

CITY OF ALBUQUERQUE



March 13, 2020

The Design Group
Dave Aube
120 Vassar Drive NE
Albuquerque, NM


Re: GAHP INCA
3701,3705,and 3711 Inca St. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp **05-17-19** (G21D044)
Certification dated 3-11-20

Dear Mr. Aube,

Based upon the information provided in your submittal received 3-11-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

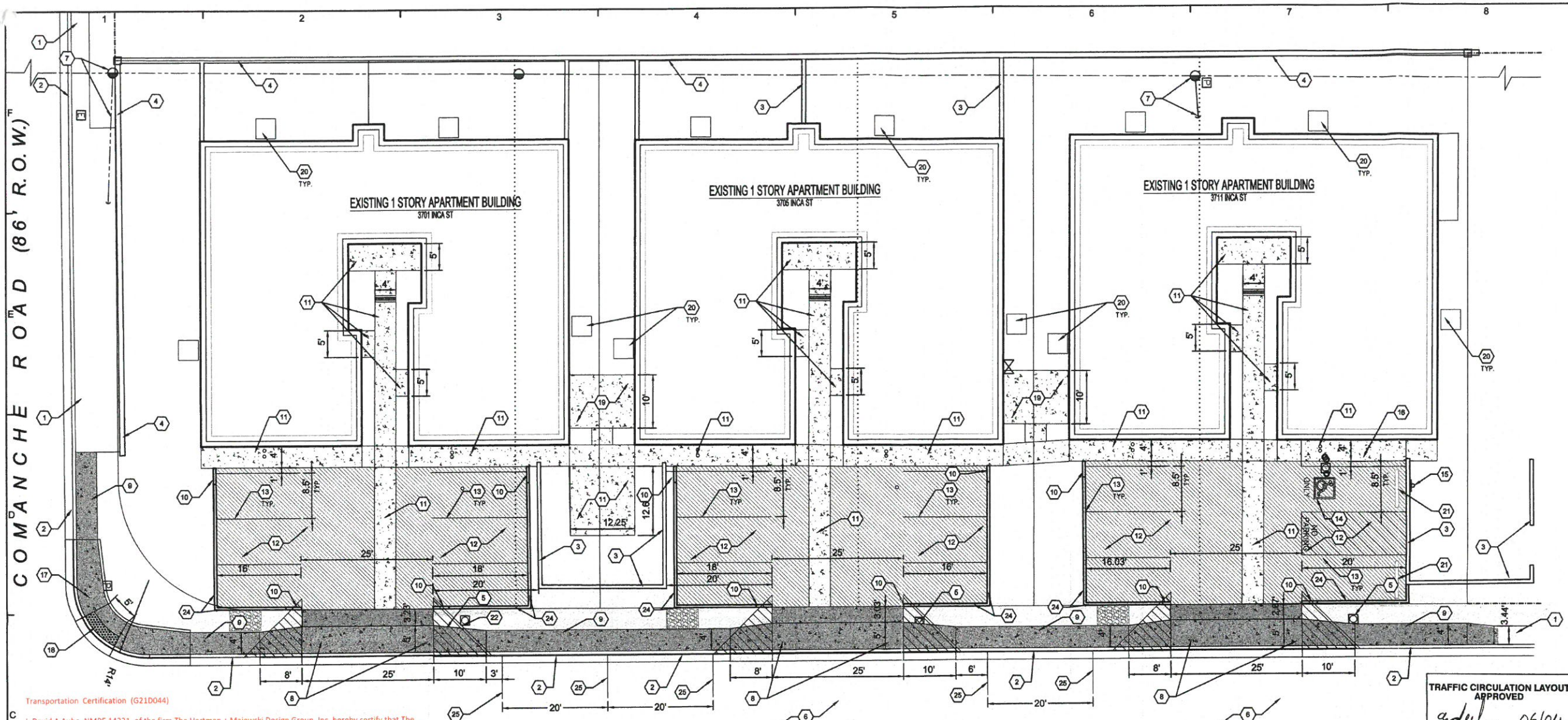
If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,


Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



- TABULATED PARKING:**
1. EACH BUILDING CONTAINS 4 UNITS. PARKING IS REQUIRED AT 1 1/2 SPACES PER UNIT. OFF-STREET PARKING 6 SPACES PER BUILDING. 17 PARKING SPACES ARE AVAILABLE ON SITE, AND ONE WILL BE ON-STREET.
 2. GAP BETWEEN SOUTHERN AND MIDDLE DRIVEWAY IS 64'. THIS WILL ALLOW FOR 2 ON-STREET PARKING SPACES. GAP BETWEEN MIDDLE AND NORTHERN DRIVEWAY IS 50' AND WILL ALLOW FOR TWO ON-STREET PARKING SPACES. CURBING NORTH OF THE NORTHER DRIVEWAY WILL ALLOW FOR 1 ADDITIONAL ON-STREET PARKING SPACE.
 3. ADA PARKING TO ACCOUNT FOR 5% OF UNITS. 12 UNITS TOTAL. THEREFORE ONLY 1 ADA UNIT REQUIRED.

