ZIP CODE:	68137	
SURVEYOR:	Precision Surveys	CONTACT:	Larry Medrano	
ADDRESS:	8414-D Jefferson Street, NE	PHONE:	856-5700	
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113	
CONTRACTOR:	Enterprise Builders	CONTACT:	John McMann	
ADDRESS:	PO Box 3987	PHONE:	857-0050	
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87190	
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- 1. Conceptual Grading and Drainage Plans Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Planning Department Transportation Development Services Section

October 31, 2003

.

Sara Lavy, P.E., 8509 Jefferson NE Albuquerque, NM 87103

Re:

Approval of Temporary Certificate of Occupancy (C.O.) for

Krispy Kreme at Sandia Plaza, [G-21 / D38A]

3301 Juan Tabo NE

Engineer's Stamp Dated 10/30/03

Dear Mr. Lavy:

Based on the information provided on your submittal dated October 30, 2003, the above referenced project is approved for a 30-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding remaining parking lot improvements issue to be completed within this time period. When this remaining issue have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead- stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3620.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.

Senior Traffic Enginéer

Development and Building Services

Planning Department

CO Clerk

c: Engineer CHydrology file

(REV. 1/28/2003rd)

				G-21	
PROJECT TITLE:	Krispy Kreme at Sandia Plaza	ZONE MAP/	DRG. FILE #:	0-01 /D38A	
DRB1000074	EPC #: 02EPC-01478 and 01479	WORK ORD)ER #: N/A		
LEGAL DECODIDEION					
CITY ADDRESS:	l: Tract H-3-A La Reina de Los Altos, Unit 2 3301 Juan Tabo, NE	·- · · · · · · · · · · · · · · · · · ·			
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ENGINEERING FIRM:	Tierra West, LLC	CONTACT:	RONALD R. BOHA	NNAN OR SARA LAVY	
ADDRESS:	8509 Jefferson NE	PHONE:	(505) 858-3100		
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113		
		OONTAOT.			
OWNER:	Krispy Kreme	CONTACT:			
ADDRESS: CITY, STATE:	2095 West 15th Street	PHONE: ZIP CODE:	(480) 829-1690		
CITT, STATE.	Tempe, AZ		85281		
ARCHITECT:	FHA Architects	CONTACT:	Harlan Faust		
ADDRESS:	14344 Y Street, Suite 101	PHONE:			
CITY, STATE:	Omaha, Nebraska	ZIP CODE:	68137		
SURVEYOR:	Procision Survoys	CONTACT:	Lorna Modrano		
ADDRESS:	Precision Surveys 8414-D Jefferson Street, NE	PHONE:	Larry Medrano 856-5700		
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113		
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CONTRACTOR:	Enterprise Builders	CONTACT:	John McMann		
ADDRESS:	PO Box 3987	PHONE:	857-0050		
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87190		
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		H	YDROLOGY S	SECTION	
DATE SUBMITTED:	10/30/2003	BY:	Brad Frosh (263-	5808)	

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

8509 Jefferson NE Albuquerque, NM 87113 (505) 858-3100 fax (505) 858-1118

twllc@tierrawestllc.com 1-800-245-3102

October 30, 2003

Mr. Nilo Salgado-Fernandez
Development and Building Services
Public Works Department
PO Box 1293
Albuquerque, NM 87103

RE:

Site Plan Certification for 30-Day Temporary Certificate of Occupancy

Krispy Kreme at Sandia Plaza

3301 Juan Tabo Blvd. N.E. (G-31/D38A)

Dear Nilo,:

Tierra West, LLC, requests 30-Day Temporary Certification of the DRB amended Site Plan (Traffic Control Layout) for the Krispy Kreme Restaurant located in Sandia Plaza. Enclosed is the DRB approved/amended Site Plan for Subdivision, the amended/as-built Site Plan for Building Permit and the Information Sheet for the site. Also enclosed is the original Site Plan for Subdivision and the original Site Plan for Building Permit. Paving and sidewalk improvements adjacent to the building are complete. Pedestrian access to Juan Tabo is complete. Field verification of the Site Plan was completed by our office and is in substantial compliance with the approved Plan. Construction of covered parking, west of the site, is not complete; however it will not hamper traffic flow to the Krispy Kreme. We are, therefore, requesting Temporary Certification of the Site Plan for 30-Day Certificate of Occupancy. Final Certification will be complete when the remaining parking lot improvements are complete.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

Sara Lavy, PE

Enclosure/s

CC:

Bob Howery
Paul Blanchard

JN: 220093

SL/rw

220093Krispy@JuanTaboTempTCLCert



City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 24, 2003

Ron Bohannan, PE
Tierra West LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Krispy Kreme @ Sandia Plaza Grading and Drainage Report

Engineer's Stamp dated 12-15-02 (G21/D38A)

Dear Mr. Bohannan,

Based upon the information provided in your submittal dated 12-17-02, the above referenced plan is approved for Site Development Plan for Building Permit and Site Development Plan for Subdivision and Preliminary and Final Plat actions by the DRB. It is also approved for Building Permit. Please include a copy in the construction sets prior to signoff by Hydrology. Prior to Certificate of Occupancy approval, please submit an Engineer's Certification per the DPM.

