

**DRAINAGE AND TRANSPORTATION SHEET**

(REV. 1/28/2003rd)

G-21/D38A

PROJECT TITLE: Krispy Kreme at Sandia Plaza  
DRB 1000074 EPC #: 02EPC-01478 and 01479ZONE MAP/DRG. FILE #: G-31/D38A  
WORK ORDER #: N/ALEGAL DESCRIPTION: Tract H-3-A La Reina de Los Altos, Unit 2  
CITY ADDRESS: 3301 Juan Tabo, NEENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 8509 Jefferson NE  
CITY, STATE: Albuquerque, NMCONTACT: RONALD R. BOHANNAN OR SARA LAVY  
PHONE: (505) 858-3100  
ZIP CODE: 87113OWNER: Krispy Kreme  
ADDRESS: 2095 West 15th Street  
CITY, STATE: Tempe, AZCONTACT: Bob Howery  
PHONE: (480) 829-1690  
ZIP CODE: 85281ARCHITECT: FHA Architects  
ADDRESS: 14344 Y Street, Suite 101  
CITY, STATE: Omaha, NebraskaCONTACT: Harlan Faust  
PHONE: \_\_\_\_\_  
ZIP CODE: 68137SURVEYOR: Precision Surveys  
ADDRESS: 8414-D Jefferson Street, NE  
CITY, STATE: Albuquerque, NMCONTACT: Larry Medrano  
PHONE: 856-5700  
ZIP CODE: 87113CONTRACTOR: Enterprise Builders  
ADDRESS: PO Box 3987  
CITY, STATE: Albuquerque, NMCONTACT: John McMann  
PHONE: 857-0050  
ZIP CODE: 87190**CHECK TYPE OF SUBMITTAL:**

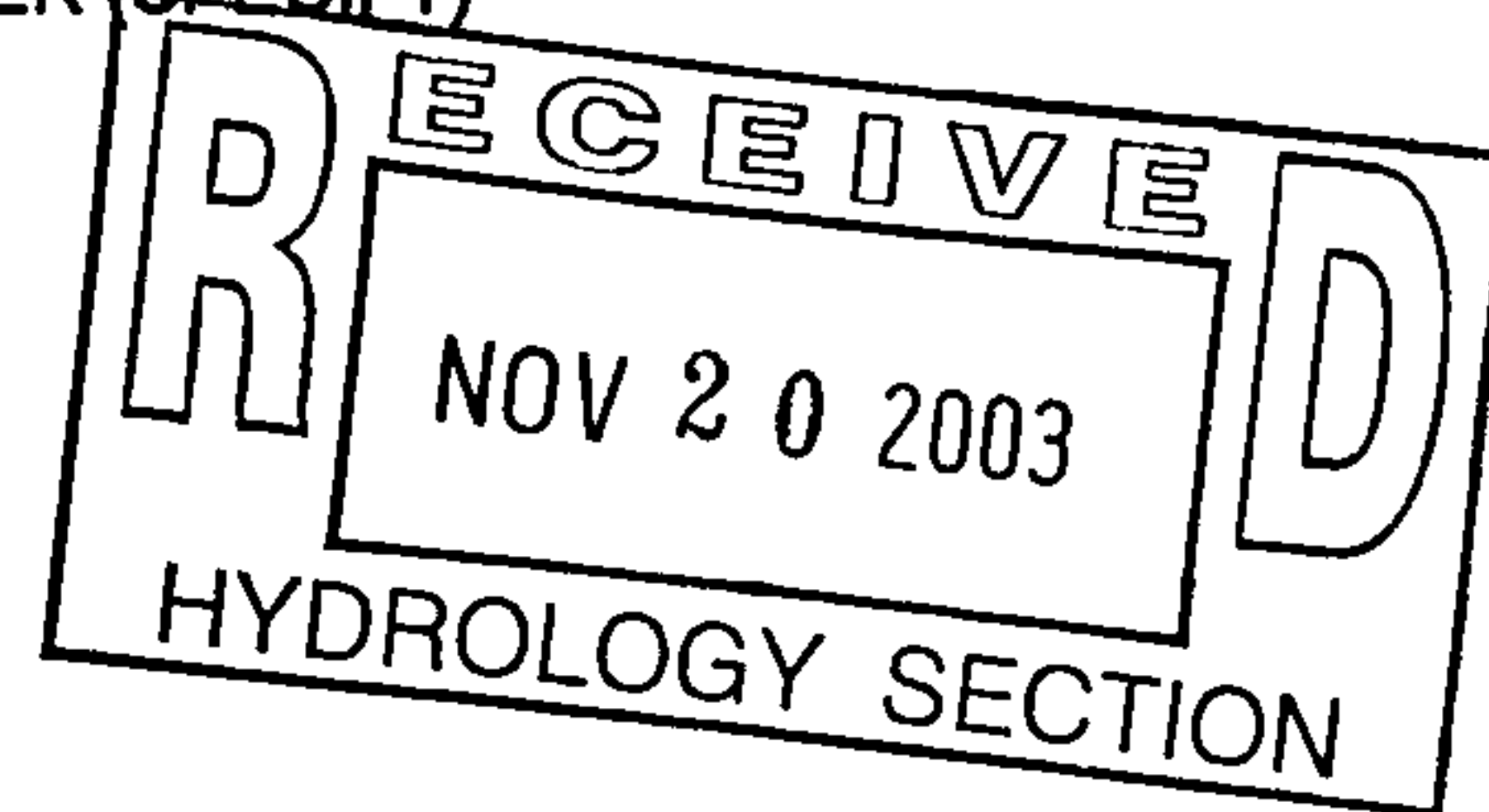
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANACIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 11/19/2003 BY: Brad Frosh (263-5808)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 21, 2003

Sara Lavy, P.E.  
Tierra West, LLC  
8509 Jefferson NE  
Albuquerque, NM 87113

**Re: Krispy Kreme at Sandia Plaza, 3301 Juan Tabo NE, Certificate of  
Occupancy**

**Engineer's Stamp dated 12-15-02 (G21/D38A)**

**Certification dated 11-19-03**

Dear Ms. Lavy,

Based upon the information provided in your submittal received 10-30-03, the  
above referenced certification is approved for release of permanent Certificate of  
Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva  
file



