

# CITY OF ALBUQUERQUE



March 9, 2016

George Rodriguez-Development. Consultant  
George Rodriguez  
12800 San Juan NE  
Albuquerque, NM 87123

**Re: Marble Brewery**  
**9904 Montgomery Blvd., NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp **NO STAMP** (G21-D043)

Dear Mr. Rodriguez,

Based upon the information provided in your submittal received 3-4-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
2. Please identify location of Fire Department connection. If located on side of building, an access isle must be provided and no parking allowed in front of connection site.
3. Identify all existing access easements and rights of way with dimensions.
4. Identify the right of way width, medians, curb cuts, and street widths on Montgomery Blvd.
5. Please detail ADA ramp to building entrance, along with all building or patio entrances.
6. Please list the width and length for all existing and proposed parking spaces.
7. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
8. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of HC signs.
9. The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
10. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.

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11. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
12. One-way vehicular paths require pavement directional signage and a posted **"Do Not Enter"** sign at the point of egress. Please show detail and location of posted signs.
13. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
14. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please show this detail for all entrances/exits on Montgomery Blvd.
15. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
16. Please include a copy of your shared access agreement with the adjacent property owner.
17. On-Street parking Allowance to fulfill zoning's parking requirement must be requested and approved by the Traffic Engineer, Racquel Michel prior to TCL approval. The application requires at least 30 working days. On-street parking allowances are based on available parking along public right-of-ways fronting the property. The business will only be granted 50% credit for available street parking.
18. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
19. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
20. Please include two copies of the traffic circulation layout at the next submittal.

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# CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File

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# 'FAST TRACK'

## City of Albuquerque

Planning Department  
Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

G21-2043  
J14D140

Project Title: MARBLE BREWERY Building Permit #: \_\_\_\_\_ Hydrology File #: 5/5  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: N. 250' OF EAST 200' OF LOT 1, CODA DEVELOPMENT SUBD.  
City Address: 9904 MONTGOMERY BLVD. W.C.

Applicant: GEORGE T. RODRIGUEZ-DEVEL. CONSULTANT Contact: GEORGE RODRIGUEZ  
Address: 12800 SAN JUAN N.E., CITY 87123  
Phone#: 610-0593 Fax#: \_\_\_\_\_ E-mail: pawrod@hotmail.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

#### DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

#### TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

#### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

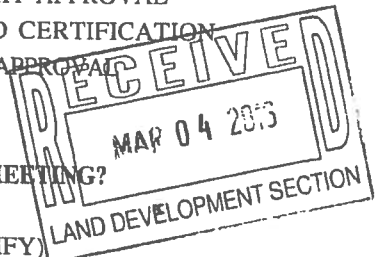
- ☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ GRADING/ESC PERMIT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING?  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

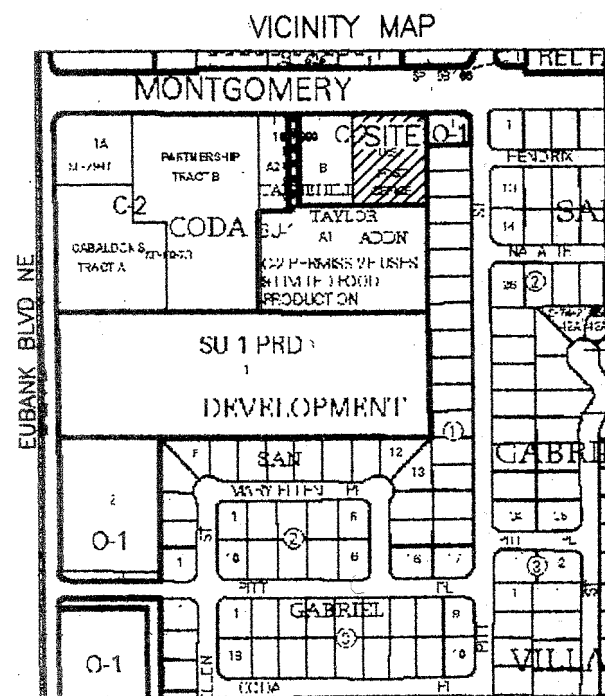
DATE SUBMITTED: 03-04-16 By: George T. Rodriguez

