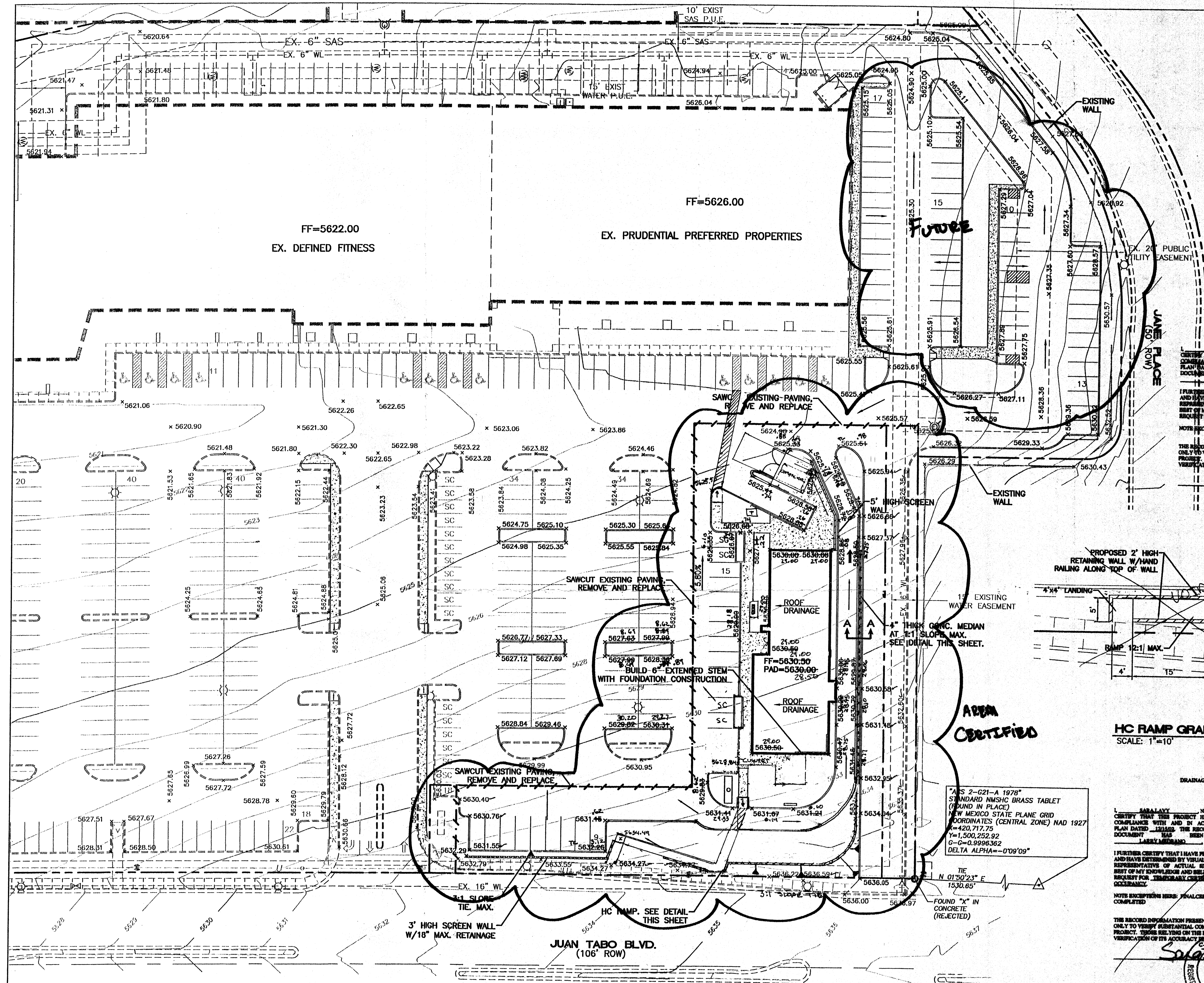




DRAINAGE CERT W/SURVEY WORK BY OTHERS
12/28/01

DRAINAGE CERTIFICATION

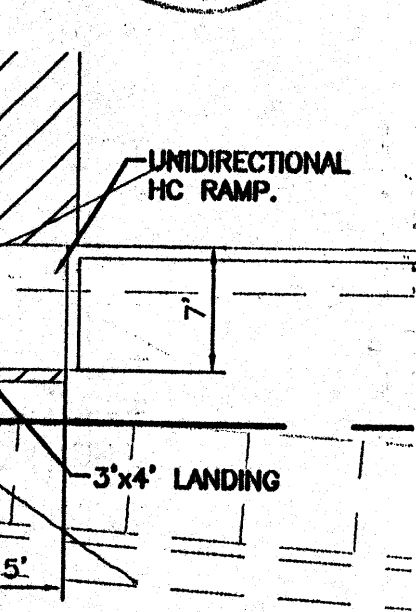
I, SARALAVY, NAME 15022, OF THE FIRM TERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/28/01. THE RECORD INFORMATION REFLECTED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY MEDRANO, NAME 11081, OF THE FIRM PRECISION SURVEYS.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/19/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF DRAINAGE FOR FINAL CERTIFICATE OF OCCUPANCY.

NOTE: EXEMPTION HERE: NO EXEMPTIONS TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE RELYING ON IT FOR ANY OTHER PURPOSE.

SARALAVY
11/19/03
DATE



HC RAMP GRADING DETAIL
SCALE: 1"=10'

DRAINAGE CERT W/SURVEY WORK BY OTHERS
12/28/01

DRAINAGE CERTIFICATION

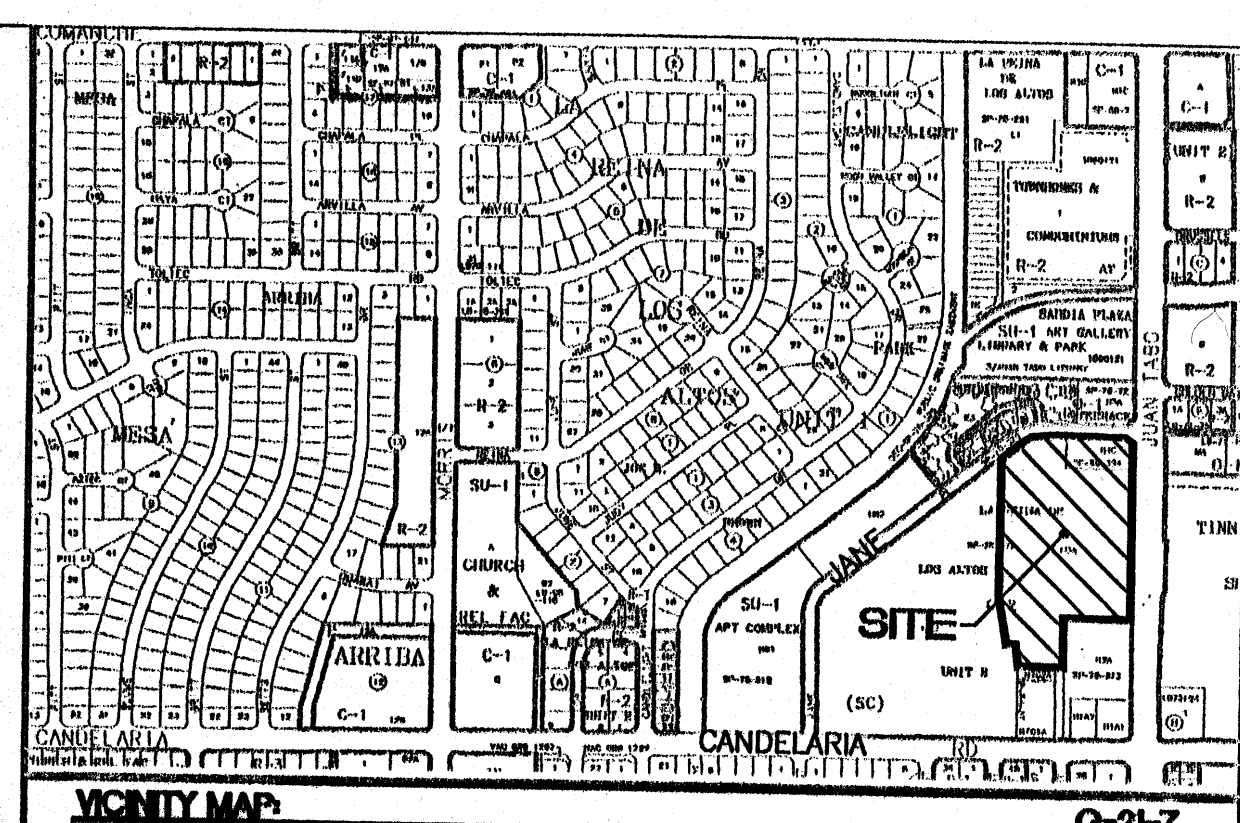
I, SARALAVY, NAME 15022, OF THE FIRM TERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/28/01. THE RECORD INFORMATION REFLECTED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY MEDRANO, NAME 11081, OF THE FIRM PRECISION SURVEYS.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/30/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATION OF DRAINAGE FOR 30-DAY CERTIFICATE OF OCCUPANCY.

NOTE: EXEMPTION HERE: FINAL CERTIFICATION WHEN LANDSCAPING AND OFFSITE PARKING ARE COMPLETED

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE RELYING ON IT FOR ANY OTHER PURPOSE.

SARALAVY
10/30/03
DATE

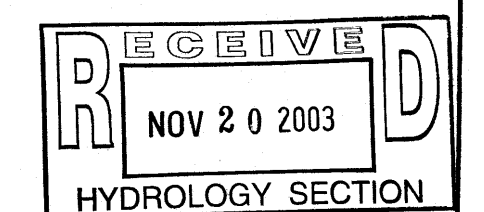


VICINITY MAP

FEMA MAP: 350001C0357 D

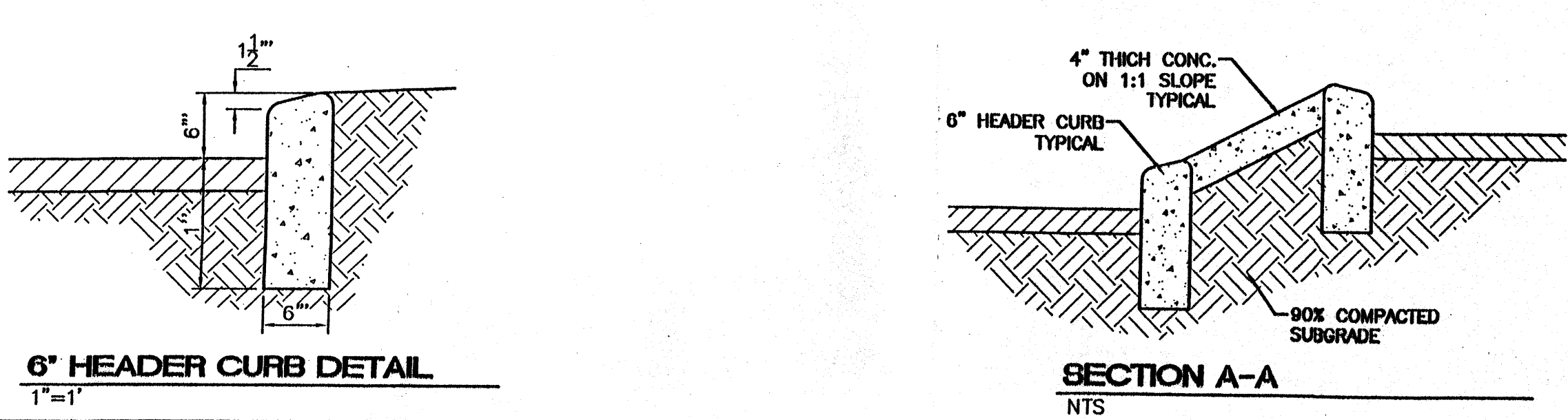
LEGAL DESCRIPTION:
TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2

- LEGEND
- ⊙ EXISTING STORM SEWER MANHOLE
 - - - EX. 18" SD - - - EXISTING STORM SEWER LINE
 - ⊙ PROPOSED STORM SEWER MANHOLE
 - - - 18" SD - - - EXISTING STORM SEWER LINE
 - - - EXISTING CURB & GUTTER
 - - - EXISTING CONTOUR (MAJOR)
 - - - EXISTING CONTOUR (MINOR)
 - - - BOUNDARY LINE
 - - - EASEMENT
 - - - PROPOSED SIDEWALK
 - - - NEW CURB



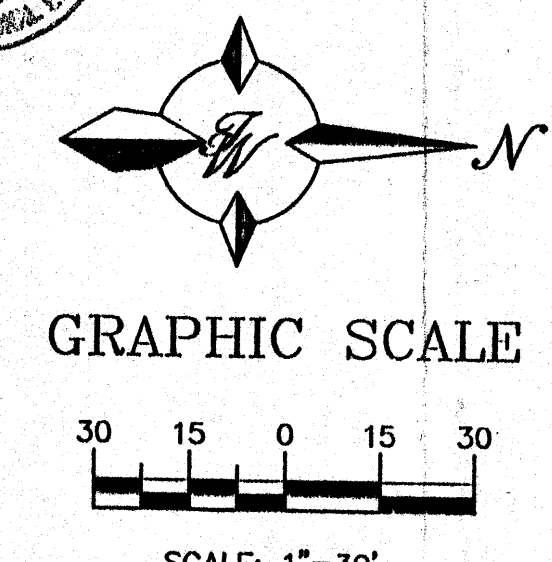
- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

