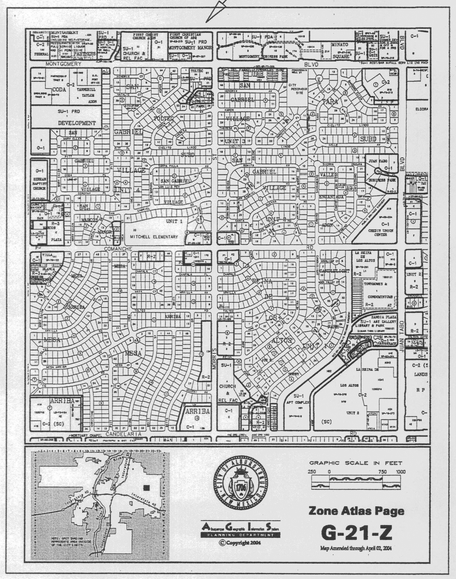
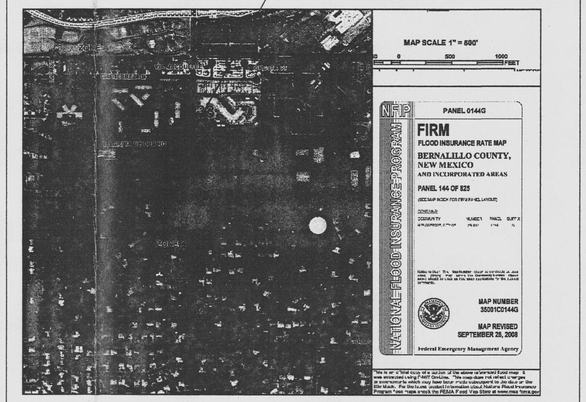
SITE LOCATION



SITE LOCATION



GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING (10330 MONTGOMERY BLVD. N.E.) LOT B1 TOLTEC PARK SUBDIVISION, CITY OF ALBUQUERQUE, AND BERNALILLO COUNTY, NEW MEXICO ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.5901 ACRES MORE OR LESS, AND IS LOCATED AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF MONTGOMERY BLD. N.E. AND MORRIS STREET N.E..THE SITE IN ITS EXISTING CONDITION IS ABOUT 80% DEVELOPED WITH A 2,378 SQ. FT. OFFICE BUILDING ALONG WITH ASPHALT PARKING AND LANDSCAPED AREAS. ALL EXISTING DEVELOPED RUN-OFF IS DIVERTED TO THE NORTHWEST CORNER OF THE SITE. ORIGINALLY THE SITE WAS DEVELPOED IN 1972 WHICH INDICATED A RETENTION PONDING AREA ALONG THE NORTHWEST CORNER. THERE IS NO PONDING AREA JUST DIRT AREA WHERE THE PROPOSED PARKING AREA IS TO BE LOCATED NOW. ACCORDING THE FLOOD INSURANCE RATE MAPS, PANEL 0144G, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE NOR DOES IT CONTRIBUTE TO ANY DOWNSTREAM FLOODING. NO OFF-SITE FLOWS ENTER THE SITE FROM ANY DIRECTION. THIS SITE IS AN IN-FILL SITE WITH EXISTING DEVELOPMENT ALL AROUND.

PROPSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A PROPOSED 1,250 Q. FT. ADDITION WHICH WILL BE LOCATED AND ATTACHED TO THE WEST OF THE EXISTING OFFICE COMPLEX.NEW ASPHALT PARKING IS PROPOSED JUST WEST OF THE NEW ADDITION. ALL THE EXISTING RUN-OFF AND THE NEW,LY DEVELOPED RUN-OFF WILL BE CONVEYED VIA THE NEW ASPHALT PARKING AREA NORTH AND INTO A CONCRETE RUNDOWN AND UNDER A PROPOSED SIDEWALK CULVERT ONTO MONTGOMERY BLVD.. THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS, AS SET FORTH FOR THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II, and DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME GENERATED.

PROJECT AREA = 0.5901 ac.
ADDITION TO DIENTIST OFFICES
ZONE 3
PRECIPITATION: 360 = 2.60 in.
1440 = 3.1 in.
10day = 4.9 in.

	EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.6 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

	EXISTING CONDITIONS: AREA	PROPOSED CONDITIONS: AREA
TREATMENT A	0 ac.	0 ac.
TREATMENT B	0.07 ac.	0.088 ac.
TREATMENT C	0.22 ac.	0.1344 ac.
TREATMENT D	0.3 ac.	0.3679 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E =(0.66)x(0.00)+(0.92)x(0.07)+(1.29)x(0.22)+(2.36)x(0.30)/ 0.59 ac.
= 1.79 in.