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department  
Transportation Development Services Section***

November 21, 2003

Sara Lavy, P.E.  
8509 Jefferson NE  
Albuquerque, NM 87113

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Krispy Kreme at Sandia Plaza, [G-21 / D38A]  
3301 Juan Tabo NE  
Engineer's Stamp Dated 11/19/03

Dear Mr. Lavy:

The TCL / Letter of Certification submitted on November 20, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

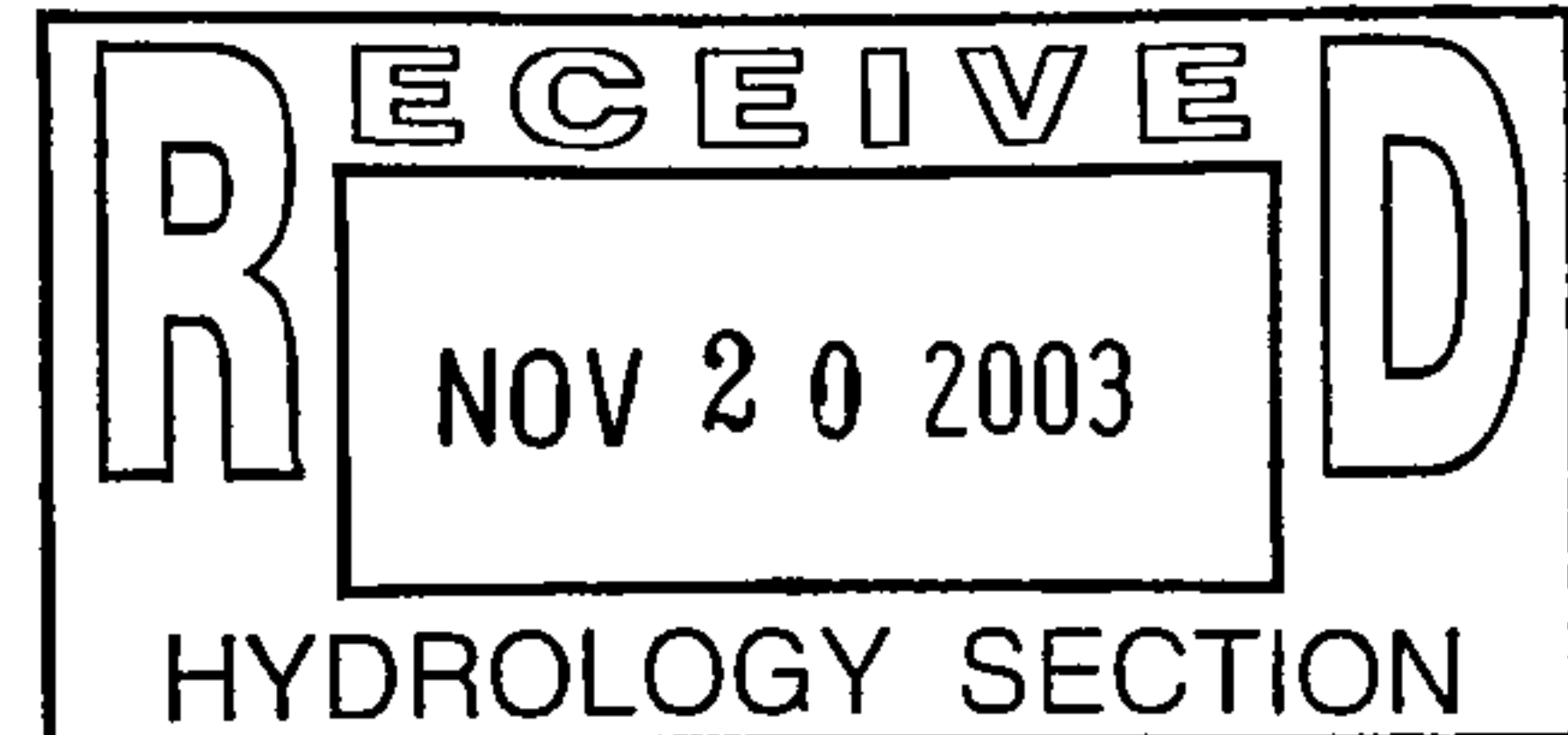
Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

NOVEMBER 19, 2003

Mr. Nilo Salgado-Fernandez  
Development and Building Services  
Public Works Department  
PO Box 1293  
Albuquerque, NM 87103



**RE: Site Plan Certification for Final Certificate of Occupancy  
Krispy Kreme at Sandia Plaza  
3301 Juan Tabo Blvd. N.E. (G-31/D38A)**