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

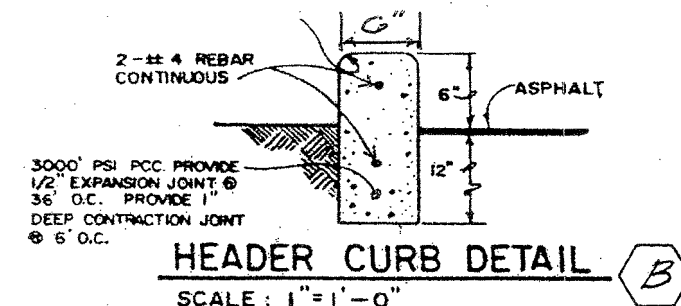
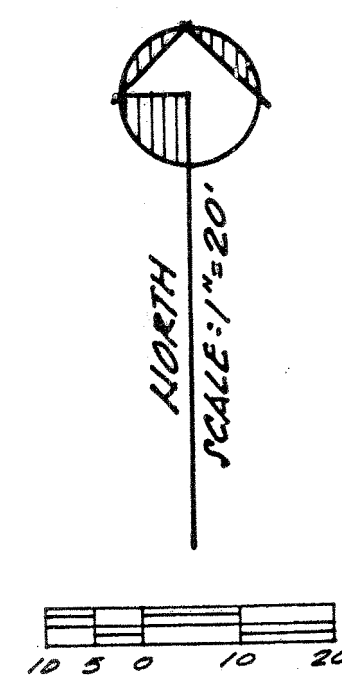
FEE RECEIVED: \_\_\_\_\_