V100-360 =(1.79)x(0.59)/ 12 = 0.088017 ac-ft = 3834 CF

EXISTING PEAK DISCHARGE:

Q100 =(1.87)x(0.00)+(2.60)x(0.07)+(3.45)x(0.22)+(5.02)x(0.30)= 2.45 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E =(0.66)x(0.00)+(0.92)x(0.09)+(1.29)x(0.13)+(2.36)x(0.37)/ 0.59 ac.
= 1.90 in.

V100-360 =(1.90)x(0.59)/ 12.0 = 0.093548 ac-ft = 4075 CF

V100-1440 =(0.09)+(0.37)x(3.10 - 2.60)/ 12 = 0.108878 ac-ft = 4743 CF

V100-10day =(0.09)+(0.37)x(4.90 - 2.60)/ 12 = 0.164063 ac-ft = 7147 CF

PROPOSED PEAK DISCHARGE:

Q100 =(1.87)x(0.00)+(2.60)x(0.09)+(3.45)x(0.13)+(5.02)x(0.37)= 2.54 CFS

INCREASE 2.54 CFS - 2.45 CFS = 0.09 CFS

DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY NOTICE TO CONTRACTOR:

1. An excavation permit will be required before beginning any work within the City right-of-Way.
2. All work on this project shall be perfprmed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, contractor must contact line locating services New Mexico One Call 260-1990, (NM one call "811") for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the the location of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of this facilities shall be the responsibility of the owner of the property it serves
7. Work on arterial streets shall be performed on a 24-hour basis.

LEGAL DESCRIPTION

LOT B1 TOLTEC PARK
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

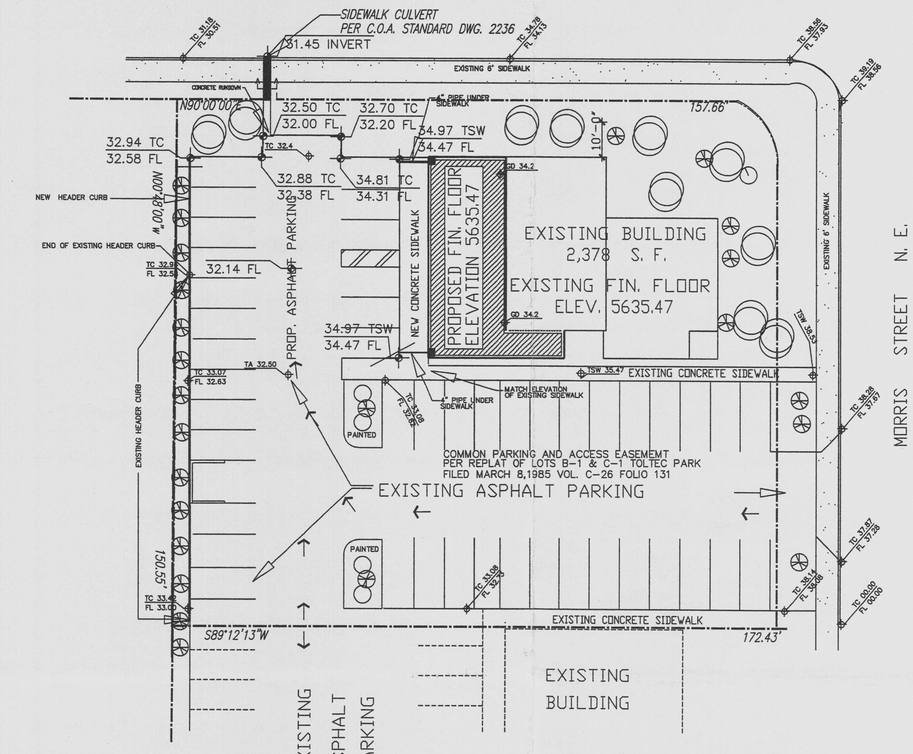
BENCHMARK:

NOTES:

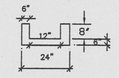
1. A.C.S. BENCH MARK REFERENCE: STA. '31_F21', AN ALUM. CAP SET IN CONCRETE ON THE NORTHWEST RETURN OF THE INTERSECTION OF MORRIS STREET AND MONTGOMERY BLVD. N.E. ELEVATION = 5639.332

TBM

1. TOP OF EXISTING FINISH FLOOR ELEVATION: 5635.47



APPROVAL	NAME	DATE	TITLE: ADDITION TO DENTIST OFFICES
INSPECTOR			MAP NO. G21



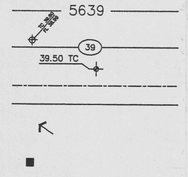
CONCRETE TROUGH A-A
NTS

SIDEWALK CULVERT CAPACITY

Q = Cs (2gh)1/2 — q = 0.667 sq. ft.
Q = (.67)(0.667)((2x32.2x.5)1/2 — C = .67
Q = 2.54 CFS > 2.53 CFS OK — h = .5'
g = 32.2