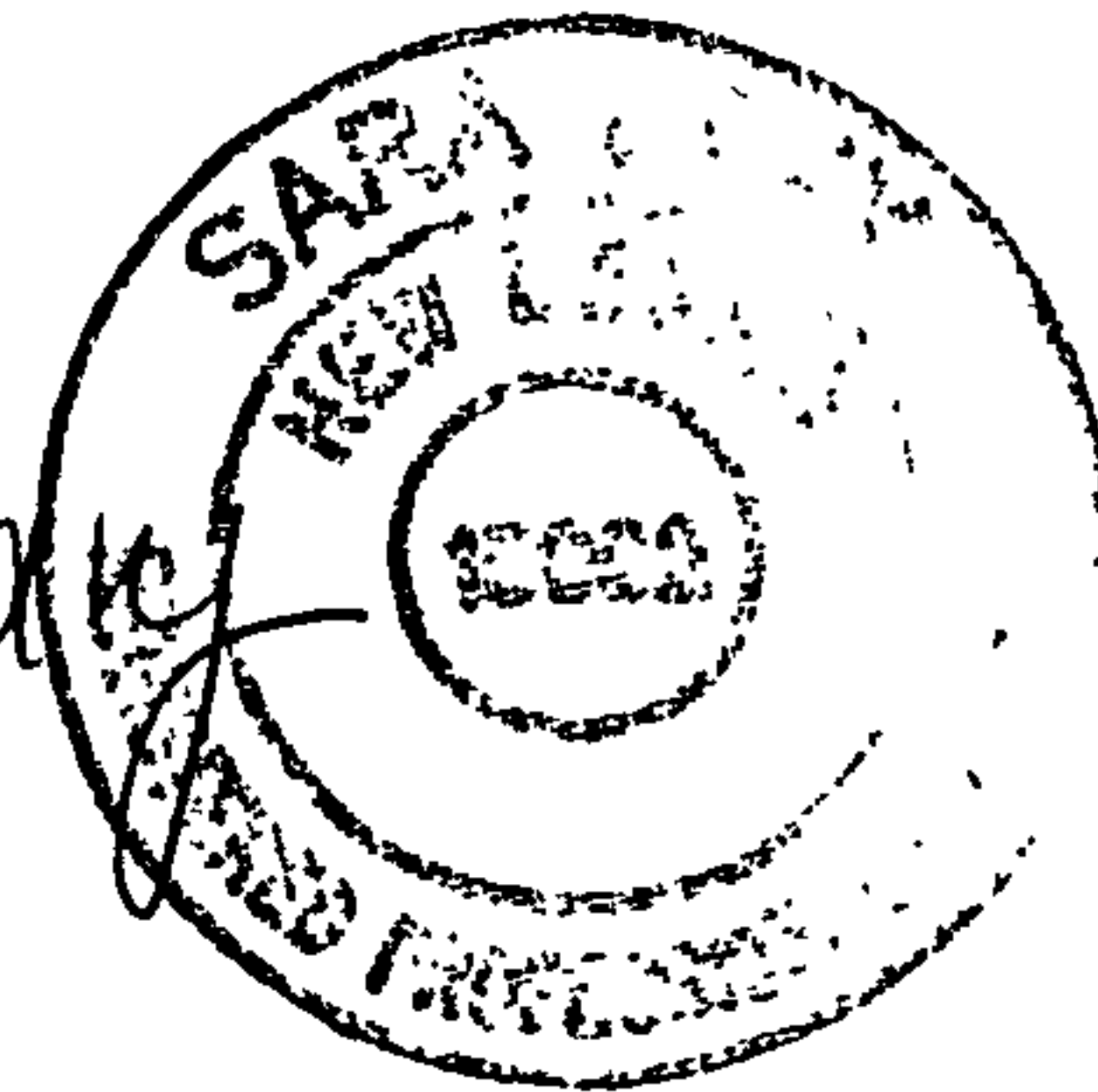
Dear Nilo,:

Tierra West, LLC, requests Final Certification of the DRB amended Site Plan (Traffic Control Layout) for the Krispy Kreme Restaurant located in Sandia Plaza. Enclosed is the DRB approved/amended Site Plan for Subdivision, the amended/as-built Site Plan for Building Permit and the Information Sheet for the site. Also enclosed is the original Site Plan for Subdivision and the original Site Plan for Building Permit. Paving and sidewalk improvements adjacent to the building are complete. Pedestrian access to Juan Tabo is complete. Field verification of the Site Plan was completed by our office and is in substantial compliance with the approved Plan. Construction of covered parking, west of the site, is to be completed in phase II; however it will not hamper traffic flow to the Krispy Kreme. We are, therefore, requesting Certification of the Site Plan for Final Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

*Sara Lavy*  
Sara Lavy, PE



Enclosure/s

cc: Bob Howery  
Paul Blanchard

JN: 220093  
SL/rw

220093Krispy@JuanTaboTempTCLCert



# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

G-21/D38A

PROJECT TITLE: Krispy Kreme at Sandia Plaza  
DRB 1000074 EPC #: 02EPC-01478 and 01479

ZONE MAP/DRG. FILE #: G-31/D38A  
WORK ORDER #: N/A

LEGAL DESCRIPTION: Tract H-3-A La Reina de Los Altos, Unit 2  
CITY ADDRESS: 3301 Juan Tabo, NE

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 8509 Jefferson NE  
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY  
PHONE: (505) 858-3100  
ZIP CODE: 87113

OWNER: Krispy Kreme  
ADDRESS: 2095 West 15th Street  
CITY, STATE: Tempe, AZ

CONTACT: Bob Howery  
PHONE: (480) 829-1690  
ZIP CODE: 85281

ARCHITECT: FHA Architects  
ADDRESS: 14344 Y Street, Suite 101  
CITY, STATE: Omaha, Nebraska

CONTACT: Harlan Faust  
PHONE:   
ZIP CODE: 68137

SURVEYOR: Precision Surveys  
ADDRESS: 8414-D Jefferson Street, NE  
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano  
PHONE: 856-5700  
ZIP CODE: 87113

CONTRACTOR: Enterprise Builders  
ADDRESS: PO Box 3987  
CITY, STATE: Albuquerque, NM