If you have any questions, you can contact me at 924-3986.

Sincerely,

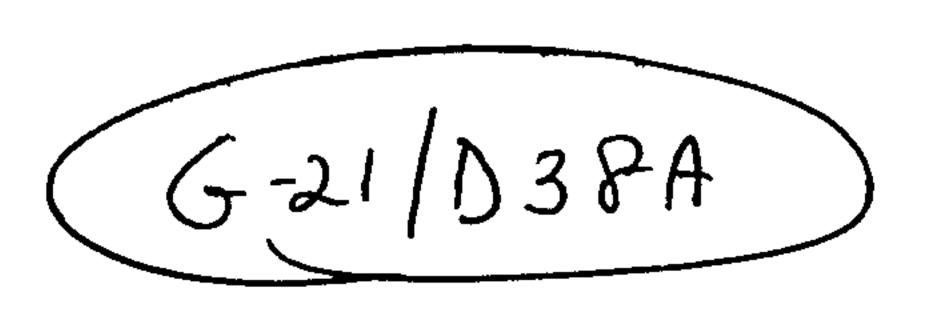
Bradley L. Bingham, PÉ

Sr. Engineer, Planning Dept.

Development and Building Services

C: file

(REV. 1/11/2002)



PROJECT TITLE:	Krispy Kreme	ZONE MAP/DRG. FILE #: G-21		
DRB #:	EPC #: 02EPC-1478 and -1479	WORK OR	DER #:	
				
LEGAL DESCRIPTION	l Tract H-3-A La Reina de Los Altos, Unit 2			
CITY ADDRESS:	West of Juan Tabo and north of Candelaria			
				
ENGINEERING FIRM:	Tierra West, LLC	CONTACT:	RONALD R. BOHANN	AN OR SARA LAVY
ADDRESS:	8509 Jefferson NE	PHONE:	(505) 858-3100	
CITY, STATE:	Albuquerque, NM	ZIP CODE:		
OWNER:		CONTACT:		
ADDRESS:		PHONE:		
CITY, STATE:		ZIP CODE:		
ARCHITECT:	<u></u>	CONTACT:		
ADDRESS:		PHONE:	· · · · · · · · · · · · · · · · · · ·	
CITY, STATE:		ZIP CODE:		1
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SURVEYOR: ADDRESS:	Precision Surveys	PHONE:	Larry Medrano	·
CITY, STATE:	8414-D Jefferson Street, NE	ZIP CODE:	856-5700	<u></u>
CITT, STATE.	Albuquerque, NM	ZIP CODE.	87113	
CONTRACTOR:		CONTACT:		
ADDRESS:		PHONE:		
CITY, STATE:		ZIP CODE:		
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DATE SUBMITTED:	12/16/2002	BY:	Sara Lavy	

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

8509 Jefferson NE Albuquerque, NM 87113 (505) 858-3100 fax (505) 858-1118

twllc@tierrawestllc.com 1-800-245-3102

December 16, 2002

Mr. Brad Bingham, PE Hydrology Department City of Albuquerque P.O. Box 1293 Albuquerque, NM 87103

Re: Krispy Kreme at Sandia Plaza Shopping Center

Dear Mr. Bingham:

We are submitting the Grading and Drainage Plan for a Krispy Kreme in the Sandia Plaza Shopping Center. The Sandia Plaza Shopping Center was approved by the City of Albuquerque on April 20, 2000 (G21/D38). There are no changes to the original drainage report with the proposed Krispy Kreme. The Krispy Kreme is shown in the same location as a pad site on the original submittal. The Krispy Kreme is part of Basin 1 from the original report, which had a developed flow rate of 32.55 cfs and drained to Candelaria Road. The drainage report analyzed the site using land treatments of 90% D and 10% B, which will remain the same.

The Grading and Drainage Plan is included for your review and approval. I have not included a drainage report, as there are no changes to the report approved in 2000. If you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

Sara Lavy, PE

Enclosures

CC:

Paul Blanchard

Harlan Faust

JN: 220093

SCI

DEC 1 7 2002
HYDROLOGY SECTION

220093: 2293 drainage ltr.doc