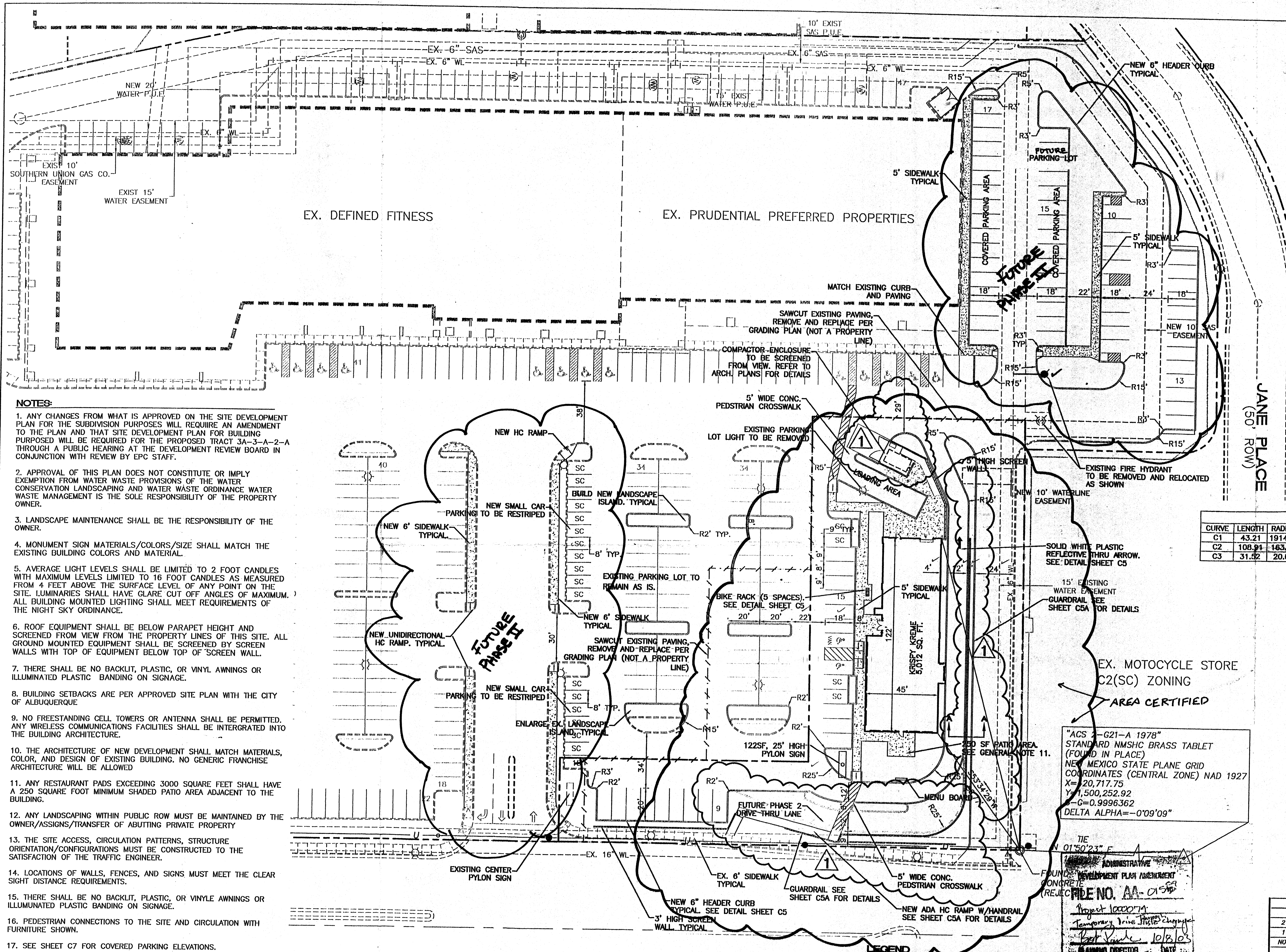
ROUGH GRADING APPROVAL		KRISPY KREME SANDIA PLAZA SHOPPING CENTER GRADING AND DRAINAGE PLAN TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DRAWN BY: BDG DATE: 12/09/02 2293GR.DWG SHEET # C5 JOB # 220093
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868			



SECTION A-A
NTS

6" HEADER CURB DETAIL
1"=1'



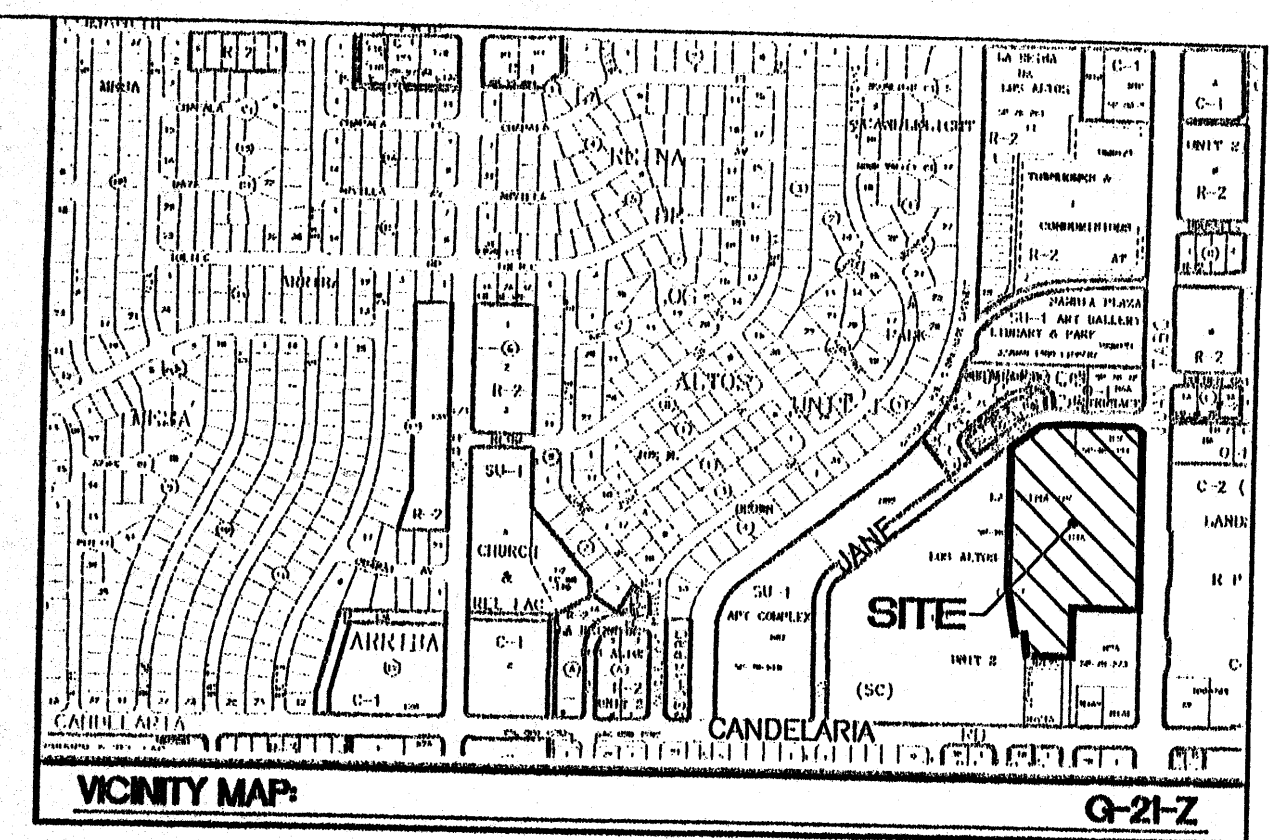
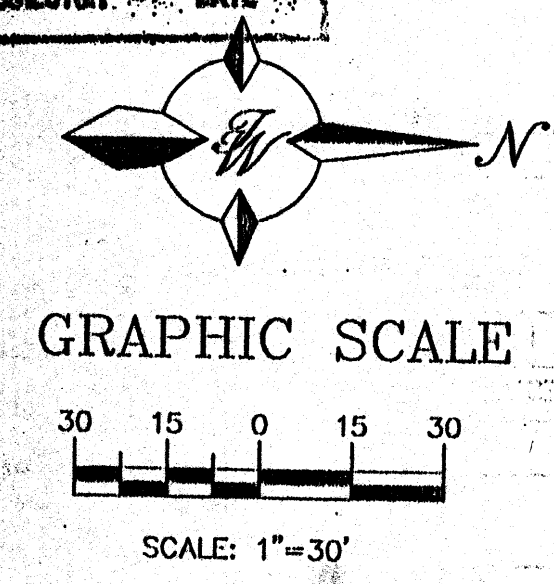


- NOTES:**
1. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACT 3A-3-A-2-A THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
 2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 4. MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL MATCH THE EXISTING BUILDING COLORS AND MATERIAL.
 5. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM. ALL BUILDING MOUNTED LIGHTING SHALL MEET REQUIREMENTS OF THE NIGHT SKY ORDINANCE.
 6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 7. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 8. BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE.
 9. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
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 16. PEDESTRIAN CONNECTIONS TO THE SITE AND CIRCULATION WITH FURNITURE SHOWN.
 17. SEE SHEET C7 FOR COVERED PARKING ELEVATIONS.
 18. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS ALL TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.

SITE DATA TABLE

BUILDING	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ
EX. DEFINED FITNESS	37,084	RETAIL	C2(SC)	45' SOLAR SETBACK	-	181	220	8	8	2	2	3
EX. PRUDENTIAL PREFERRED PROP.	30,050	RETAIL	C2(SC)	45' SOLAR SETBACK	-	146	219	8	5	2	2	3
NEW KRISPY KREME	5,012	RESTAURANT	C2(SC)	45' SOLAR SETBACK	50	25	25	1	2	1	1	1
TOTAL	72,146					360	466	17	15	5	5	7

- LEGEND**
- EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED PAVING LIMITS (NOT A PROPERTY LINE)
 - EXISTING PARKING SPACES
 - EXISTING SIDEWALK
 - PROPOSED SIDEWALK
 - BIKE RACK
 - EXISTING PARKING LOT LIGHTS
 - PROPOSED FIRE HYDRANT



LEGAL DESCRIPTION
TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2

PROJECT DATA:

PROJECT TENANT DEVELOPMENT, EXISTING SANDIA PLAZA SHOPPING CENTER
3301 JUAN TABO BLVD. N.E., ALBUQUERQUE, N.M.

OWNER: MOUNTAIN RUN PARTNERS, LTD.
5859 EUBANK BLVD. N.E., SUITE D-62, ALBUQUERQUE, N.M.
TELEPHONE (505) 275-0000

ZONING: C2(SC), ZONING ATLAS REFERENCE G-21-Z

LEGAL DESCRIPTION: TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2, SECTION 4, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO

LOT AREA: 8.28 ACRES

APPLICABLE CODE: NEW MEXICO BUILDING CODE, U.B.C. 1991 EDITION

CONSTRUCTION TYPE: EXISTING V-N

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	43.21	1914.61	21.61	1°17'35"	S50°43'50"W	43.21
C2	108.91	163.27	56.57	38°13'13"	S70°37'19"W	106.80
C3	31.52	20.00	20.10	90°17'13"	N45°07'31"W	28.35

PROJECT NUMBER:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks & Recreation	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo
County Planning Division

PLNZ (10706) 4/96

2	9/8/03	GUARDRAIL ADDITION TO RETAINING WALL	RFM
1	8/25/03	PHASED CONSTR. OF DRIVE THRU, PHASE 1 SINGLE, PHASE 2 DOUBLE	BDG
NO.	DATE	REMARKS	BY

REVISIONS

ENGINEER'S

KRISPY KREME
SANDIA PLAZA SHOPPING CENTER

AMENDED SITE PLAN FOR BUILDING PERMIT (AS-BUILT)

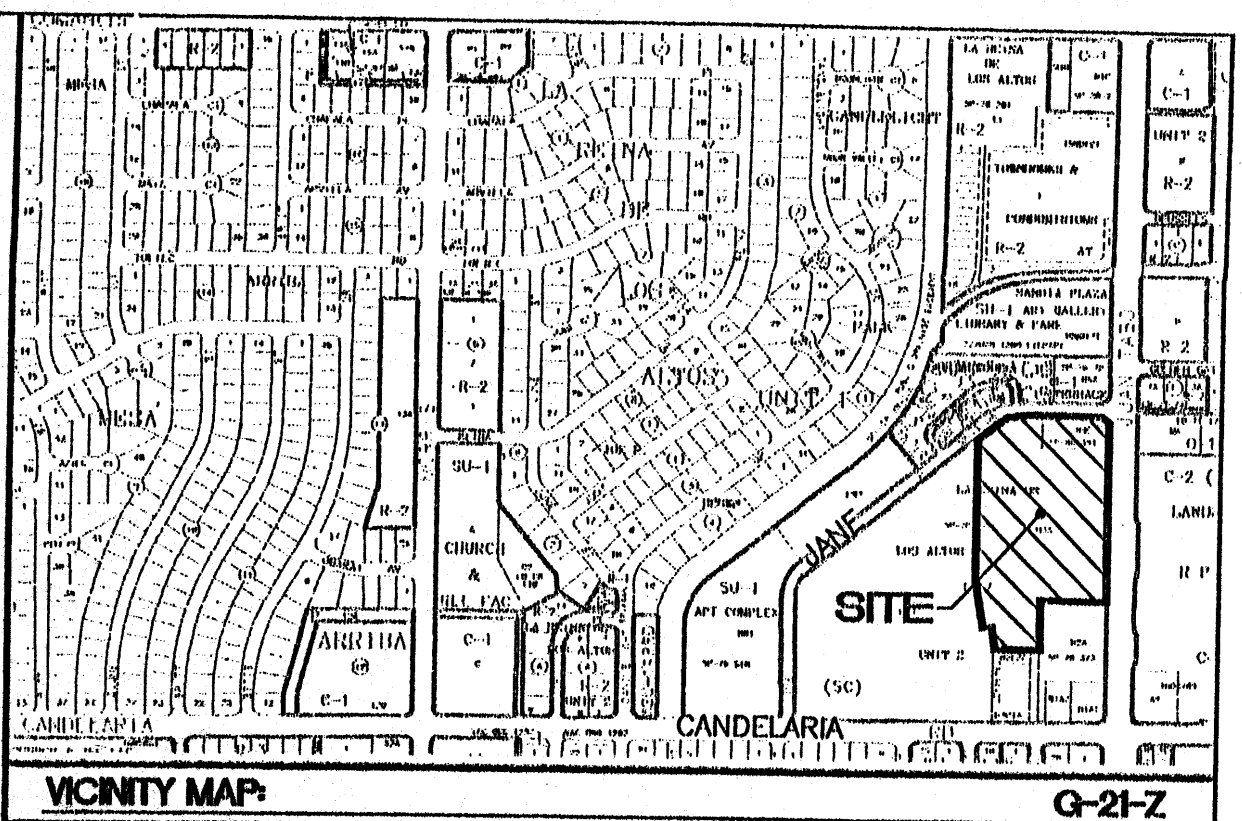
TERRA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

DRAWN BY: BJF
DATE: 03/20/03
2293SPAA.DWG

C2

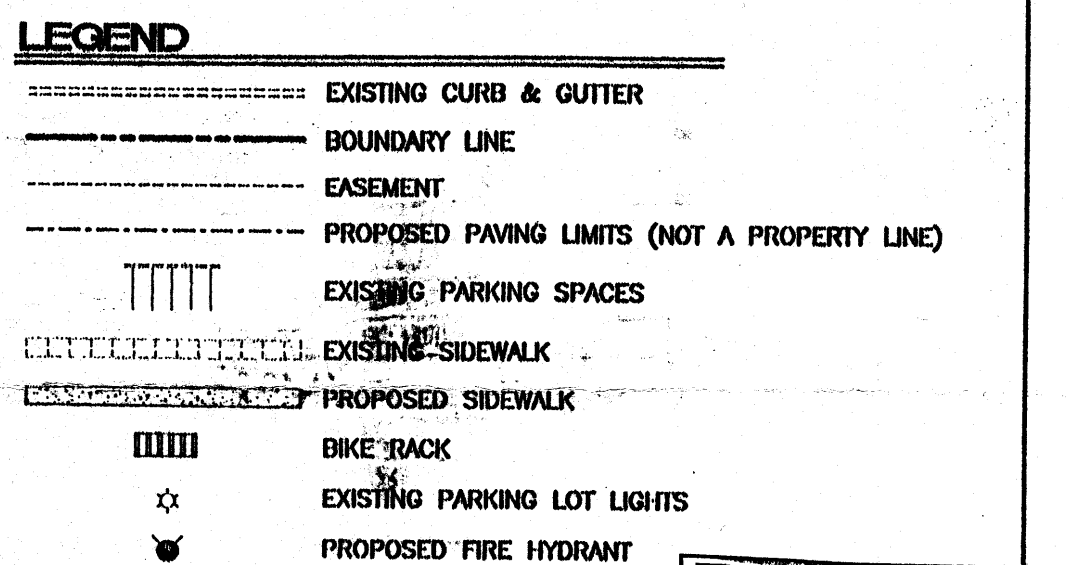
JOB #: 220093

RONALD R. BOHANNAN
P.E. #7868



VICINITY MAP: G-21-Z
LEGAL DESCRIPTION:
 TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2