CONTACT: John McMann  
PHONE: 857-0050  
ZIP CODE: 87190

## CHECK TYPE OF SUBMITTAL:

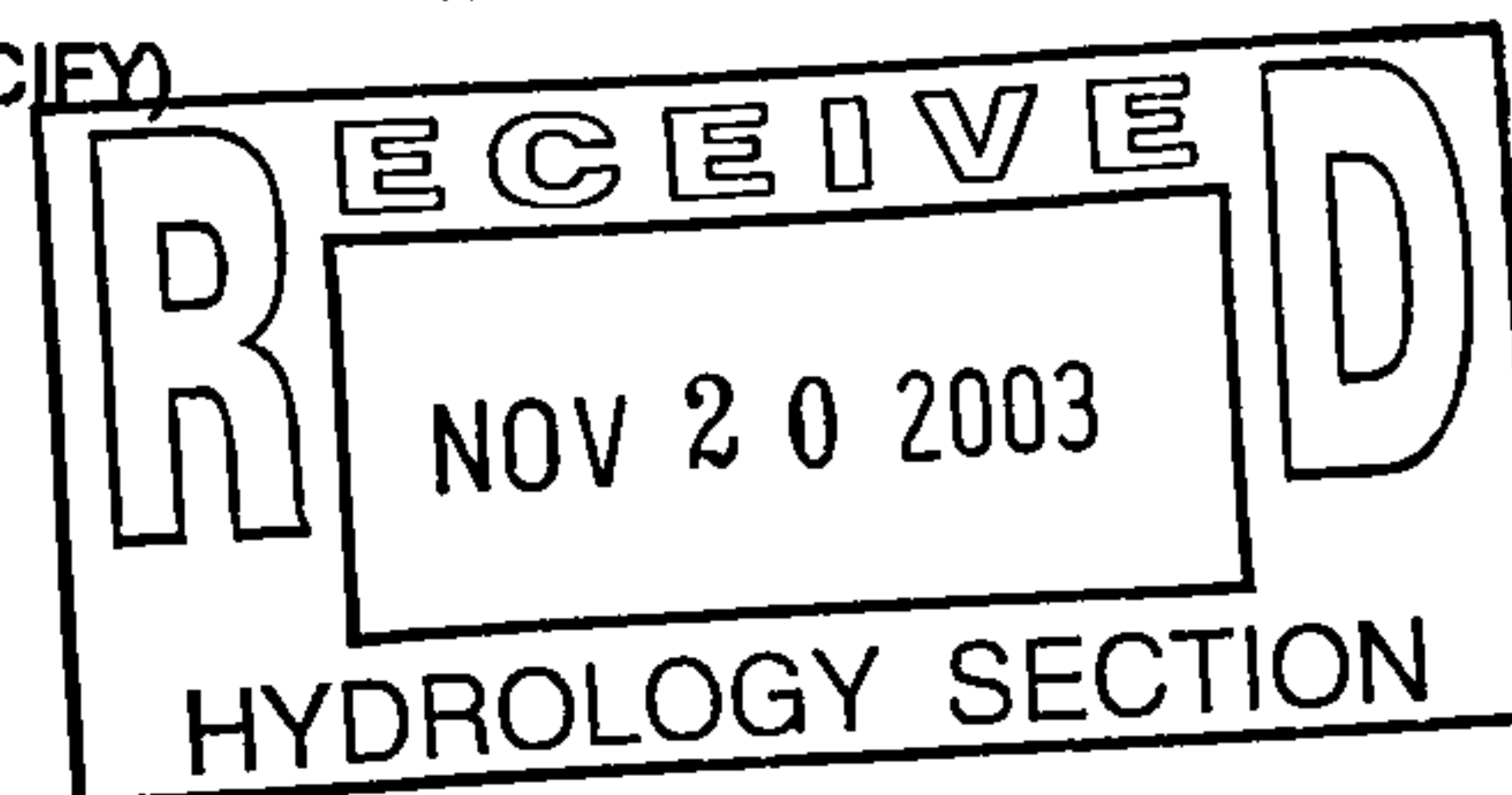
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 11/19/2003 BY: Brad Frosh (263-5808)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 31, 2003

Sara Lavy, P.E.  
Tierra West, LLC  
8509 Jefferson NE  
Albuquerque, NM 87113

**Re: Krispy Kreme at Sandia Plaza, 3301 Juan Tabo NE, Certificate of  
Occupancy**

**Engineer's Stamp dated 12-15-02 (G21/D38A)**

**Certification dated 10-30-03**

Dear Ms. Lavy,

Based upon the information provided in your submittal received 10-30-03, the  
above referenced certification is approved for release of 30-day temporary Certificate of  
Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva  
file

# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

G-21

PROJECT TITLE: Krispy Kreme at Sandia Plaza  
DRB 1000074 EPC #: 02EPC-01478 and 01479

ZONE MAP/DRG. FILE #: 61/D38A  
WORK ORDER #: N/A

LEGAL DESCRIPTION: Tract H-3-A La Reina de Los Altos, Unit 2  
CITY ADDRESS: 3301 Juan Tabo, NE

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 8509 Jefferson NE  
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY  
PHONE: (505) 858-3100  
ZIP CODE: 87113

OWNER: Krispy Kreme  
ADDRESS: 2095 West 15th Street  
CITY, STATE: Tempe, AZ

CONTACT: Bob Howery  
PHONE: (480) 829-1690  
ZIP CODE: 85281

ARCHITECT: FHA Architects  
ADDRESS: 14344 Y Street, Suite 101  
CITY, STATE: Omaha, Nebraska

CONTACT: Harlan Faust  
PHONE:   
ZIP CODE: 68137

SURVEYOR: Precision Surveys  
ADDRESS: 8414-D Jefferson Street, NE  
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano  
PHONE: 856-5700  
ZIP CODE: 87113

CONTRACTOR: Enterprise Builders  
ADDRESS: PO Box 3987  
CITY, STATE: Albuquerque, NM