SYMBOL LEGEND

EXISTING CONTOUR
EXISTING SPOT ELEVATION
DESIGN CONTOUR
PROPOSED SPOT ELEVATION
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION
EXISTING SPOT ELEVATION
DOWN SPOUT



ABBREVIATION LEGEND

TOP OF CONC PAD	-	TCP
TOP OF CURB	-	TC
TOP OF ASPHALT	-	TA
TOP OF BERM	-	TB
BOTTOM OF POND	-	BP
FINISHED FLOOR	-	FF

BOC	=	BACK OF CURB
DC	=	DRIVECUT
DI	=	DRAINAGE INLET
EA	=	EDGE OF ASPHALT
EC	=	EDGE OF CONCRETE
FL	=	FLOW LINE
FP	=	FENCE POST
G	=	GROUND
HP	=	HIGH POINT

DRAINAGE PLAN
1" = 20.0'

North

ENRIQUE SARAH
NEW MEXICO
6796
REGISTERED PROFESSIONAL ENGINEER

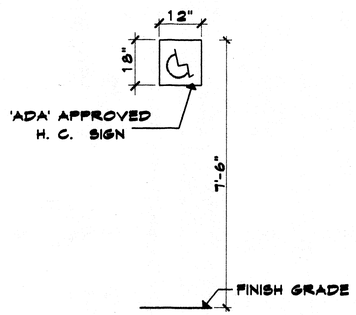
JOB NO:	XXXXXX
DATE:	MARCH 2009
REVISIONS	
	MARCH 27, 2009

Sheet Title: GRADING & DRAINAGE PLAN
Drawn By: HTH & BJM Checked By: ES

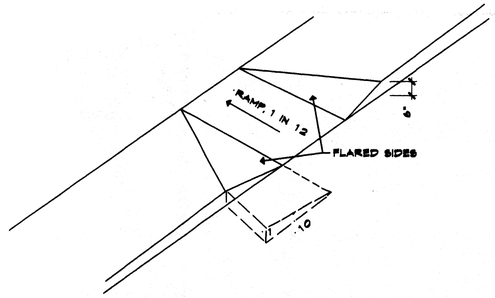
Job Title: ADDITION TO DENTIST OFFICES
10330 MONTGOMERY BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO