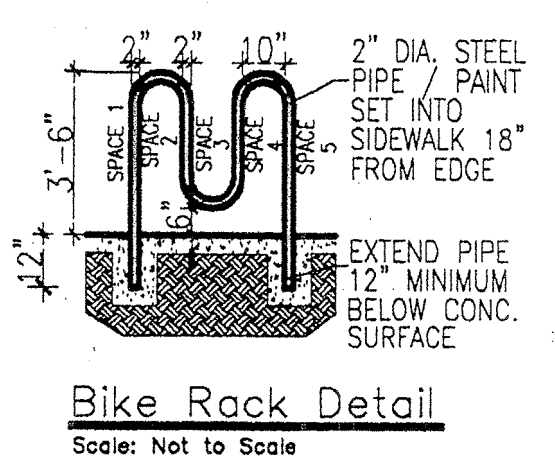
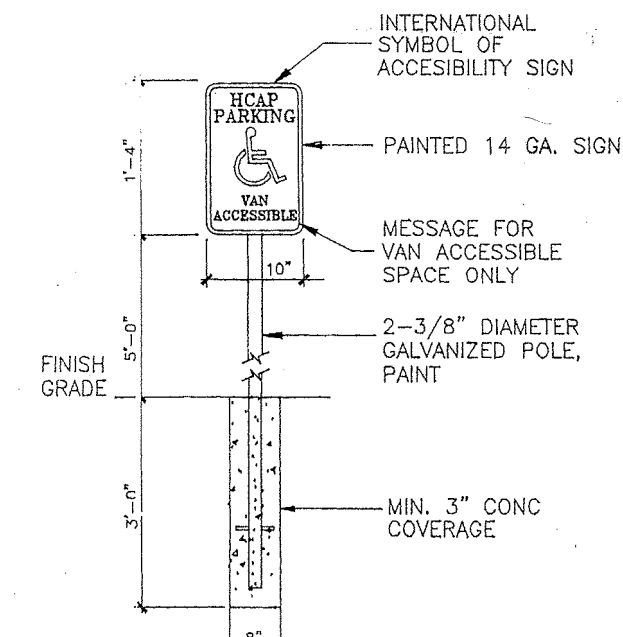
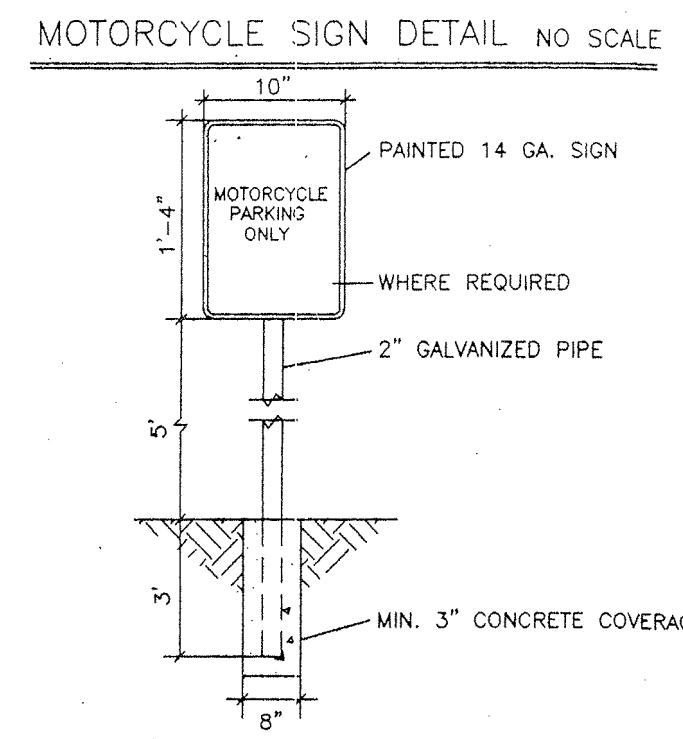
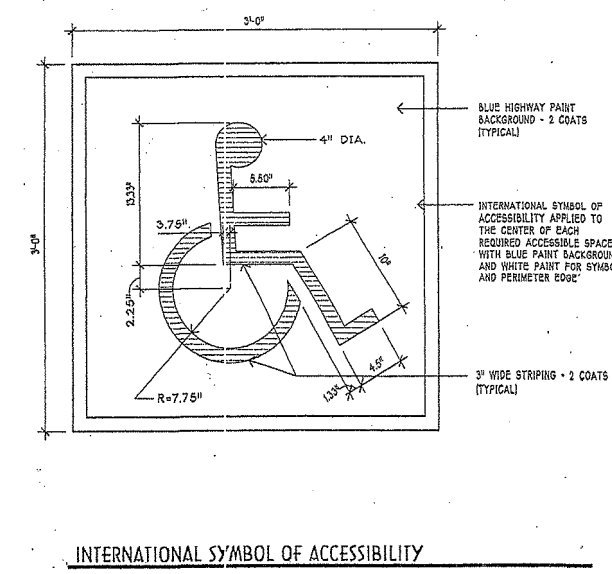
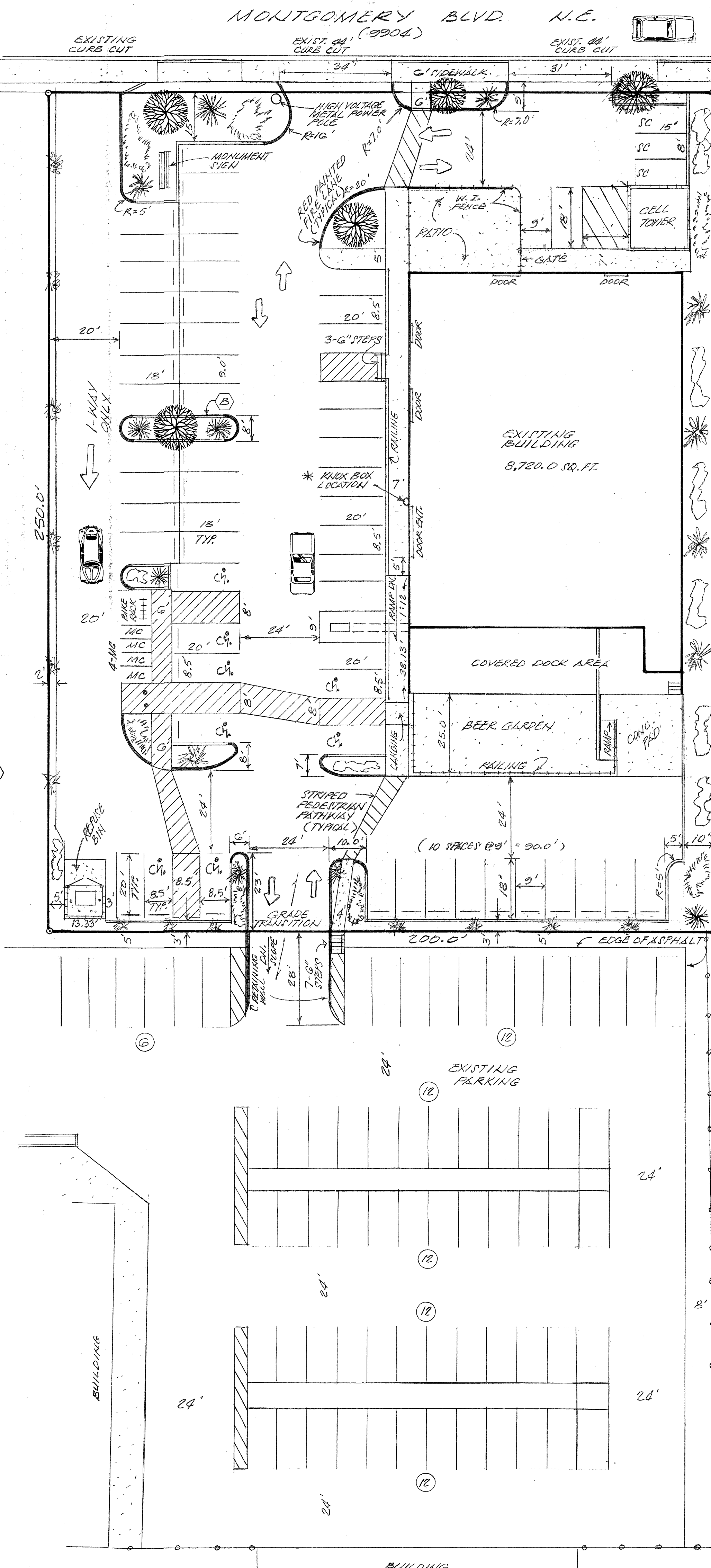
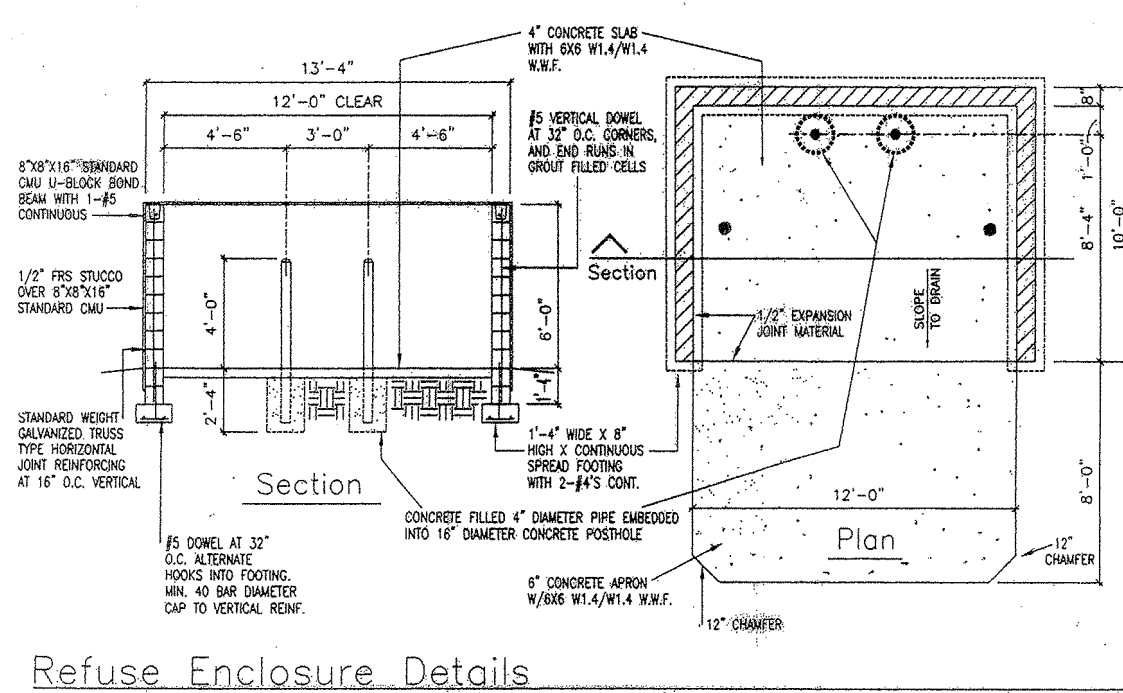