CONTACT: John McMann  
PHONE: 857-0050  
ZIP CODE: 87190

## CHECK TYPE OF SUBMITTAL:

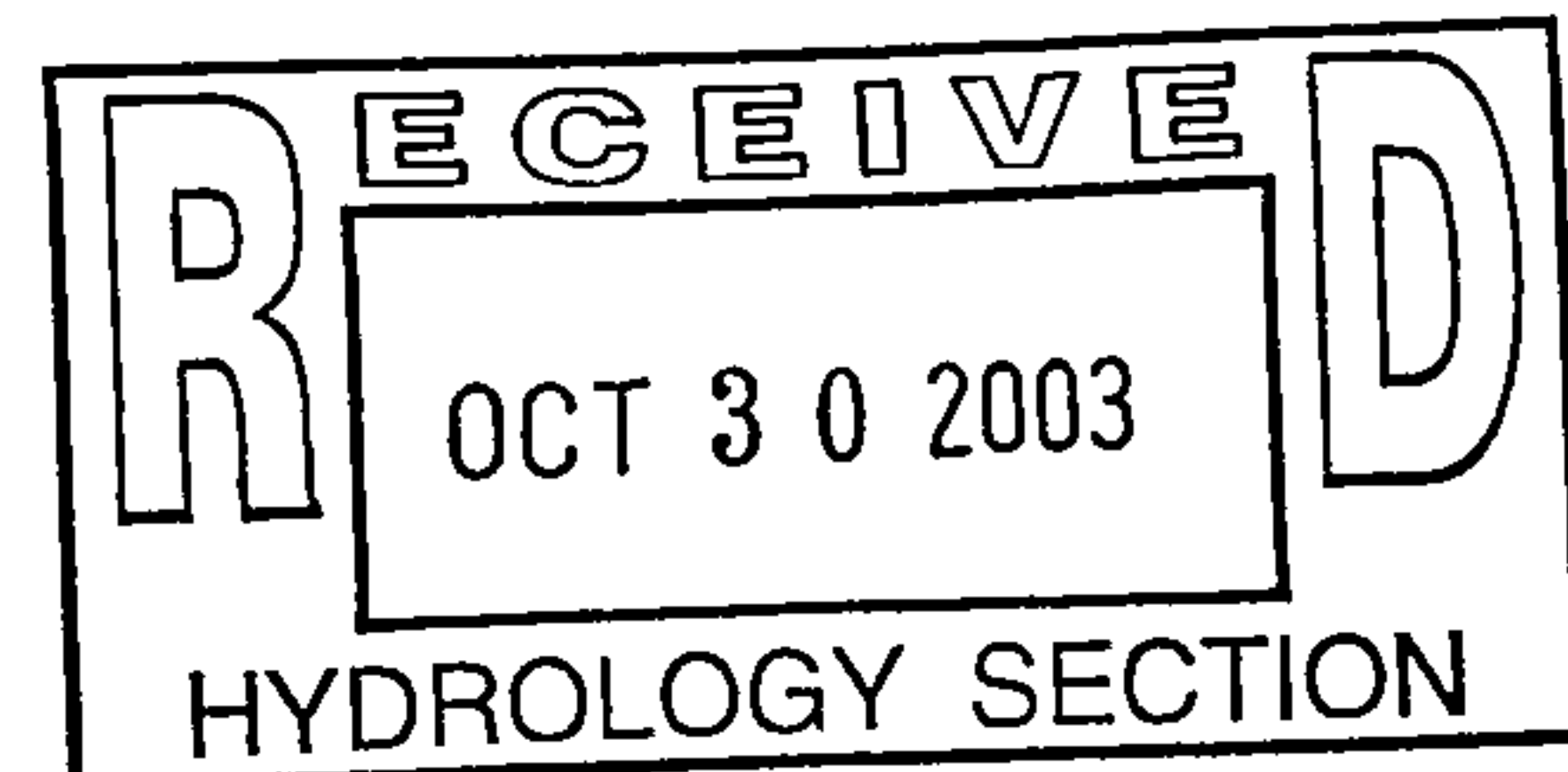
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 10/30/2003 BY: Brad Frosh (263-5808)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department  
Transportation Development Services Section***

October 31, 2003

Sara Lavy, P.E.,  
8509 Jefferson NE  
Albuquerque, NM 87103

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Krispy Kreme at Sandia Plaza, [G-21 / D38A]  
3301 Juan Tabo NE  
Engineer's Stamp Dated 10/30/03

Dear Mr. Lavy:

Based on the information provided on your submittal dated October 30, 2003, the above referenced project is approved for a 30-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding remaining parking lot improvements issue to be completed within this time period. When this remaining issue have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead- stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3620.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk



# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

G-21

PROJECT TITLE: Krispy Kreme at Sandia Plaza  
DRB 1000074 EPC #: 02EPC-01478 and 01479

ZONE MAP/DRG. FILE #: 001/D38A  
WORK ORDER #: N/A

LEGAL DESCRIPTION: Tract H-3-A La Reina de Los Altos, Unit 2  
CITY ADDRESS: 3301 Juan Tabo, NE

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 8509 Jefferson NE  
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY  
PHONE: (505) 858-3100  
ZIP CODE: 87113

OWNER: Krispy Kreme  
ADDRESS: 2095 West 15th Street  
CITY, STATE: Tempe, AZ

CONTACT: Bob Howery  
PHONE: (480) 829-1690  
ZIP CODE: 85281

ARCHITECT: FHA Architects  
ADDRESS: 14344 Y Street, Suite 101  
CITY, STATE: Omaha, Nebraska

CONTACT: Harlan Faust  
PHONE:   
ZIP CODE: 68137

SURVEYOR: Precision Surveys  
ADDRESS: 8414-D Jefferson Street, NE  
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano  
PHONE: 856-5700  
ZIP CODE: 87113

CONTRACTOR: Enterprise Builders  
ADDRESS: PO Box 3987  
CITY, STATE: Albuquerque, NM