PROJECT DATA:
 PROJECT TENANT DEVELOPMENT, EXISTING SANDIA PLAZA SHOPPING CENTER
 3301 JUAN TABO BLVD. N.E., ALBUQUERQUE, N.M.
 OWNER: MOUNTAIN RUN PARTNERS, LTD.
 5859 EUBANK BLVD. N.E., SUITE B-62, ALBUQUERQUE, N.M.
 TELEPHONE (505) 275-0000
 ZONING: C2(SC), ZONING ATLAS REFERENCE G-21-Z
 LEGAL DESCRIPTION: TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2,
 SECTION 4, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO
 LOT AREA: 8.28 ACRES
 APPLICABLE CODE: NEW MEXICO BUILDING CODE, U.B.C. 1991 EDITION
 CONSTRUCTION TYPE: EXISTING V-N



PROJECT NUMBER: _____
 This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice of Notification of Decision have been complied with:
SITE DEVELOPMENT PLAN
 Traffic Engineer, Transportation Division _____ Date _____
 Parks & Recreation _____ Date _____
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 City Engineer, Engineering Division / AMAFCA _____ Date _____
 Solid Waste _____ Date _____
 APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.
 City Planner, Albuquerque / Bernalillo _____ Date _____
 County Planning Division
 PLNZ (10706) 4/96

NO.	DATE	REVISIONS	BY
1	9/8/03	GUARDRAIL ADDITION TO RETAINING WALL	RWM
1	9/8/03	PHASED CONSTR. OF DRIVE THRU, PHASE 1 SINGLE, PHASE 2 DOUBLE	BDG

ENGINEER'S

 RONALD R. BOHANNAN
 P.E. #7868

KRISPY KREME®
 SANDIA PLAZA SHOPPING CENTER
AMENDED SITE PLAN FOR SUBDIVISION
 DRAWN BY BDG
 DATE 03/20/03
 2293SPS.DWG
 SHEET # C1
 JOB # 220093

TERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505) 858-3100

- NOTES:**
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CURVE TABLE					
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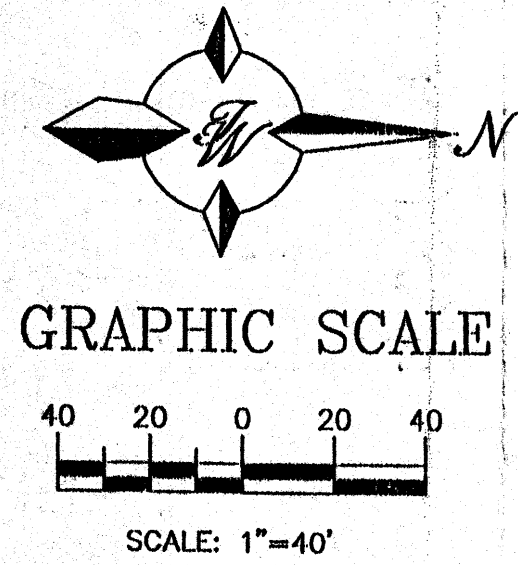
SITE DATA TABLE

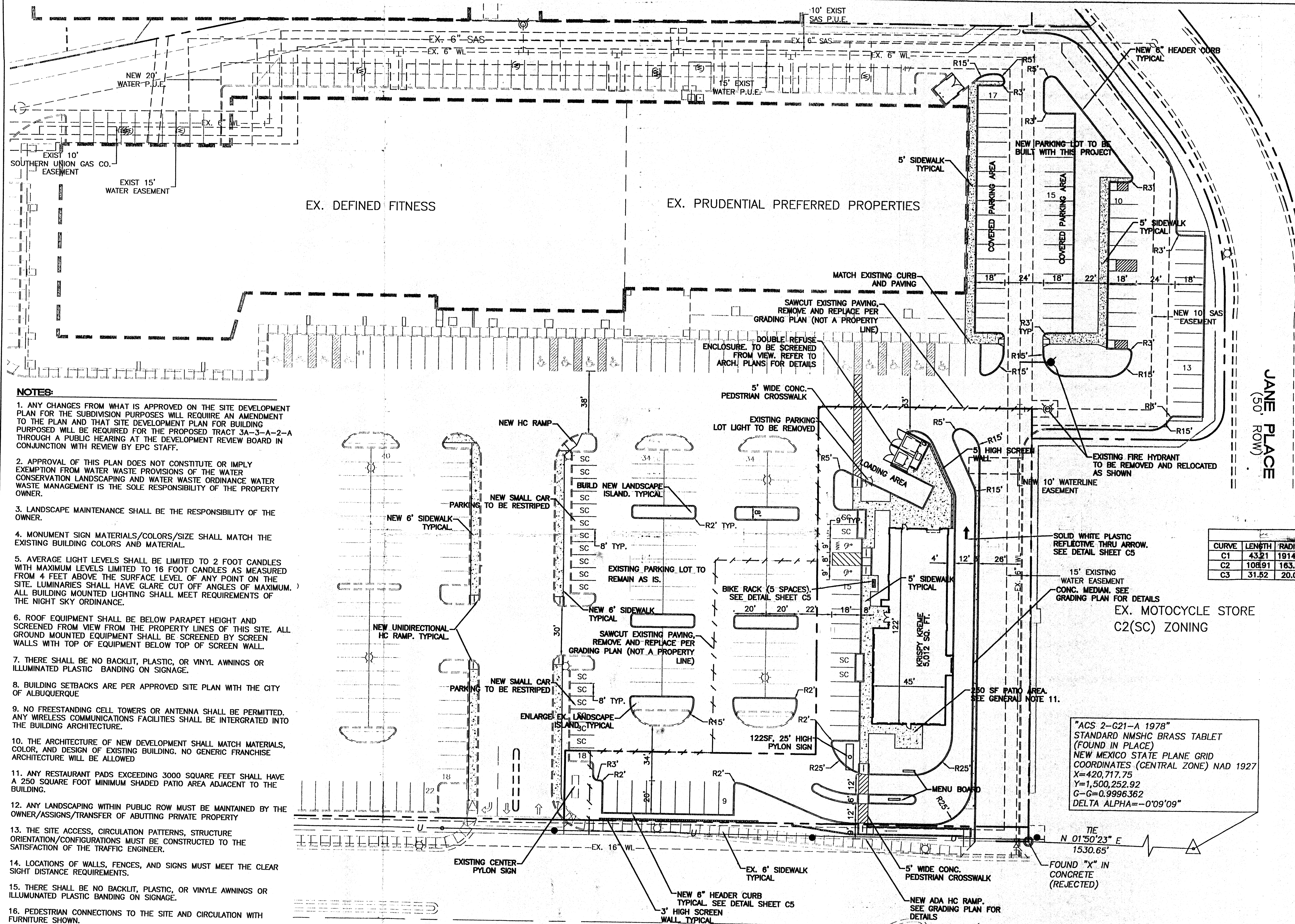
TRACT	LOT SIZE	BUILDING	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ
H-3-A	8.28	EX. DEFINED FITNESS	37,084	RETAIL	C2(SC)	45' SOLAR SETBACK	-	181	220	8	8	2	2	3
H-3-A	8.28	EX. PRUDENTIAL PREFERRED PROP.	30,050	RETAIL	C2(SC)	45' SOLAR SETBACK	-	146	220	8	5	2	2	3
H-3-A-1	0.88	NEW KRISPY KREME	5,012	RESTAURANT	C2(SC)	45' SOLAR SETBACK	50	25	25	1	2	1	1	1
TOTAL			72,146					360	465	17	15	5	5	7

INDEX TO DRAWINGS

- C1. AMENDED SITE PLAN FOR SUBDIVISION
- C2. AMENDED SITE PLAN FOR BUILDING PERMIT
- C3. LANDSCAPING PLAN
- C4. ELEVATIONS
- C4A. SIGN ELEVATIONS
- C5. GRADING AND DRAINAGE PLAN
- C5A. GRADING AND DRAINAGE DETAILS
- C6. MASTER UTILITY PLAN
- C7. DETAILS

ADMINISTRATIVE
 DEVELOPMENT PLAN AMENDMENT
 FILE NO. AA-0154
 Project 1000074
 Temporary Drive Area closure
 10/8/03
 PLANNING DIRECTOR DATE





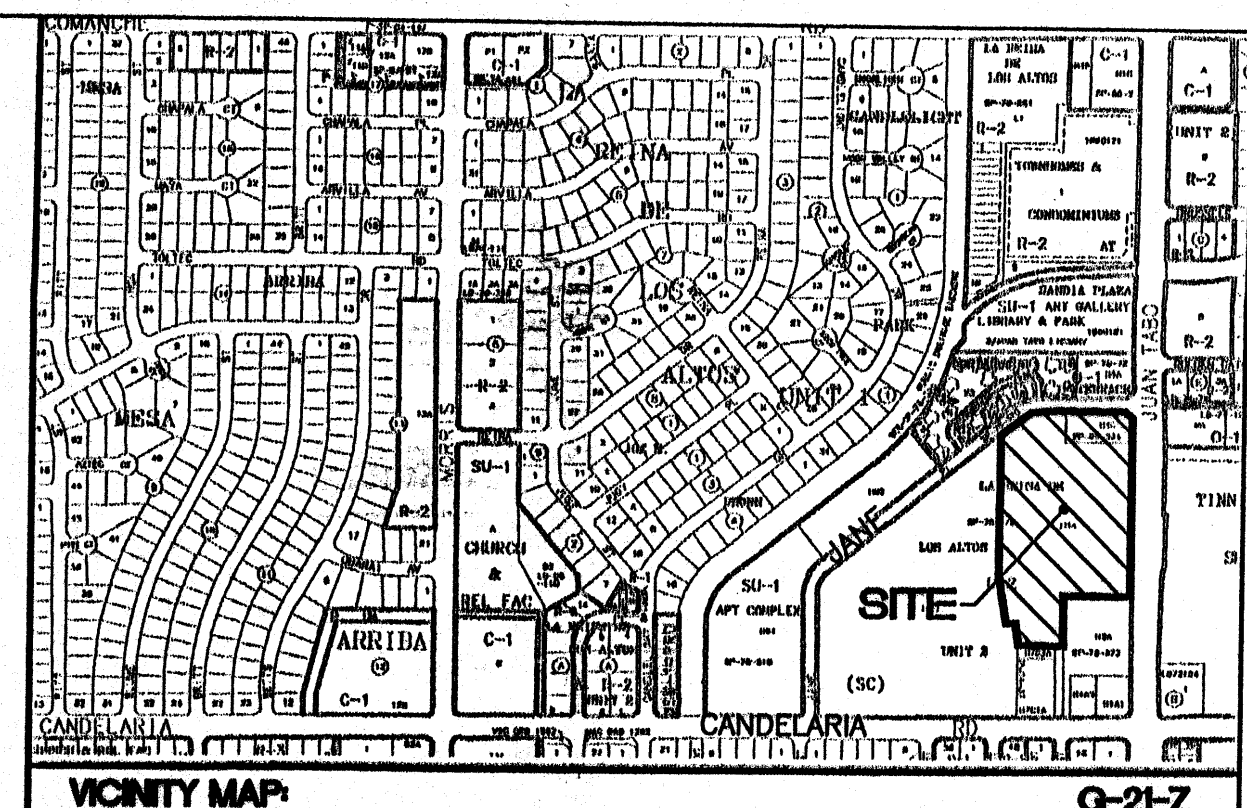
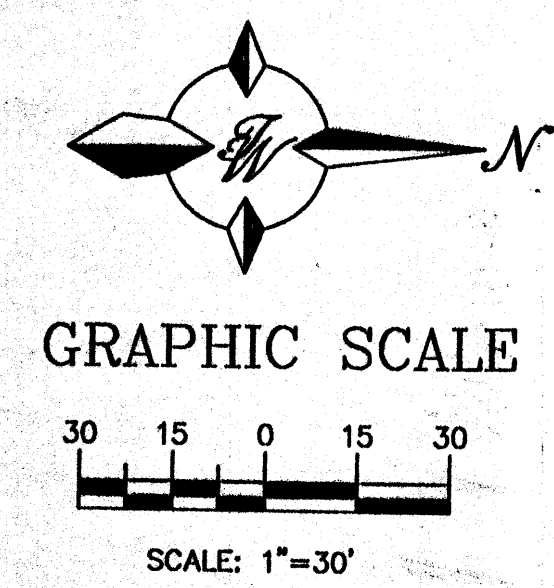
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SITE DATA TABLE

BUILDING	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ
EX. DEFINED FITNESS	37,084	RETAIL	C2(SC)	45' SOLAR SETBACK	-	181	220	8	8	2	2	3
EX. PRUDENTIAL PREFERRED PROP.	30,050	RETAIL	C2(SC)	45' SOLAR SETBACK	-	146	219	8	5	2	2	3
NEW KRISPY KREME	5,012	RESTAURANT	C2(SC)	45' SOLAR SETBACK	50	25	25	1	2	1	1	1
TOTAL	72,146					360	466	17	15	5	5	7

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED PAVING LIMITS (NOT A PROPERTY LINE)
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- BIKE RACK
- EXISTING PARKING LOT LIGHTS
- PROPOSED FIRE HYDRANT



VICINITY MAP
G-21-Z

LEGAL DESCRIPTION
TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2

PROJECT DATA

PROJECT TENANT DEVELOPMENT, EXISTING SANDIA PLAZA SHOPPING CENTER
3301 JUAN TABO BLVD. N.E., ALBUQUERQUE, N.M.