ZONE ATLAS MAP : F-21-Z



**UTILITY PRECAUTIONS**  
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



LEGAL DESCRIPTION : NORTH 250.0' OF EAST 200.0' OF LOT ONE (1), CODA DEVELOPMENT SUBDIVISION, ALBUQUERQUE, NEW MEXICO.

ADDRESS : 9904 MONTGOMERY BLVD. N.E., ALBUQUERQUE, NEW MEXICO.

("FIRE 1")

TRAFFIC CIRCULATION LAYOUT

**GENERAL DATA :**

SITE AREA = 50,000.0 SQ. FT. , ( 1.15 ACRES )

BUILDING = 8,720.0 SQ. FT. ( EXISTING )

**REQUIRED PARKING :**

TOTAL OCCUPANCY LOAD =  $442 + 24$  (NORTH PATIO) = 466 TOTAL  
 $466 / 4 = 117$  PARKING SPACES REQUIRED  
 TOTAL SITE PARKING SPACES REQUIRED = 117 PARKING SPACES  
 - 10% BUS ROUTE CREDIT = 12 PARKING SPACES  
 \* NET PARKING SPACES REQUIRED = 105 PARKING SPACES  
 \* TOTAL SITE PARKING SPACES PROVIDED = 126 PARKING SPACES

MOTORCYCLE SPACES REQUIRED = 4 SPACES (PROVIDED)

H.C. SPACES REQUIRED = 8 SPACES (PROVIDED)

BIKE RACK PROVIDED ( 1 )

**DEVELOPMENT PLAN**  
 FOR  
 9904 MONTGOMERY BLVD. N.E.  
 ALBUQUERQUE, NEW MEXICO  
 JANUARY, 2016