CONTACT: John McMann  
PHONE: 857-0050  
ZIP CODE: 87190

## CHECK TYPE OF SUBMITTAL:

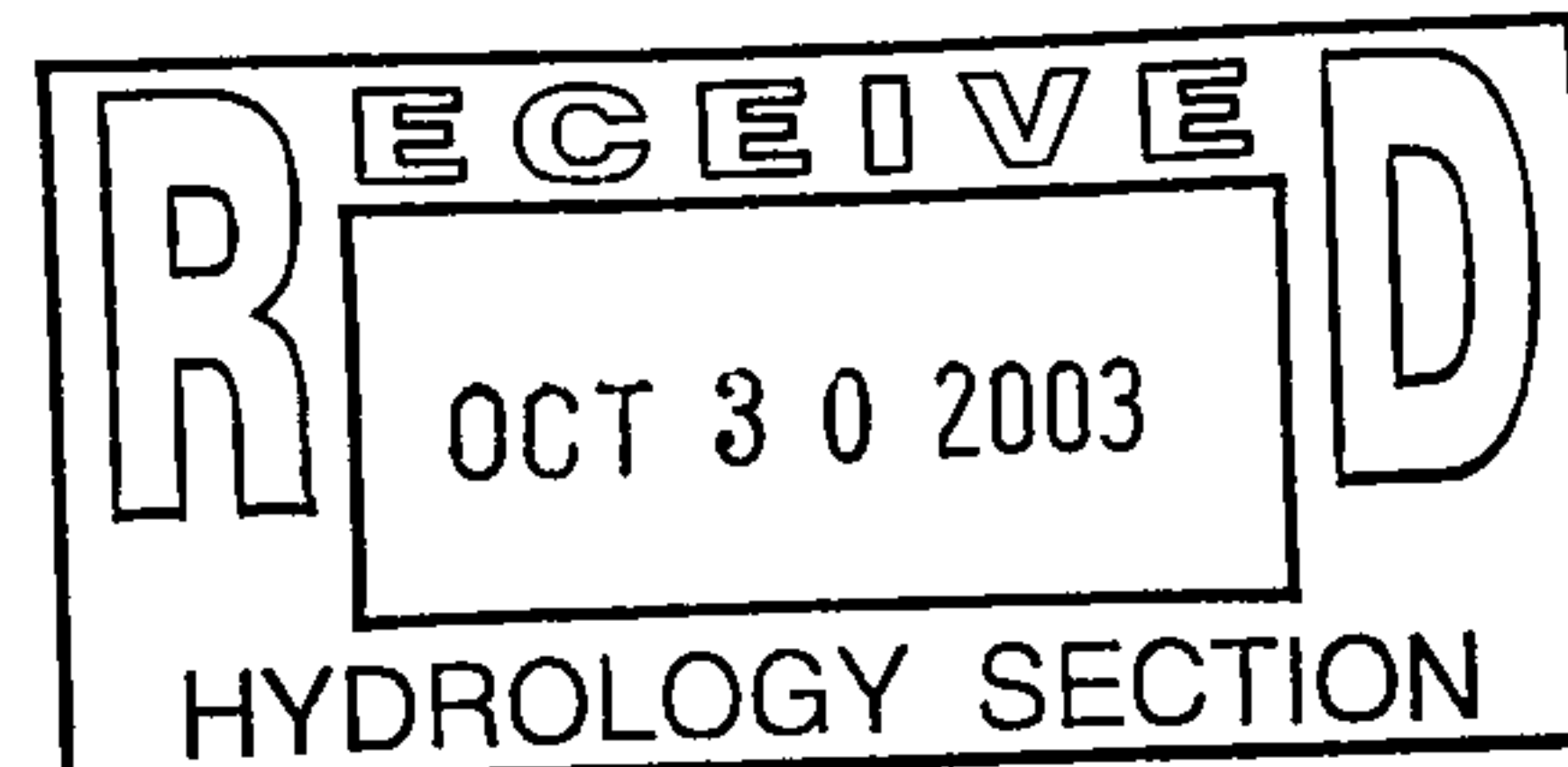
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 10/30/2003 BY: Brad Frosh (263-5808)

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# TIERRA WEST, LLC

8509 Jefferson NE  
Albuquerque, NM 87113

(505) 858-3100  
fax (505) 858-1118

twllc@tierrawestllc.com  
1-800-245-3102

October 30, 2003

Mr. Nilo Salgado-Fernandez  
Development and Building Services  
Public Works Department  
PO Box 1293  
Albuquerque, NM 87103


**RE: Site Plan Certification for 30-Day Temporary Certificate of Occupancy  
Krispy Kreme at Sandia Plaza  
3301 Juan Tabo Blvd. N.E. (G-31/D38A)**

Dear Nilo,:

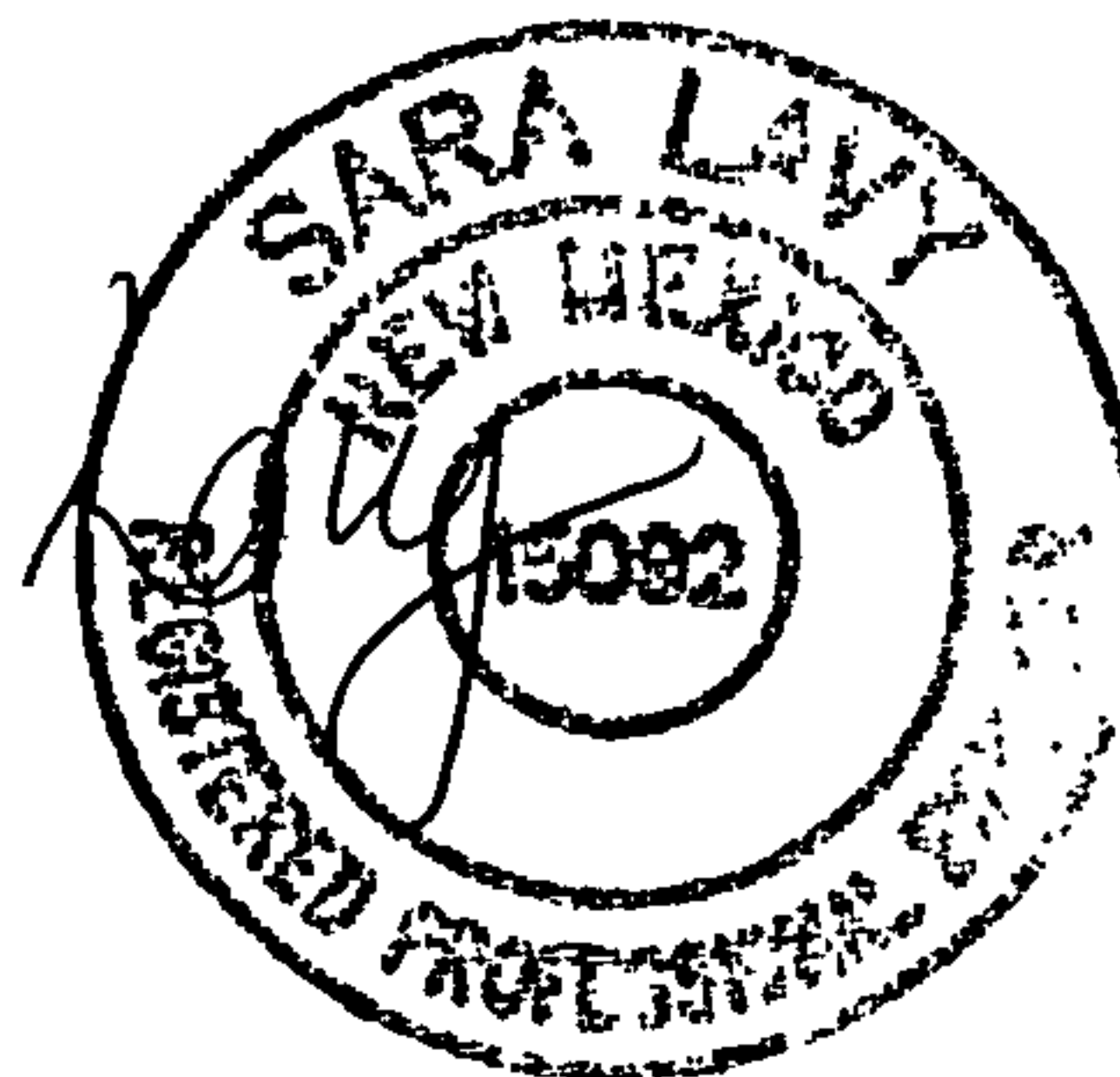
Tierra West, LLC, requests 30-Day Temporary Certification of the DRB amended Site Plan (Traffic Control Layout) for the Krispy Kreme Restaurant located in Sandia Plaza. Enclosed is the DRB approved/amended Site Plan for Subdivision, the amended/as-built Site Plan for Building Permit and the Information Sheet for the site. Also enclosed is the original Site Plan for Subdivision and the original Site Plan for Building Permit. Paving and sidewalk improvements adjacent to the building are complete. Pedestrian access to Juan Tabo is complete. Field verification of the Site Plan was completed by our office and is in substantial compliance with the approved Plan. Construction of covered parking, west of the site, is not complete; however it will not hamper traffic flow to the Krispy Kreme. We are, therefore, requesting Temporary Certification of the Site Plan for 30-Day Certificate of Occupancy. Final Certification will be complete when the remaining parking lot improvements are complete.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