OWNER: MOUNTAIN RUN PARTNERS, LTD.
5859 EUBANK BLVD. N.E., SUITE B-62, ALBUQUERQUE, N.M.
TELEPHONE (505) 275-0000

ZONING: C2(SC), ZONING ATLAS REFERENCE G-21-Z

LEGAL DESCRIPTION: TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2, SECTION 4, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO

LOT AREA: 8.28 ACRES

APPLICABLE CODE: NEW MEXICO BUILDING CODE, U.B.C. 1991 EDITION

CONSTRUCTION TYPE: EXISTING V-N

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	43.21	1914.61	21.61	1°17'35"	S50°43'30"W	43.21
C2	108.91	163.27	56.57	38°13'13"	S70°37'17"W	108.90
C3	31.82	20.00	20.10	90°17'13"	N45°07'31"W	28.35

PROJECT NUMBER: 100007

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Robert D. Dowd 4/16/03
Traffic Engineer, Transportation Division
Date

Christina Sandoval 4/16/03
Public Works, Water, Utilities Division
Date

Roger L. Huerfano 4/16/03
Public Works, Water, Utilities Division
Date

Bruce A. Bigham 4/16/03
City Engineer, Engineering Division / AMAFCA
Date

Solid Waste
Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

Sherrin M. Nelson 4/16/03
City Planner, Albuquerque / Bernalillo
County Planning Division
Date

PLN2 (10706) 4/96

ENGINEER'S

KRISPY KREME • SANDIA PLAZA SHOPPING CENTER

SITE PLAN FOR BUILDING PERMIT

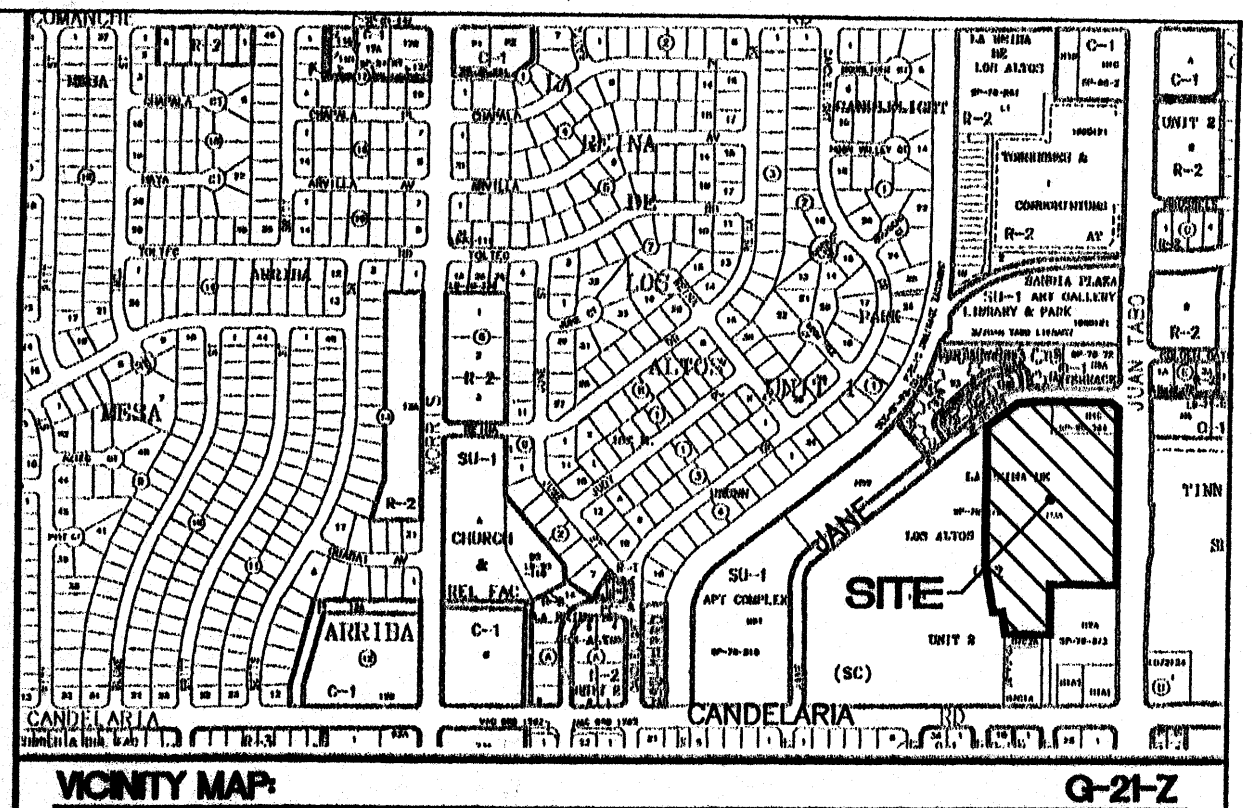
TIERA WEST, LLC
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

RONALD R. BOHANNAN
P.E. #7868

DRAWN BY B.J.F.
DATE 03/20/03
2293SP.DWG

SHEET #
C2

JOB #
220093



LEGAL DESCRIPTION:
TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2

PROJECT DATA:

PROJECT TENANT DEVELOPMENT, EXISTING SANDIA PLAZA SHOPPING CENTER
3301 JUAN TABO BLVD. N.E., ALBUQUERQUE, N.M.

OWNER: MOUNTAIN RUN PARTNERS, LTD.
5859 EUBANK BLVD. N.E., SUITE B-62, ALBUQUERQUE, N.M.
TELEPHONE (505) 275-0000

ZONING: C2(SC), ZONING ATLAS REFERENCE G-21-Z

LEGAL DESCRIPTION: TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2,
SECTION 4, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO

LOT AREA: 8.28 ACRES

APPLICABLE CODE: NEW MEXICO BUILDING CODE, U.B.C. 1991 EDITION

CONSTRUCTION TYPE: EXISTING V-N

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED PAVING LIMITS (NOT A PROPERTY LINE)
- EXISTING PARKING SPACES
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- BIKE RACK
- EXISTING PARKING LOT LIGHTS
- PROPOSED FIRE HYDRANT

PROJECT NUMBER: 1000074

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice of Decision have been complied with:

SITE DEVELOPMENT PLAN

Robert J. Smith 4/16/03
Traffic Engineer, Transportation Division Date

Christine Sandoval 4/16/03
Public Works, Recreation Date

Roger Green 4/16/03
Public Works, Water Utilities Division Date

Brenda L. Bigham 4/16/03
City Engineer, Engineering Division / AMAFCA Date

Solid Waste Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

Bernadette Bernalillo 4/16/03
City Planner, Albuquerque Bernalillo County Planning Division Date

PLNZ (10706) 4/96

ENGINEER'S

KRISPY KREME
SANDIA PLAZA SHOPPING CENTER

SITE PLAN FOR SUBDIVISION

TERRA WEST, L.L.C.
8509 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505) 858-3100

RONALD R. BOHANNAN
P.E. #7868

DRAWN BY BDC
DATE 03/20/03
2293SPS.DWG
SHEET # C1
JOB # 220093

- NOTES:**
- ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACT 3A-3-A-2-A THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL MATCH THE EXISTING BUILDING COLORS AND MATERIAL.
 - AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINAIRES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM. ALL BUILDING MOUNTED LIGHTING SHALL MEET REQUIREMENTS OF THE NIGHT SKY ORDINANCE.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - THE ARCHITECTURE OF NEW DEVELOPMENT SHALL MATCH MATERIALS, COLOR, AND DESIGN OF EXISTING BUILDING. NO GENERIC FRANCHISE ARCHITECTURE WILL BE ALLOWED
 - ANY RESTAURANT PADS EXCEEDING 3000 SQUARE FEET SHALL HAVE A 250 SQUARE FOOT MINIMUM SHADED PATIO AREA ADJACENT TO THE BUILDING.
 - ANY LANDSCAPING WITHIN PUBLIC ROW MUST BE MAINTAINED BY THE OWNER/ASSIGNS/TRANSFER OF ABUTTING PRIVATE PROPERTY
 - THE SITE ACCESS, CIRCULATION PATTERNS, STRUCTURE ORIENTATION/CONFIGURATIONS MUST BE CONSTRUCTED TO THE SATISFACTION OF THE TRAFFIC ENGINEER.
 - LOCATIONS OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 - PEDESTRIAN CONNECTIONS TO THE SITE AND CIRCULATION WITH FURNITURE SHOWN.
 - SEE SHEET C7 FOR COVERED PARKING ELEVATIONS.
 - COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS ALL TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPEAT.

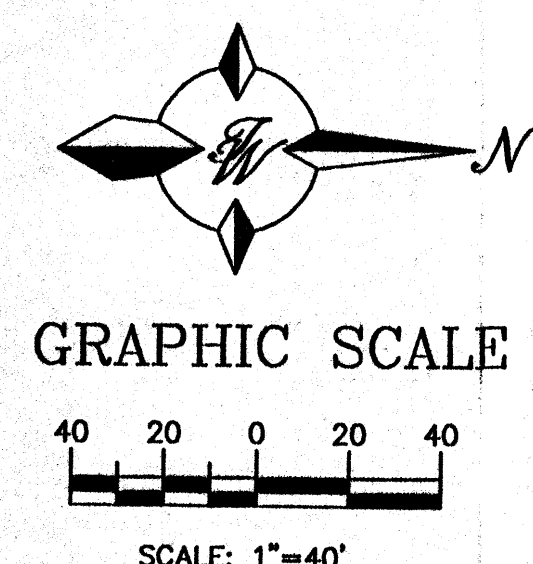
CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING
C1	43.21	1914.61	21.61	1°17'35"	S80°43'50"W
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C3	31.52	20.00	20.10	90°17'13"	N45°07'31"W

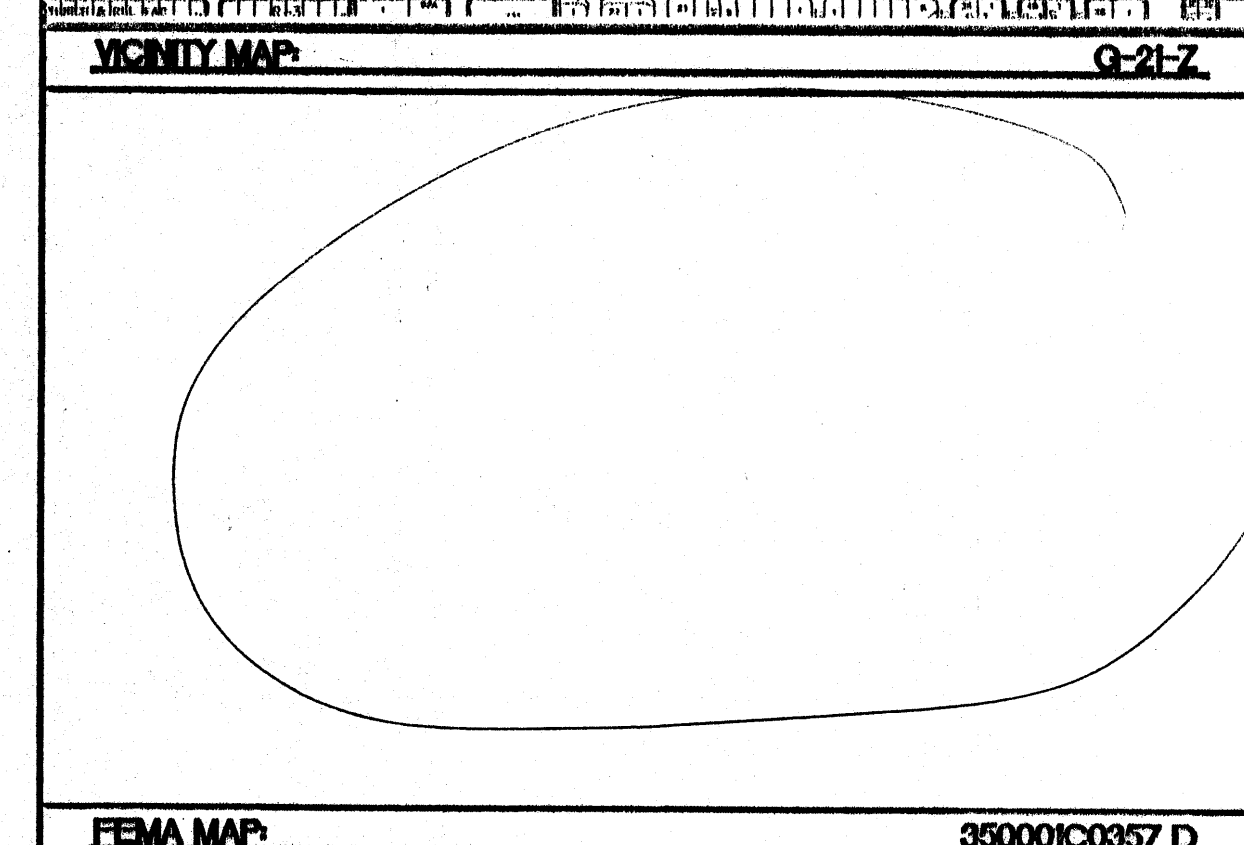
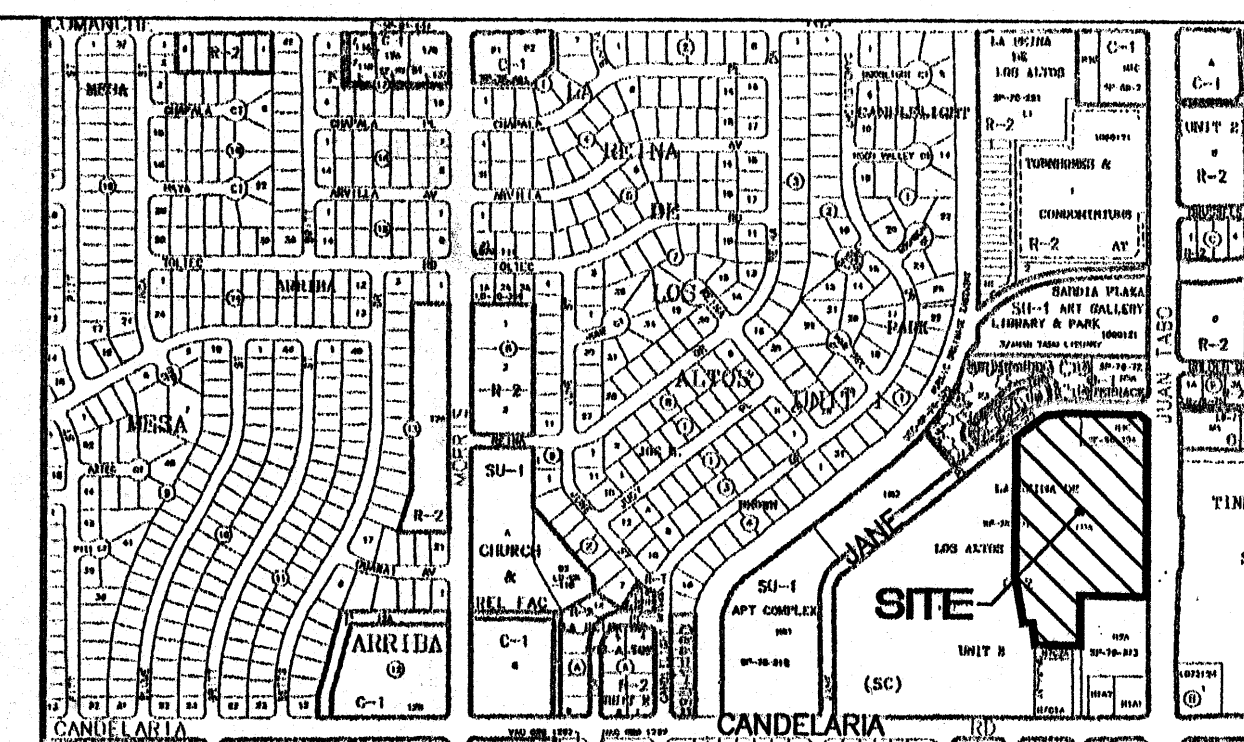
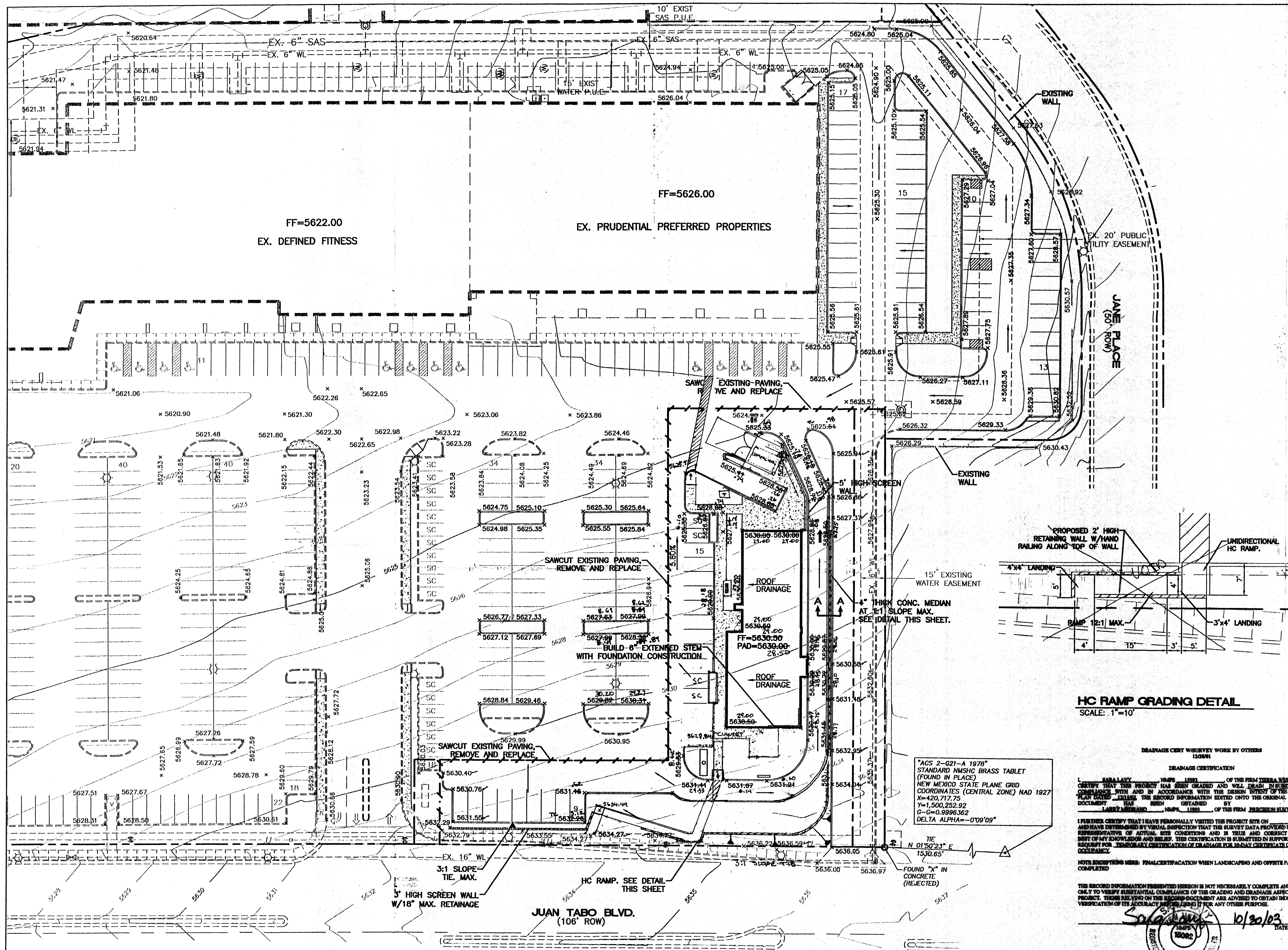
SITE DATA TABLE