SHEET NO.
G0

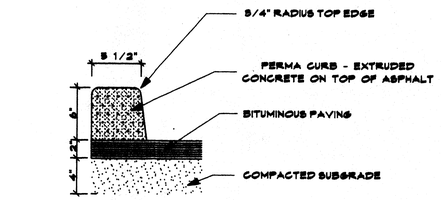
ROSS DENTAL OFFICES



HANDICAPPED SIGN DETAIL



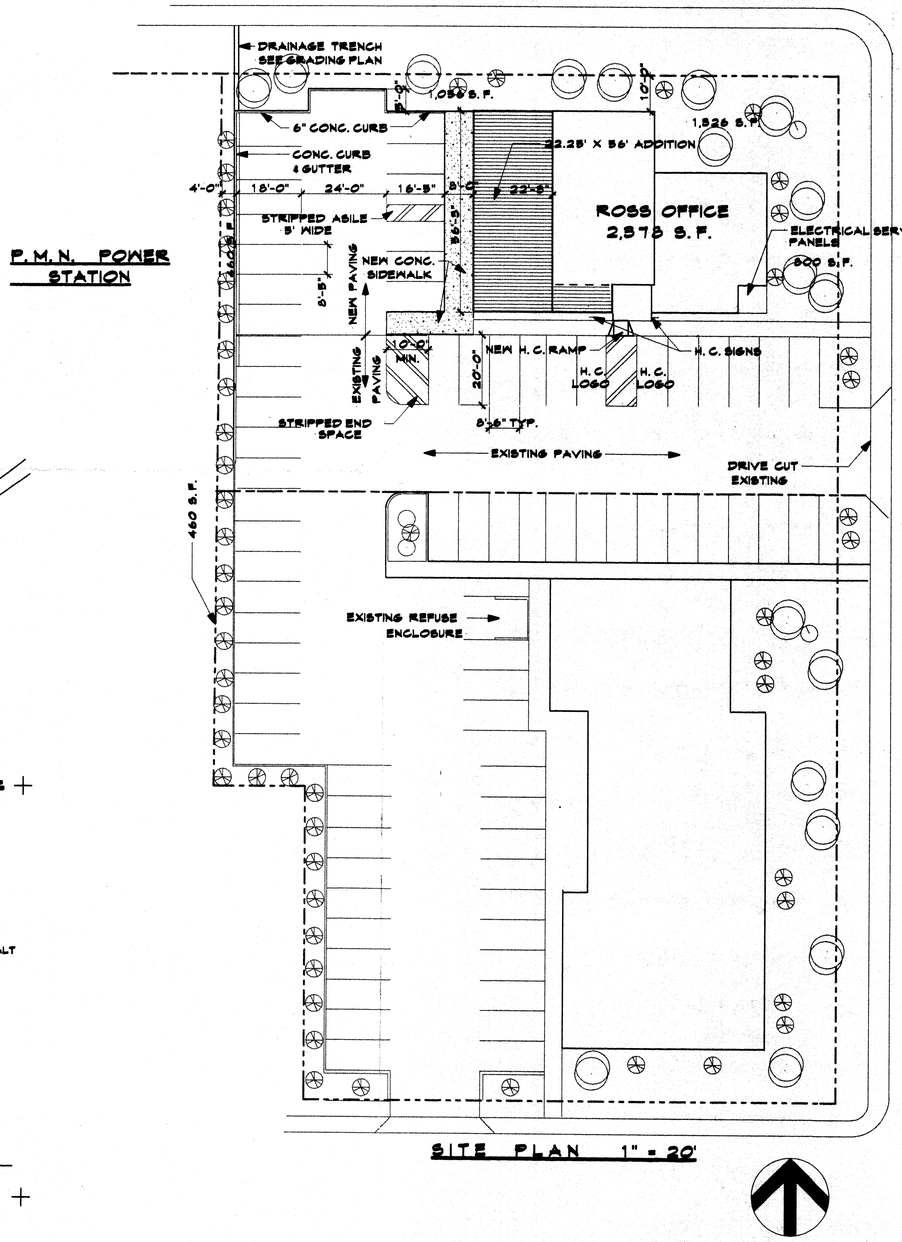
HANDICAPPED RAMP DETAIL



1/1 PERMA-CURB DETAIL

SCALE: 3"=1'-0"

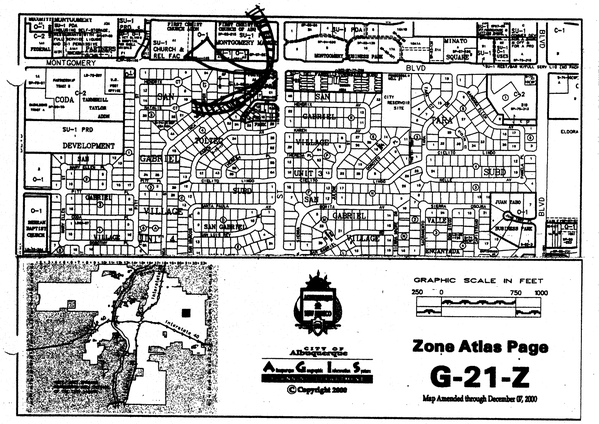
MONTGOMERY BLV'D N.E.



SITE PLAN 1" = 20'

P.M.N. POWER STATION

MORRIS STREET N.E.



VICINITY MAP

DESIGN DATA

OCCUPANCY GROUP	'B'
CONSTRUCTION TYPE	VB
SOIL BEARING	1,500 PSF
WIND PRESSURE	90 MPH
CONCRETE STRENGTH	3,000 PSI
ROOF LIVE LOAD	30 PSF
SEISMIC USE GP	1

FLOOR AREA:

REMODELED AREA = 1,521 S.F.

NEW ADDITION = 1,252 S.F.

PARKING

REQUIRED:

3 DENTISTS = 3 x 5 = 15 SPACES

PROVIDED:

30 SPACES

LANDSCAPING:

- MODESTO ASH - 2" CALIPHER
- PURPLE LEAF PLUM - 2' CALIPHER
- AUSTRIAN PINE - 2' CALIPHER
- SHRUBS, A MIXTURE OF THE FOLLOWING; CHAMISA, RUSSIAN SAGE, FOUR WING, SALTBUSH, APACHE PLUME & THREE LEAF SUMAC - 5 GAL

GROUND COVER - 3/4" GRAVEL 'SANTA FE TAN'
GRASS - BUFFLO GRASS WHERE SHOWN

IRRIGATION BY DRIP IRRIGATION SYSTEM AND LAWN SPRINKLER SYSTEM

MAINTENANCE BY OWNER

RECEIVED
APR 22 2009
HYDROLOGY SECTION

LEGAL DESCRIPTION

LOT B-1, TRACT 'A', TOLTEC PARK
BERNALILLO COUNTY, NEW MEXICO

MILLER AND ASSOCIATES
ARCHITECTS PLANNERS
5220 SECOND STREET N.W.
ALBUQUERQUE, NEW MEXICO
505) 345-1512

JOB NO. 0840
DATE
REVISION 4/09
DRAWN BY JWM
CHECKED BY

SHEET TITLE: SITE PLAN, NOTES & DETAILS

JOB TITLE: ROSS DENTAL OFFICES
10550 MONTGOMERY BLV'D N.E.
ALBUQUERQUE, NEW MEXICO