Sara Lavy, PE



Enclosure/s

cc: Bob Howery  
Paul Blanchard

JN: 220093  
SL/rw

220093Krispy@JuanTaboTempTCLCert



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 24, 2003

Ron Bohannon, PE  
Tierra West LLC  
8509 Jefferson NE  
Albuquerque, NM 87113

**Re: Krispy Kreme @ Sandia Plaza Grading and Drainage Report**  
**Engineer's Stamp dated 12-15-02 (G21/D38A)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal dated 12-17-02, the above referenced plan is approved for Site Development Plan for Building Permit and Site Development Plan for Subdivision and Preliminary and Final Plat actions by the DRB. It is also approved for Building Permit. Please include a copy in the construction sets prior to signoff by Hydrology. Prior to Certificate of Occupancy approval, please submit an Engineer's Certification per the DPM.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: file



# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/11/2002)

G-21/D38A

PROJECT TITLE: Krispy Kreme  
DRB #: \_\_\_\_\_ EPC #: 02EPC-1478 and -1479

ZONE MAP/DRG. FILE #: G-21  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION Tract H-3-A La Reina de Los Altos, Unit 2  
CITY ADDRESS: West of Juan Tabo and north of Candelaria

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 8509 Jefferson NE  
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY  
PHONE: (505) 858-3100  
ZIP CODE: 87113

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: Precision Surveys  
ADDRESS: 8414-D Jefferson Street, NE  
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano  
PHONE: 856-5700  
ZIP CODE: 87113

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

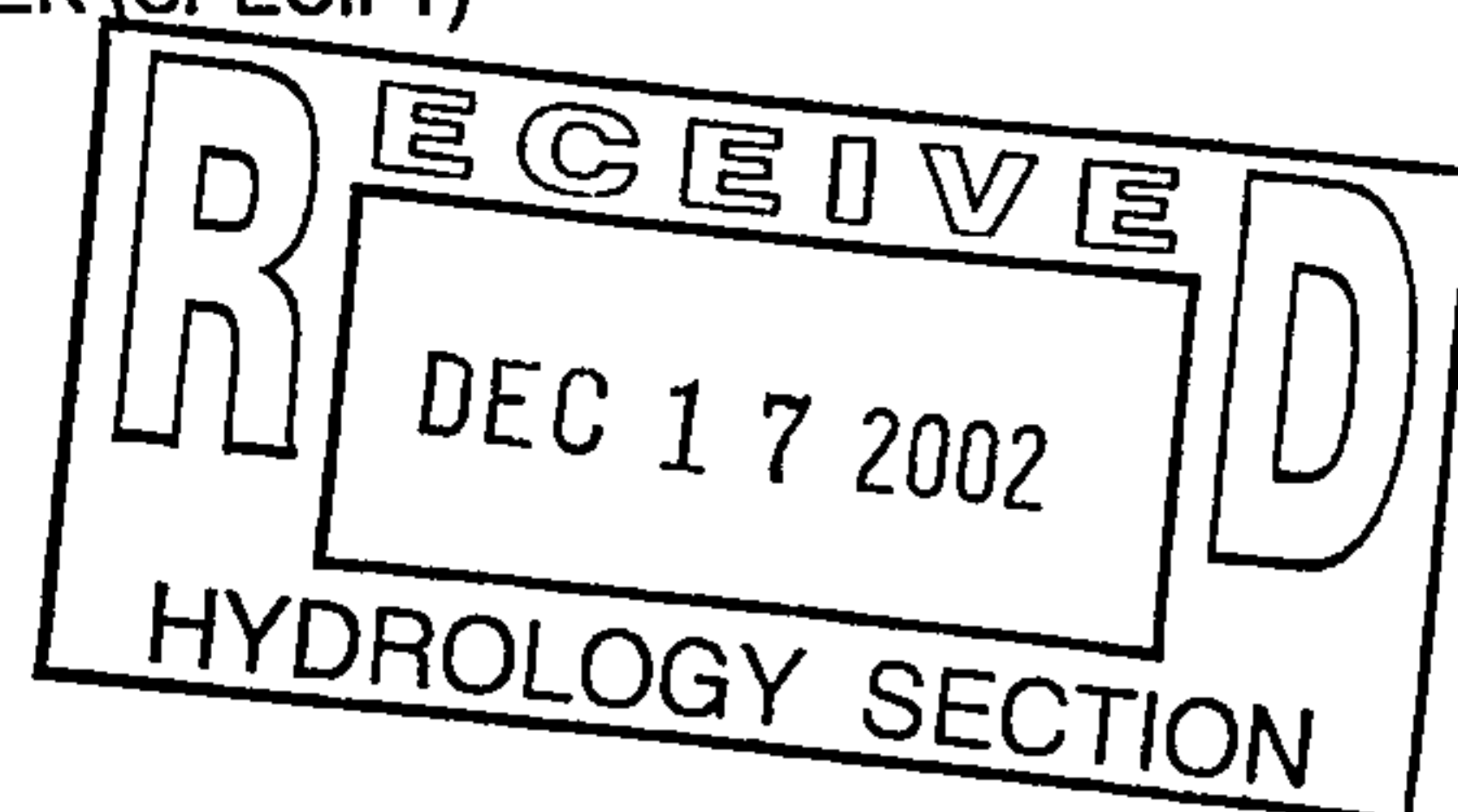
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE  
☒ PRELIMINARY PLAT APPROVAL  
☒ S. DEV. PLAN FOR SUB'D. APPROVAL  
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☒ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 12/16/2002 BY: Sara Lavy