TRACT	LOT SIZE	BUILDING	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ
H-3-A	8.28	EX. DEFINED FITNESS	37,084	RETAIL	C2(SC)	45' SOLAR SETBACK	-	181	220	8	8	2	2	3
H-3-A	8.28	EX. PRUDENTIAL PREFERRED PROP.	30,050	RETAIL	C2(SC)	45' SOLAR SETBACK	-	148	220	8	5	2	2	3
H-3-A-1	0.88	NEW KRISPY KREME	5,012	RESTAURANT	C2(SC)	45' SOLAR SETBACK	50	25	25	1	2	1	1	1
		TOTAL	72,146					360	465	17	15	5	5	7

INDEX TO DRAWINGS

- SITE PLAN FOR SUBDIVISION
- SITE PLAN FOR BUILDING PERMIT
- LANDSCAPING PLAN
- ELEVATIONS
- SIGN ELEVATIONS
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- DETAILS





LEGAL DESCRIPTION
TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2

- LEGEND**
- ⊙ EXISTING STORM SEWER MANHOLE
 - EX. 18" SD --- EXISTING STORM SEWER LINE
 - ⊙ PROPOSED STORM SEWER MANHOLE
 - 18" SD --- EXISTING STORM SEWER LINE
 - EXISTING CURB & GUTTER
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - NEW CURB

HC RAMP GRADING DETAIL
SCALE: 1"=10'

DRAINAGE CERT. SURVEY WORK BY OTHERS
12/28/01

DRAINAGE CERTIFICATION

I, **SARA LAMY**, **10/28/1968**, OF THE FIRM **TERRA WEST, L.L.C.** HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WELL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN EX-122-02. THE RECORD INFORMATION ENTERED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY **LARRY MORGAN**, **10/28/1968**, OF THE FIRM **TERRA WEST, L.L.C.**

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON **10/30/03** AND HAVE DETERMINED THAT THE RECORD INFORMATION ENTERED ONTO THE ORIGINAL DESIGN DOCUMENT IS CORRECT AND ACCURATE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATION OF DRAINAGE FOR 90-DAY CERTIFICATION OF COMPLETION.

NOTES: EXCEPT WHERE SHOWN, FINAL CERTIFICATION WHEN LANDSCAPING AND OFFSITE PARKING ARE COMPLETED.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

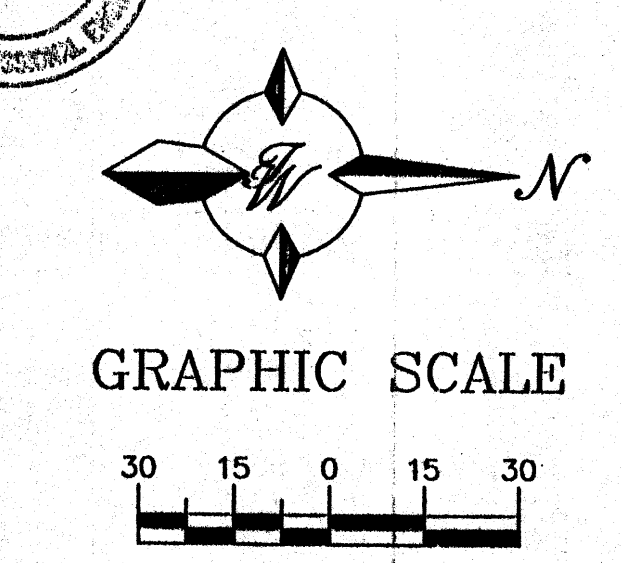
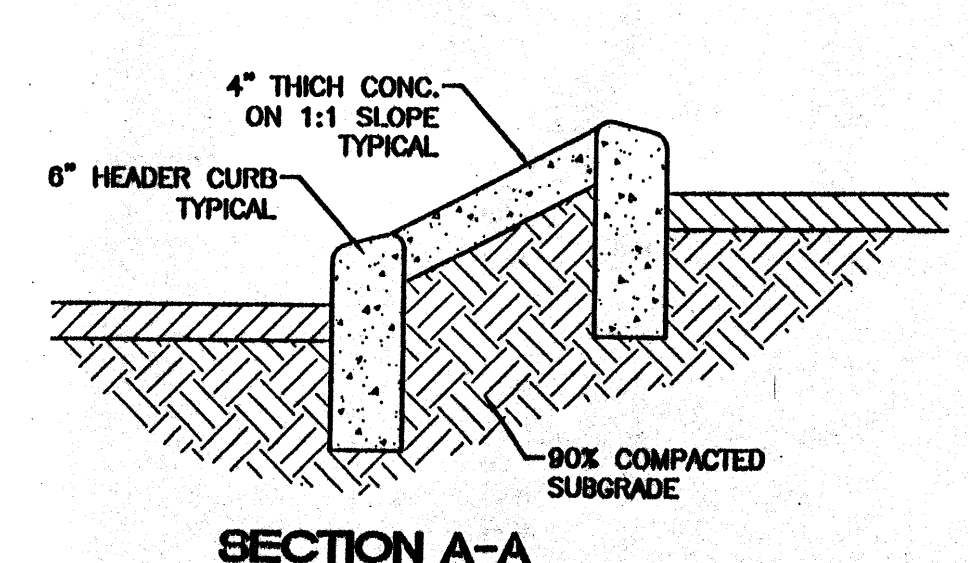
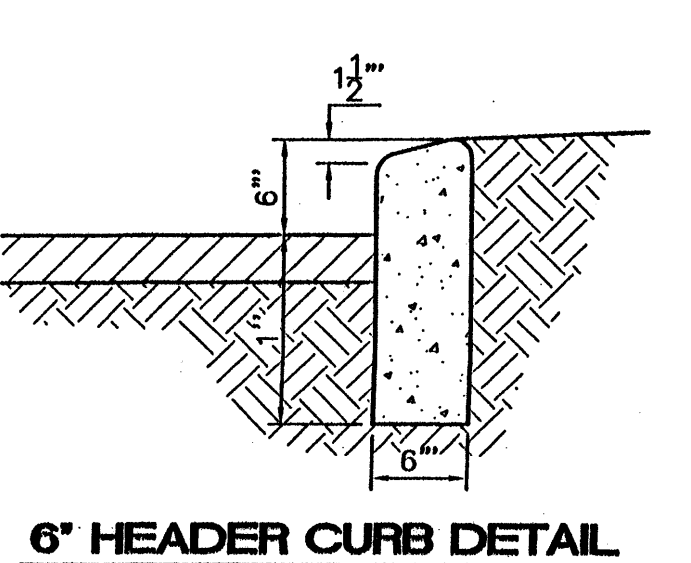
Sara Lamy 10/30/03 DATE

EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

ROUGH GRADING APPROVAL

	ENGINEER'S SEAL	KRISPY KREME SANDIA PLAZA SHOPPING CENTER	DRAWN BY BDG
		GRADING AND DRAINAGE PLAN	DATE 12/09/02
		TERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2293GR.DWG
			SHEET # C5
			JOB # 220093



NOTES:

1. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACT 3A-3-A-2-A THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
4. MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL MATCH THE EXISTING BUILDING COLORS AND MATERIAL.
5. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINAIRES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM. ALL BUILDING MOUNTED LIGHTING SHALL MEET REQUIREMENTS OF THE NIGHT SKY ORDINANCE.
6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
7. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
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16. PEDESTRIAN CONNECTIONS TO THE SITE AND CIRCULATION WITH FURNITURE SHOWN.
17. SEE SHEET C7 FOR COVERED PARKING ELEVATIONS.
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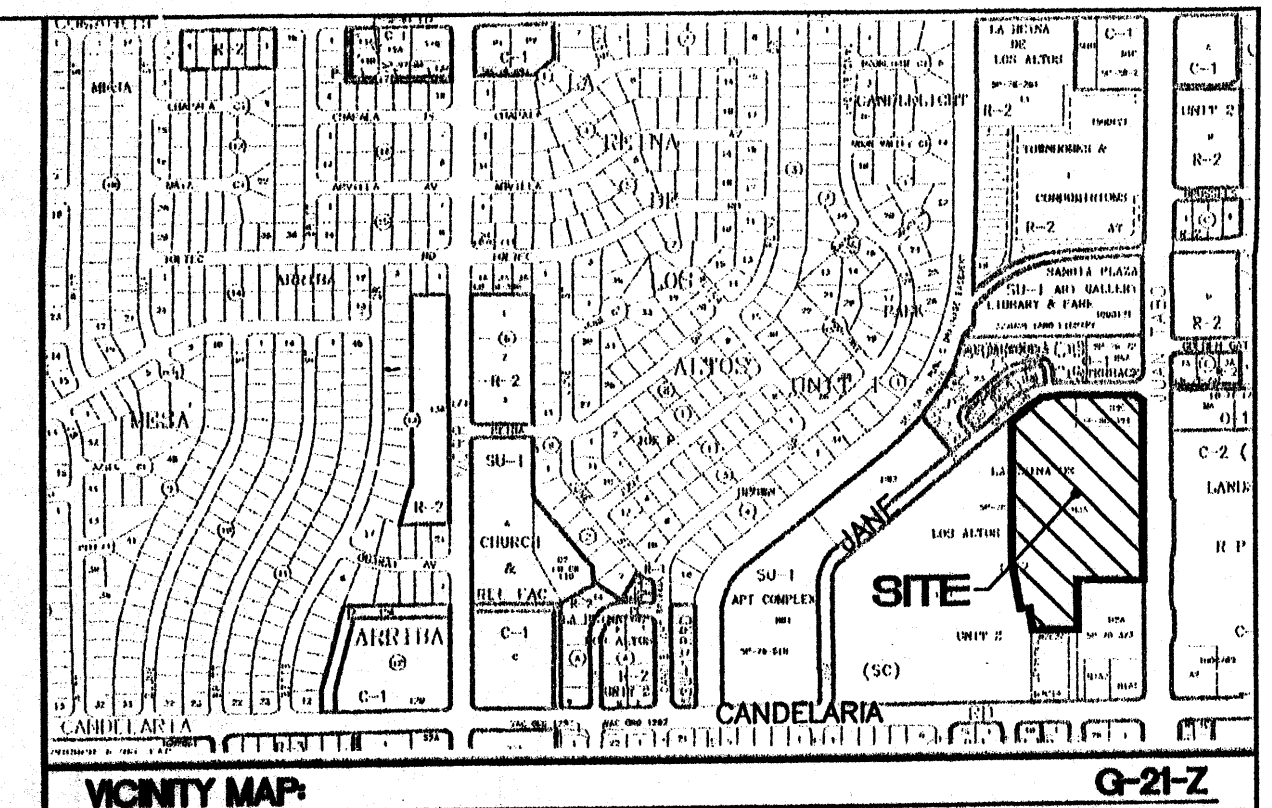
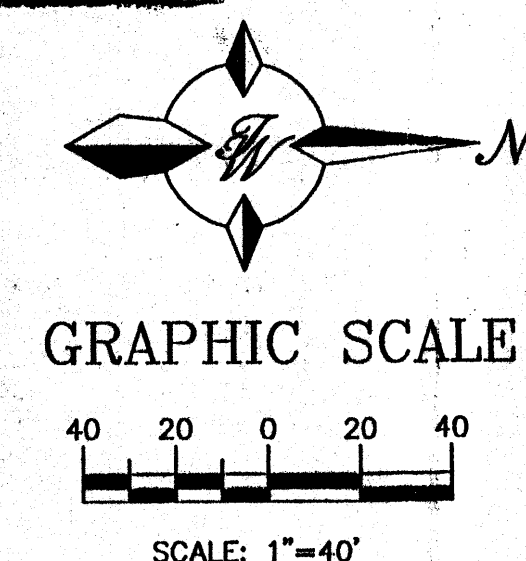
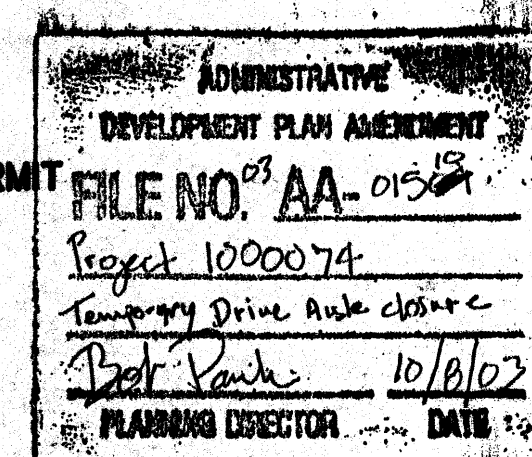
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C2	108.91	163.27	58.57	38°13'13"	S70°37'17"W	108.90
C3	31.52	20.00	20.10	90°17'13"	N45°07'31"W	28.35

SITE DATA TABLE

TRACT	LOT SIZE	BUILDING	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ
H-3-A	8.28	EX. DEFINED FITNESS	37,084	RETAIL	C2(SC)	45' SOLAR SETBACK	-	181	220	8	8	2	2	3
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H-3-A-1	0.88	NEW KRISPY KREME	5,012	RESTAURANT	C2(SC)	45' SOLAR SETBACK	50	25	25	1	2	1	1	1
TOTAL			72,146					360	465	17	15	5	5	7

INDEX TO DRAWINGS

- C1. AMENDED SITE PLAN FOR SUBDIVISION
- C2. AMENDED SITE PLAN FOR BUILDING PERMIT
- C3. LANDSCAPING PLAN
- C4. ELEVATIONS
- C4A. SIGN ELEVATIONS
- C5. GRADING AND DRAINAGE PLAN
- C5A. GRADING AND DRAINAGE DETAILS
- C6. MASTER UTILITY PLAN
- C7. DETAILS



LEGAL DESCRIPTION

TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2

PROJECT DATA:

PROJECT TENANT DEVELOPMENT, EXISTING SANDIA PLAZA SHOPPING CENTER
3301 JUAN TABO BLVD. N.E., ALBUQUERQUE, N.M.

OWNER: MOUNTAIN RUN PARTNERS, LTD.
5859 EUBANK BLVD. N.E., SUITE B-62, ALBUQUERQUE, N.M.
TELEPHONE (505) 275-0000

ZONING: C2(SC), ZONING ATLAS REFERENCE G-21-Z

LEGAL DESCRIPTION: TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2,
SECTION 4, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO

LOT AREA: 8.28 ACRES

APPLICABLE CODE: NEW MEXICO BUILDING CODE, U.B.C. 1991 EDITION

CONSTRUCTION TYPE: EXISTING V-N

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED PAVING LIMITS (NOT A PROPERTY LINE)
- EXISTING PARKING SPACES
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- BIKE RACK
- EXISTING PARKING LOT LIGHTS
- PROPOSED FIRE HYDRANT

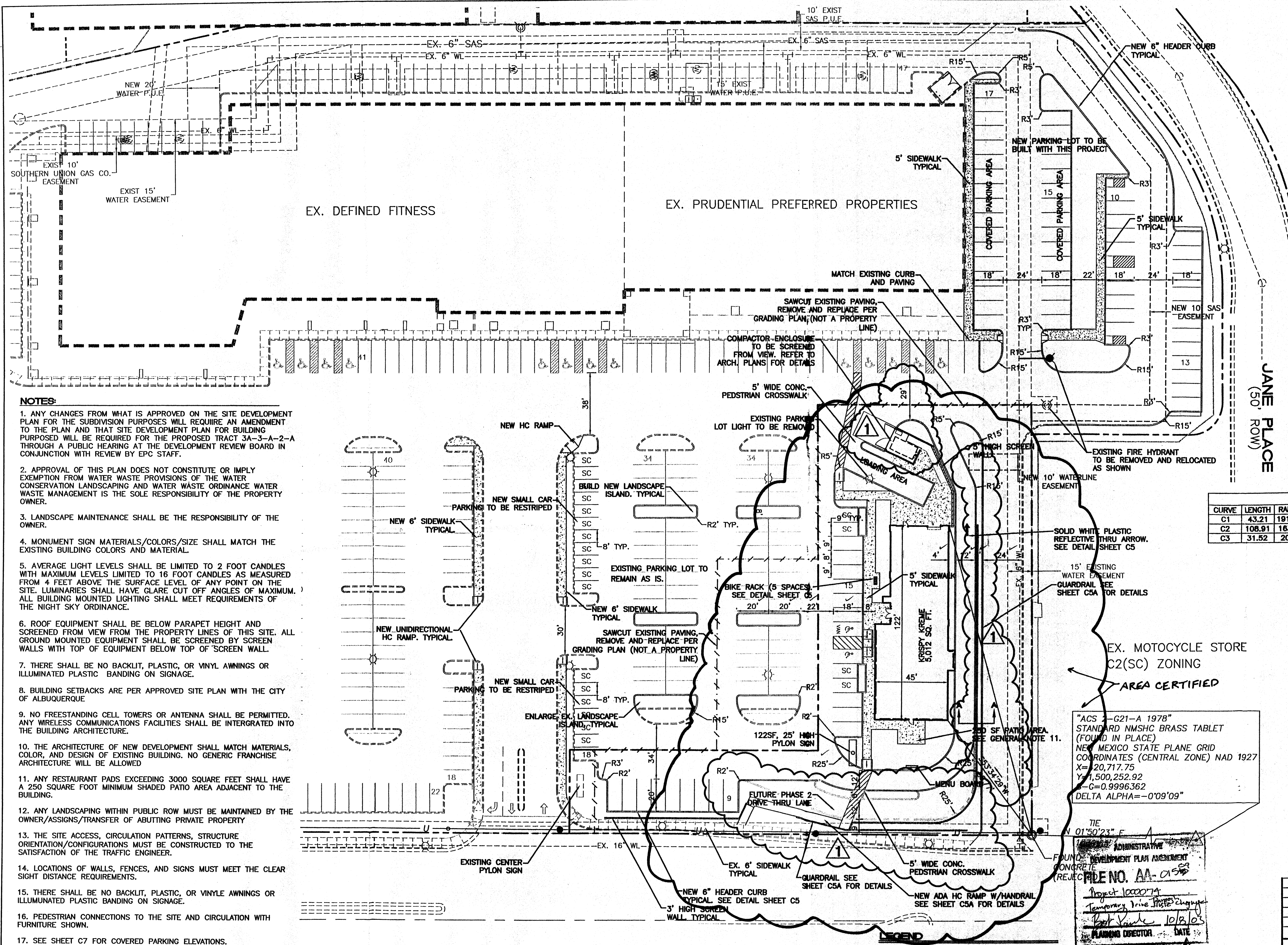
PROJECT NUMBER:

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 10/10/02 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks & Recreation	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
Solid Waste	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo	Date
County Planning Division	
PLNZ (10706) 4/96	

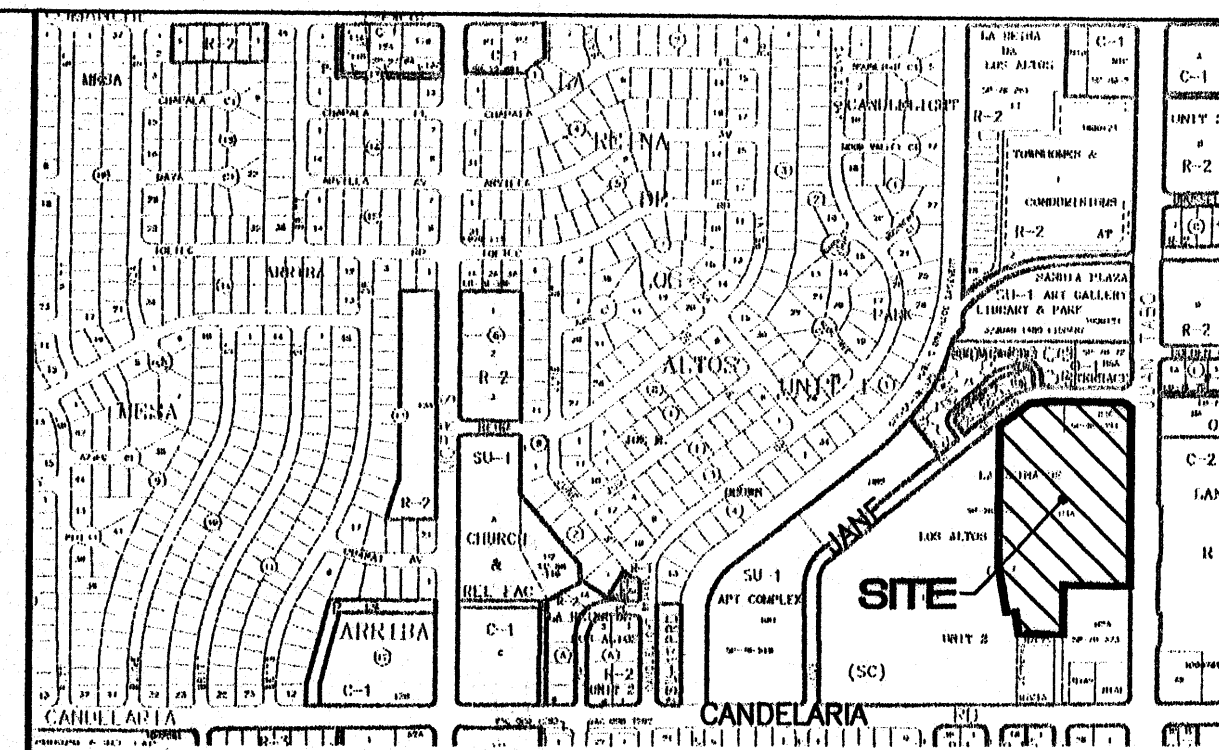
REVISIONS		REMARKS	BY
1	9/9/03	GUARDRAIL ADDITION TO RETAINING WALL	RWM
1	9/9/03	PHASED CONSTR. OF DRIVE THRU, PHASE 1 SINGLE, PHASE 2 DOUBLE	BDC
ENGINEER'S		REVISIONS	
RONALD R. BOHANNAN P.E. #7868		KRISPY KREME SANDIA PLAZA SHOPPING CENTER AMENDED SITE PLAN FOR SUBDIVISION	
DRAWN BY BDG		DATE 03/20/03	
SHEET #		C1	
JOB # 220093		TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	



- NOTES:**
1. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACT 3A-3-A-2-A THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
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 5. AVERAGE LIGHT LEVELS SHALL BE LIMITED TO 2 FOOT CANDLES WITH MAXIMUM LEVELS LIMITED TO 16 FOOT CANDLES AS MEASURED FROM 4 FEET ABOVE THE SURFACE LEVEL OF ANY POINT ON THE SITE. LUMINARIES SHALL HAVE GLARE CUT OFF ANGLES OF MAXIMUM. ALL BUILDING MOUNTED LIGHTING SHALL MEET REQUIREMENTS OF THE NIGHT SKY ORDINANCE.
 6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 7. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 8. BUILDING SETBACKS ARE PER APPROVED SITE PLAN WITH THE CITY OF ALBUQUERQUE.
 9. NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 10. THE ARCHITECTURE OF NEW DEVELOPMENT SHALL MATCH MATERIALS, COLOR, AND DESIGN OF EXISTING BUILDING. NO GENERIC FRANCHISE ARCHITECTURE WILL BE ALLOWED.
 11. ANY RESTAURANT PADS EXCEEDING 3000 SQUARE FEET SHALL HAVE A 250 SQUARE FOOT MINIMUM SHADED PATIO AREA ADJACENT TO THE BUILDING.
 12. ANY LANDSCAPING WITHIN PUBLIC ROW MUST BE MAINTAINED BY THE OWNER/ASSIGNS/TRANSFER OF ADJUTING PRIVATE PROPERTY.
 13. THE SITE ACCESS, CIRCULATION PATTERNS, STRUCTURE ORIENTATION/CONFIGURATIONS MUST BE CONSTRUCTED TO THE SATISFACTION OF THE TRAFFIC ENGINEER.
 14. LOCATIONS OF WALLS, FENCES, AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS.
 15. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 16. PEDESTRIAN CONNECTIONS TO THE SITE AND CIRCULATION WITH FURNITURE SHOWN.
 17. SEE SHEET C7 FOR COVERED PARKING ELEVATIONS.
 18. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS ALL TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.

SITE DATA TABLE

BUILDING	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ
EX. DEFINED FITNESS	37,084	RETAIL	C2(SC)	45' SOLAR SETBACK	-	181	220	8	8	2	2	3
EX. PRUDENTIAL PREFERRED PROP.	30,050	RETAIL	C2(SC)	45' SOLAR SETBACK	-	146	219	8	5	2	2	3
NEW KRISPY KREME	5,012	RESTAURANT	C2(SC)	45' SOLAR SETBACK	50	25	25	1	2	1	1	1
TOTAL	72,146					360	466	17	15	5	5	7



VICINITY MAP

LEGAL DESCRIPTION:
TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2

PROJECT DATA:

PROJECT TENANT DEVELOPMENT, EXISTING SANDIA PLAZA SHOPPING CENTER
3301 JUAN TABO BLVD. N.E., ALBUQUERQUE, N.M.

OWNER: MOUNTAIN RUN PARTNERS, LTD.
5859 EUBANK BLVD. N.E., SUITE B-62, ALBUQUERQUE, N.M.
TELEPHONE (505) 275-0000

ZONING: C2(SC), ZONING ATLAS REFERENCE G-21-Z

LEGAL DESCRIPTION: TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2,
SECTION 4, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO

LOT AREA: 8.28 ACRES

APPLICABLE CODE: NEW MEXICO BUILDING CODE, U.B.C. 1991 EDITION

CONSTRUCTION TYPE: EXISTING V-N

CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	43.21	1914.61	21.61	1°17'35"	S50°43'50"W	43.21
C2	108.91	183.27	56.57	38°13'13"	S70°37'17"W	108.90
C3	31.52	20.00	20.10	90°17'13"	N45°07'31"W	28.35

PROJECT NUMBER:

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division

Parks & Recreation

Public Works, Water Utilities Division

City Engineer, Engineering Division / AMAFCA

Solid Waste

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo

County Planning Division

PLNZ (10706) 4/96

NO.	DATE	REVISIONS	BY
2	9/8/03	GUARDRAIL ADDITION TO RETAINING WALL	RWM
1	8/25/03	PHASED CONSTR. OF DRIVE THRU, PHASE 1 SINGLE, PHASE 2 DOUBLE	BDC

ENGINEER'S	KRISPY KREME SANDIA PLAZA SHOPPING CENTER	DRAWN BY: B/JF
		DATE: 03/20/03
		2293SPAA.DWG
		SHEET #
		C2
		JOB #
		220093

RONALD R. BOHANNAN
P.E. #7868

NOTES:

1. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACT 3A-3-A-2-A THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
2. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
4. MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL MATCH THE EXISTING BUILDING COLORS AND MATERIAL.
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6. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
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18. COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS ALL TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.