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# TIERRA WEST, LLC

8509 Jefferson NE  
Albuquerque, NM 87113

(505) 858-3100  
fax (505) 858-1118

twllc@tierrawestllc.com  
1-800-245-3102

December 16, 2002

Mr. Brad Bingham, PE  
Hydrology Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

Re: Krispy Kreme at Sandia Plaza Shopping Center

Dear Mr. Bingham:

We are submitting the Grading and Drainage Plan for a Krispy Kreme in the Sandia Plaza Shopping Center. The Sandia Plaza Shopping Center was approved by the City of Albuquerque on April 20, 2000 (G21/D38). There are no changes to the original drainage report with the proposed Krispy Kreme. The Krispy Kreme is shown in the same location as a pad site on the original submittal. The Krispy Kreme is part of Basin 1 from the original report, which had a developed flow rate of 32.55 cfs and drained to Candelaria Road. The drainage report analyzed the site using land treatments of 90% D and 10% B, which will remain the same.

The Grading and Drainage Plan is included for your review and approval. I have not included a drainage report, as there are no changes to the report approved in 2000. If you have any questions regarding this matter, please do not hesitate to call me.

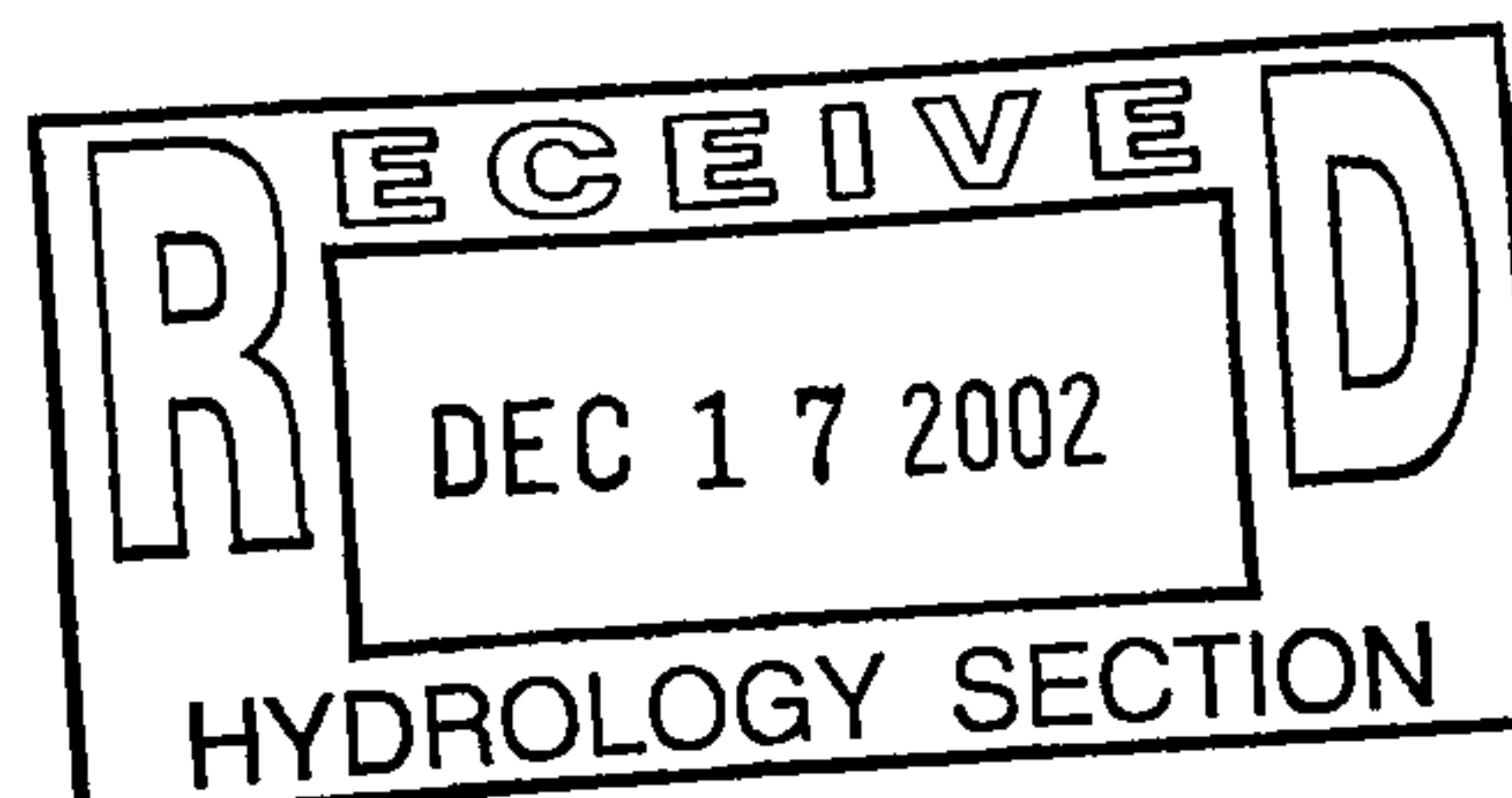
Sincerely,

*Sara Lavy*  
Sara Lavy, PE

Enclosures

cc: Paul Blanchard  
Harlan Faust

JN: 220093  
scl



220093: 2293 drainage ltr.doc