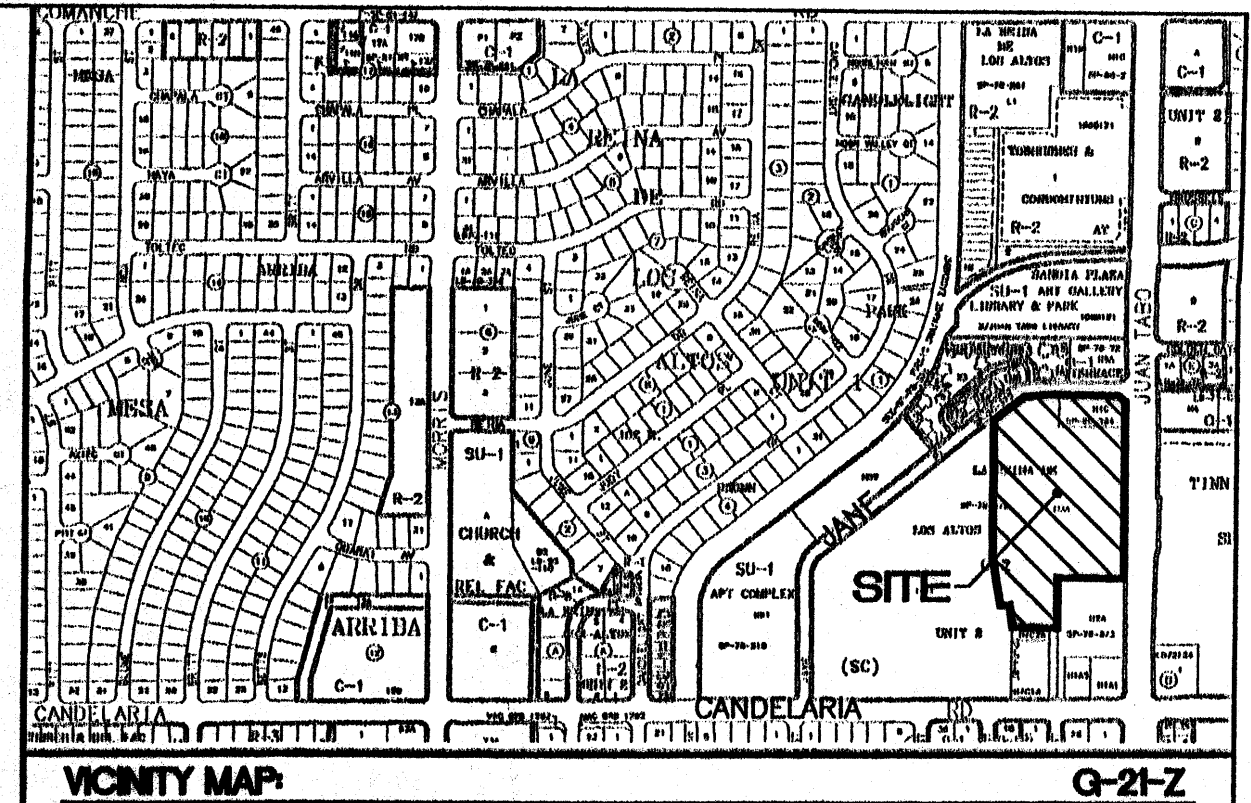
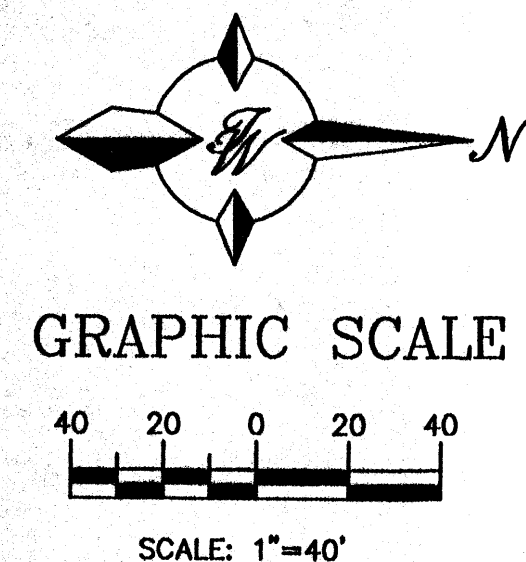
CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	43.21	1914.61	21.61	1°17'35"	S89°43'50"W	43.21
C2	108.91	163.27	56.57	38°13'13"	S70°37'17"W	106.90
C3	31.52	20.00	20.10	90°17'13"	N45°07'31"W	28.35

SITE DATA TABLE

TRACT	LOT SIZE	BUILDING	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ.
H-3-A	8.28	EX. DEFINED FITNESS	37,084	RETAIL	C2(SC)	45' SOLAR SETBACK	-	181	220	8	8	2	2	3
H-3-A	8.28	EX. PRUDENTIAL PREFERRED PROP.	30,050	RETAIL	C2(SC)	45' SOLAR SETBACK	-	146	220	8	5	2	2	3
H-3-A-1	0.88	NEW KRISPY KREME	5,012	RESTAURANT	C2(SC)	45' SOLAR SETBACK	50	25	25	1	2	1	1	1
		TOTAL	72,146					360	465	17	15	5	5	7

INDEX TO DRAWINGS

- C1. SITE PLAN FOR SUBDIVISION
- C2. SITE PLAN FOR BUILDING PERMIT
- C3. LANDSCAPING PLAN
- C4. ELEVATIONS
- C4A. SIGN ELEVATIONS
- C5. GRADING AND DRAINAGE PLAN
- C6. MASTER UTILITY PLAN
- C7. DETAILS



LEGAL DESCRIPTION

TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2

PROJECT DATA

PROJECT TENANT DEVELOPMENT, EXISTING SANDIA PLAZA SHOPPING CENTER
3301 JUAN TABO BLVD. N.E., ALBUQUERQUE, N.M.

OWNER: MOUNTAIN RUN PARTNERS, LTD.
5859 EUBANK BLVD. N.E., SUITE B-62, ALBUQUERQUE, N.M.
TELEPHONE (505) 275-0000

ZONING: C2(SC), ZONING ATLAS REFERENCE G-21-Z

LEGAL DESCRIPTION: TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2,
SECTION 4, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO

LOT AREA: 8.28 ACRES

APPLICABLE CODE: NEW MEXICO BUILDING CODE, U.B.C. 1991 EDITION

CONSTRUCTION TYPE: EXISTING V-N

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED PAVING LIMITS (NOT A PROPERTY LINE)
- EXISTING PARKING SPACES
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- BIKE RACK
- EXISTING PARKING LOT LIGHTS
- PROPOSED FIRE HYDRANT

PROJECT NUMBER: 1000074

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [date] and that the findings and conditions in the Official Notice of Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

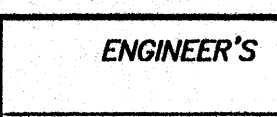
Robert J. Smith 4/16/03
Traffic Engineer, Transportation Division
Christine Sandoval 4/16/03
Public Works, Water Utilities Division
Roger A. Green 4/16/03
Bradley L. Bigham 4/16/03
City Engineer, Engineering Division / AMAFCA

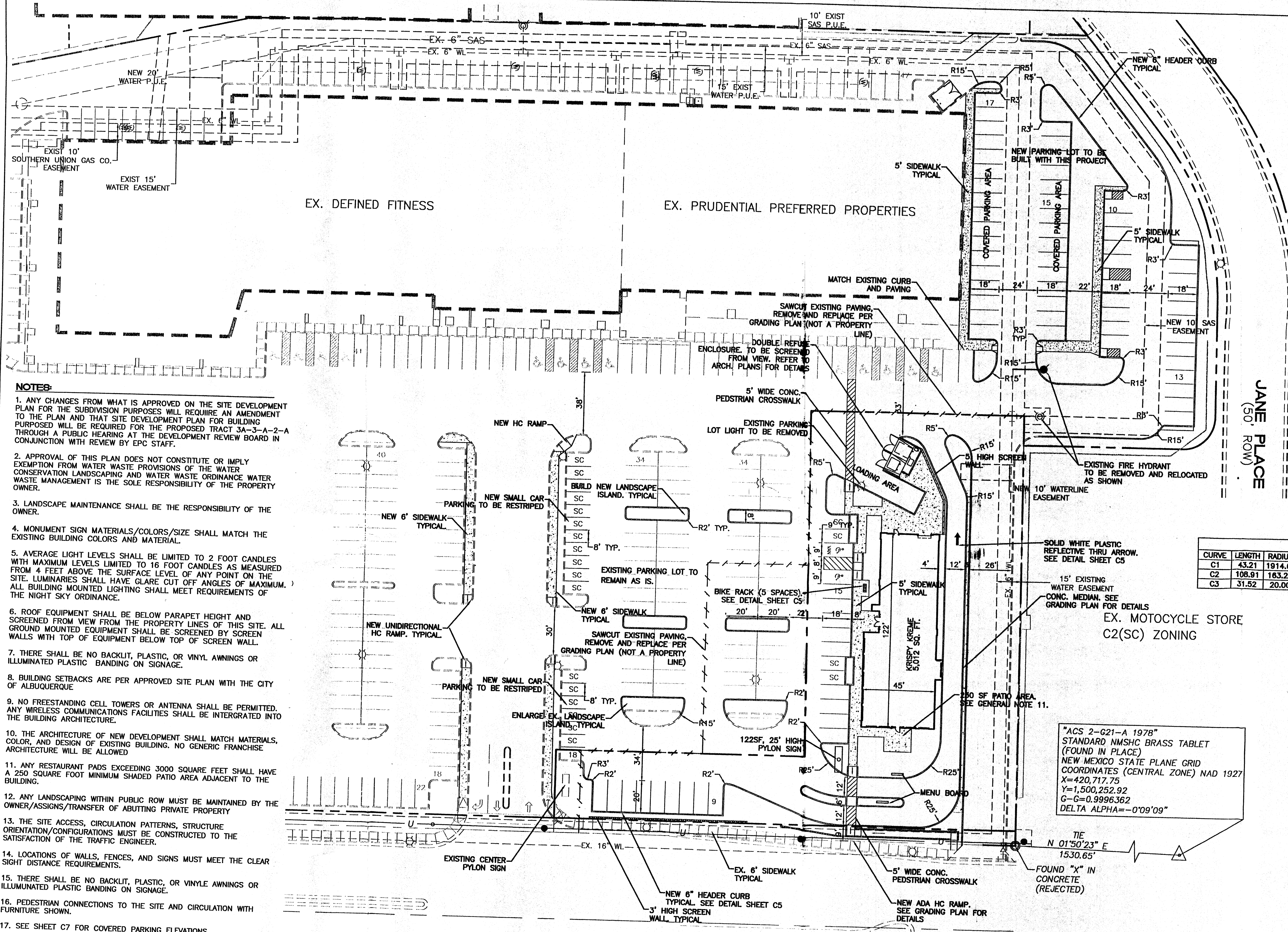
Solid Waste

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

Sharon M. Moran 4/16/03
City Planner, Albuquerque / Bernalillo
County Planning Division

PLNZ (10708) 4/96

ENGINEER'S	KRISPY KREME • SANDIA PLAZA SHOPPING CENTER	DRAWN BY BDB
		DATE 03/20/03
	SITE PLAN FOR SUBDIVISION	2293SPS.DWG
	RONALD R. BOHANNAN P.E. #7868	 TERRA WEST, L.L.C 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100



NOTES:

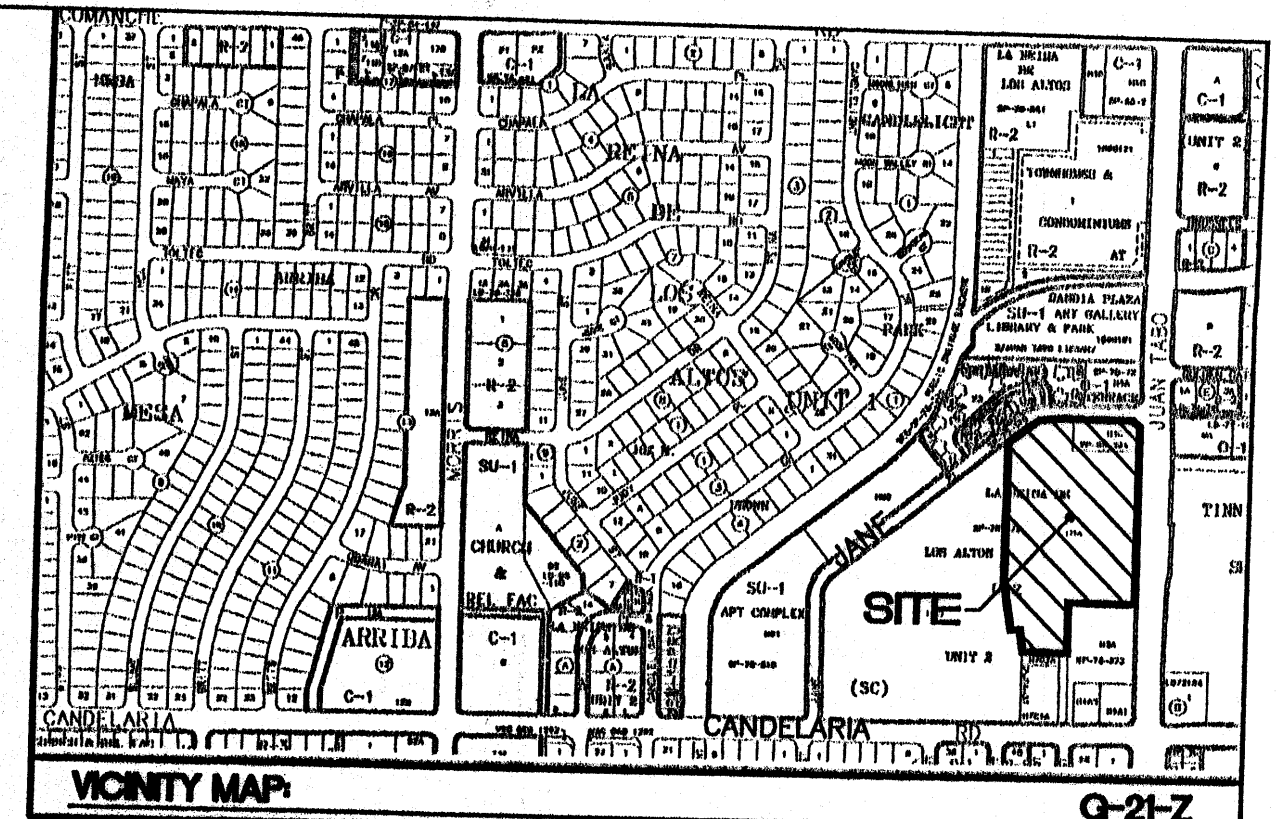
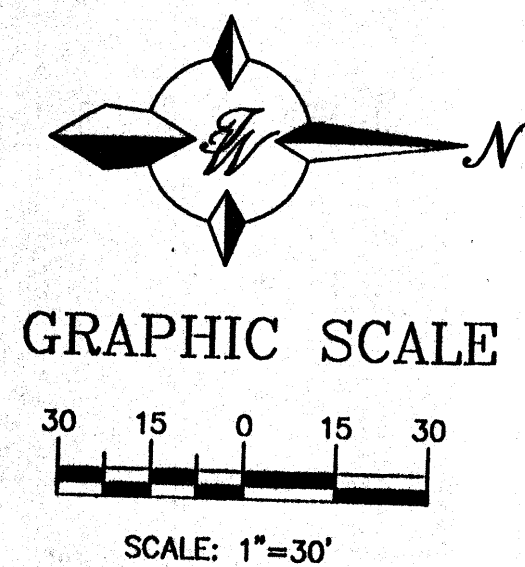
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SITE DATA TABLE

BUILDING	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE SPACES REQ
EX. DEFINED FITNESS	37,084	RETAIL	C2(SC)	45' SOLAR SETBACK	-	181	220	8	8	2	2	3
EX. PRUDENTIAL PREFERRED PROP.	30,050	RETAIL	C2(SC)	45' SOLAR SETBACK	-	146	219	8	5	2	2	3
NEW KRISPY KREME	5,012	RESTAURANT	C2(SC)	45' SOLAR SETBACK	50	25	25	1	2	1	1	1
TOTAL	72,146					360	468	17	15	5	5	7

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED PAVING LIMITS (NOT A PROPERTY LINE)
- EXISTING PARKING SPACES
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- BIKE RACK
- EXISTING PARKING LOT LIGHTS
- PROPOSED FIRE HYDRANT



LEGAL DESCRIPTION
TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2

PROJECT DATA:

PROJECT TENANT DEVELOPMENT, EXISTING SANDIA PLAZA SHOPPING CENTER
3301 JUAN TABO BLVD. N.E., ALBUQUERQUE, N.M.

OWNER: MOUNTAIN RUN PARTNERS, LTD.
5859 EUBANK BLVD. N.E., SUITE B-62, ALBUQUERQUE, N.M.
TELEPHONE (505) 275-0000

ZONING: C2(SC), ZONING ATLAS REFERENCE G-21-Z

LEGAL DESCRIPTION: TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2,
SECTION 4, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO

LOT AREA: 8.28 ACRES

APPLICABLE CODE: NEW MEXICO BUILDING CODE, U.B.C. 1991 EDITION

CONSTRUCTION TYPE: EXISTING V-N

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD LENGTH
C1	43.21	1914.61	21.61	1°17'35"	S50°43'50"W	43.21
C2	106.91	163.27	56.57	38°13'13"	S70°37'17"W	106.90
C3	31.52	20.00	20.10	90°17'13"	N45°07'31"W	26.35

PROJECT NUMBER: 100007

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notice of Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Ronald R. Bohannon 4/16/03
Traffic Engineer, Transportation Division Date

Christina Sandoval 4/16/03
Parks & Recreation Date

Roger L. Shuen 4/16/03
Public Works, Water, Utilities Division Date

Buddy L. Bigham 4/16/03
City Engineer, Engineering Division / AMAFCA Date

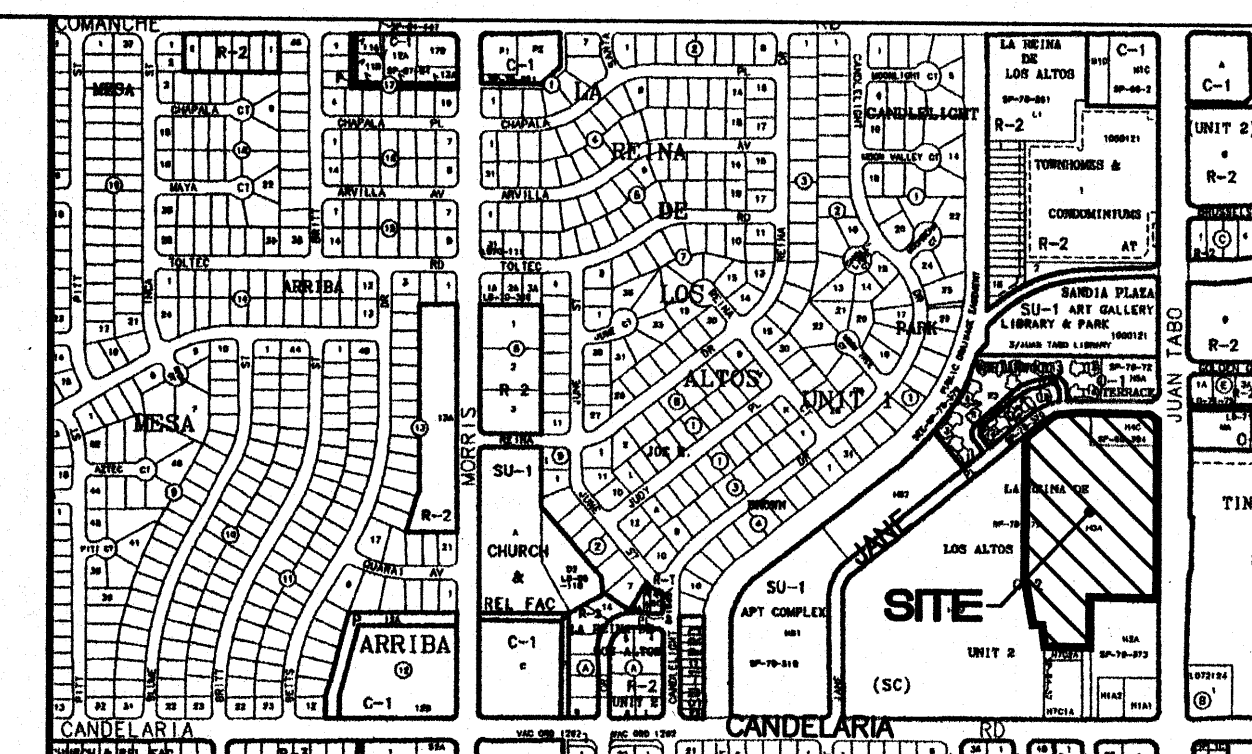
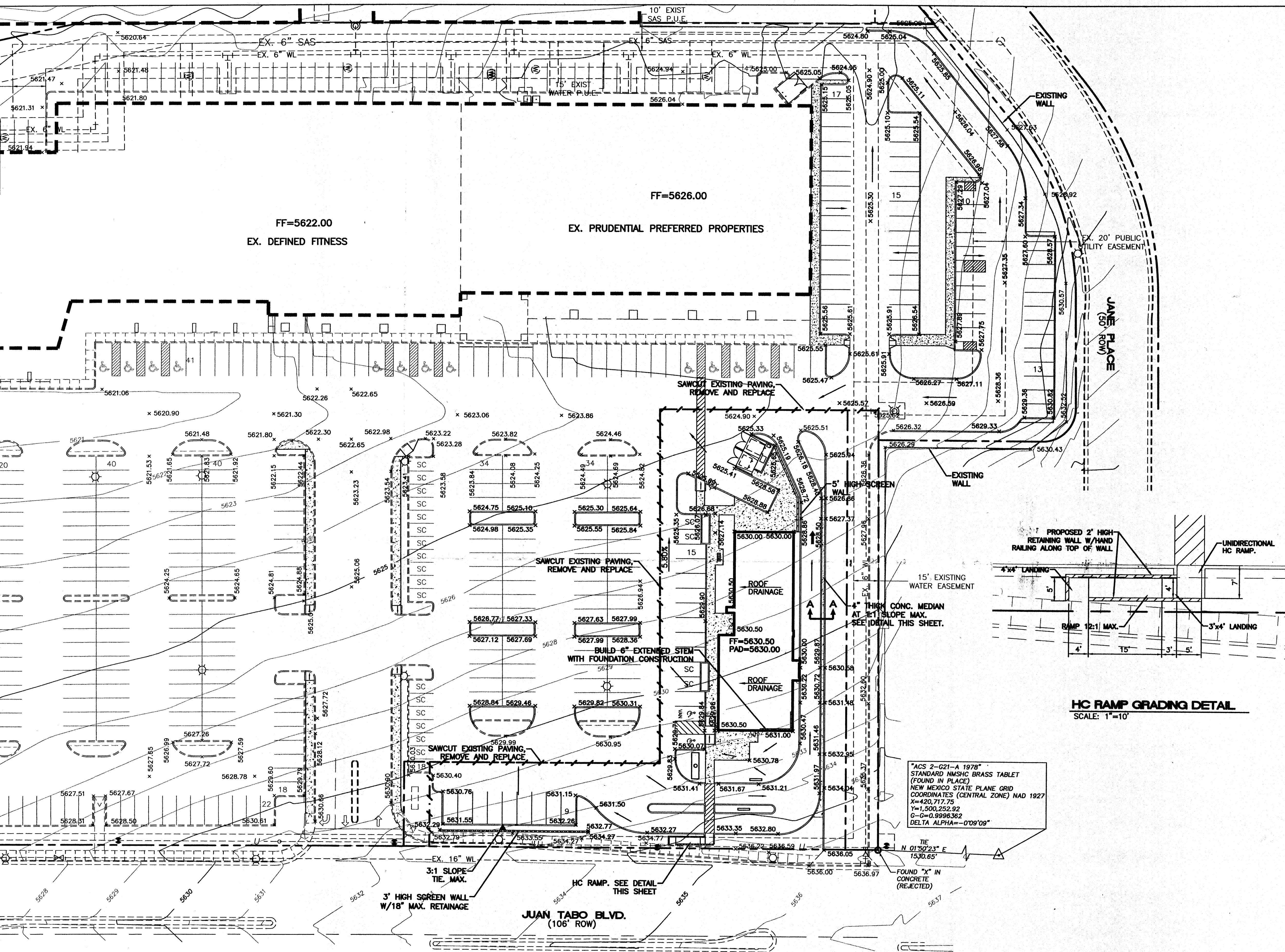
Solid Waste Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

Sherrin Nelson 4/16/03
City Planner, Albuquerque Bernalillo County Planning Division Date

PLNZ (10706) 4/96

ENGINEER'S <i>Ronald R. Bohannon</i> PROFESSIONAL RONALD R. BOHANNAN P.E. #7868	KRISPY KREME • SANDIA PLAZA SHOPPING CENTER SITE PLAN FOR BUILDING PERMIT <i>TERRA WEST, L.L.C.</i> 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100	DRAWN BY BUF DATE 03/20/03 2293SP.DWG SHEET # C2 JOB # 220093
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VICINITY MAP
G-21-2

FEMA MAP
350001C0357 D

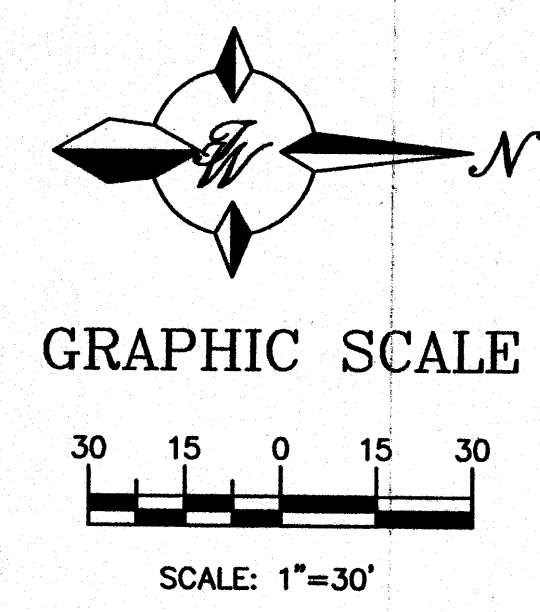
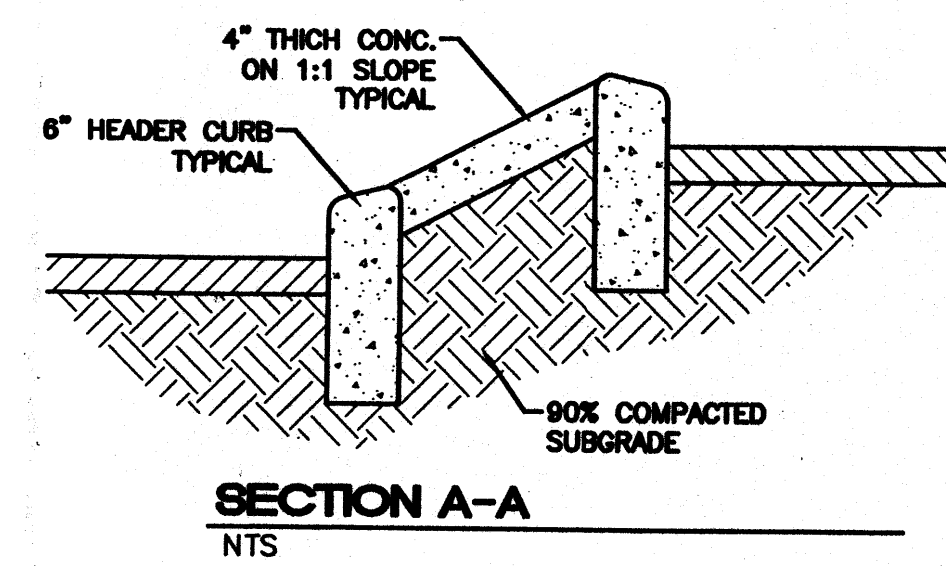
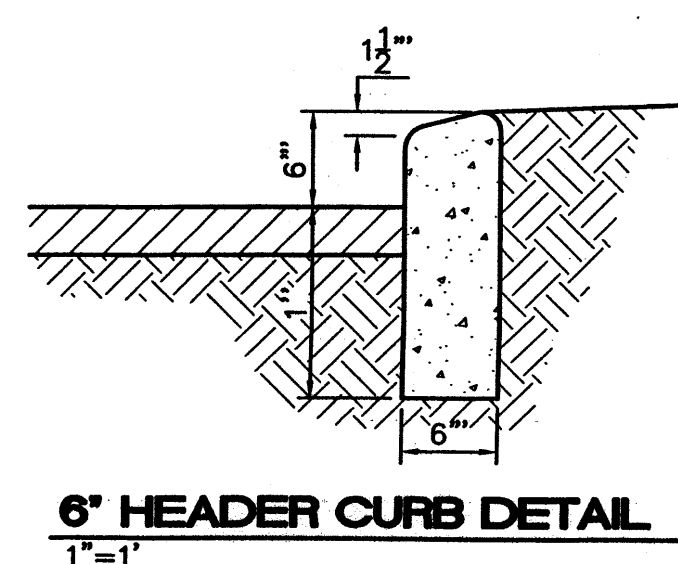
LEGAL DESCRIPTION
TRACT H-3-A LA REINA DE LOS ALTOS, UNIT NO. 2

- LEGEND**
- ⊙ EXISTING STORM SEWER MANHOLE
 - EX. 18" WL
 - ⊙ PROPOSED STORM SEWER MANHOLE
 - EXISTING STORM SEWER LINE
 - EXISTING CURB & GUTTER
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - NEW CURB

- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

HC RAMP GRADING DETAIL
SCALE: 1"=10'

"ACS 2-G21-A 1978" STANDARD NMHC BRASS TABLET (FOUND IN PLACE) NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) NAD 1927 X=420,717.75 Y=1,500,252.92 G-G=0.9996362 DELTA ALPHA=-0°09'09"



ROUGH GRADING APPROVAL 		KRISPY KREME • SANDIA PLAZA SHOPPING CENTER		DRAWN BY: BDC
		GRADING AND DRAINAGE PLAN		DATE: 12/09/02
TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # C5		JOB # 220093