- NOTES:**
1. CLEAR SIGHT TRIANGLE PER DPM CHAPTER 23, SECTION 3, SUBSECTION D-5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 2. MINI CLEAR SIGHT TRIANGLE PER DPM CHAPTER 23, SECTION 6, SUBSECTION D.12. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

Transportation Certification (G21D044)

I, David A. Aube, NMPE 14221, of the firm The Hartman + Majewski Design Group, Inc, hereby certify that The newly remodeled INCA Apartment (3701, 3705, and 3705 Inca Street NE) is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout approved plan dated 06/03/19. The record information that has been edited onto the original design documents were obtained by Wayjohn Surveying LLC (Thomas Johnston NM P# 14269). I further certify that I have personally visited the project site on March 8, 2020 and have determined by visual inspection that the actual site conditions shown on this plan to be true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy for the Inca Apartments.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the drainage aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT

RESERVED PARKING SIGNS

NOT TO SCALE

ADD ADDITIONAL SIGN BELOW RESERVED PARKING SIGN OR VAN ACCESSIBLE SIGN THAT READS "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"

ACCESS AISLES AT ADA PARKING SPACES THAT BE LABELED WITH "NO PARKING"

RESERVED SYMBOL

NOT TO SCALE

RESERVED PARKING SIGN: SIGN TYPE R7-8 (12"x18") - sign field is white - sign lettering and border are green - International Symbol of Accessibility is white on a blue background

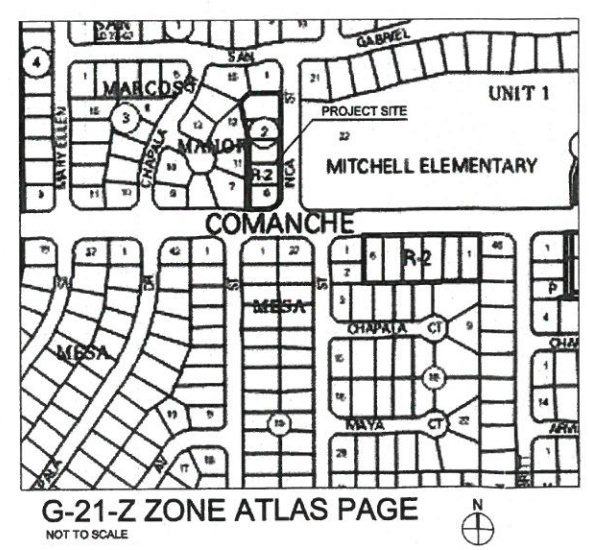
Van Accessible Sign: SIGN TYPE R7-8a (6"x12") - sign field is white - sign lettering and border are green

Required language per NMSA 197866-7-352.4C: Violators are subject to a fine and/or towing

Required language (Van Accessible Spaces) per ANSI 502.7: Van Accessible Spaces bottom of this sign 84" min. above the ground per ANSI 502.7

Non-Van Accessible Spaces bottom of this sign 84" min. above the ground per ANSI 502.7

- SHEET KEYED NOTES**
1. EXISTING SIDEWALK TO REMAIN
 2. EXISTING CURB AND GUTTER TO REMAIN
 3. EXISTING MASONRY SCREEN WALL (APPROX 42" TALL) TO REMAIN
 4. EXISTING MASONRY RETAINING WALL TO REMAIN
 5. EXISTING WATER METER BOX TO REMAIN
 6. EXISTING ASPHALT PAVEMENT TO REMAIN
 7. EXISTING POWER POLE AND GUY WIRE TO REMAIN
 8. REMOVE AND REPLACE CONCRETE DRIVEPAD PER COA STD DWG 2425 WITH ADA PATH COMPLYING WITH NMDOT STANDARD DRAWINGS 608-001
 9. REMOVE AND REPLACE PUBLIC CONCRETE SIDEWALK PER COA STD DWG 2430. MINIMUM WIDTH 4'
 10. CURB TRANSITION PER DETAIL A4/C5.1
 11. REMOVE AND REPLACE PRIVATE CONCRETE SIDEWALK PER DETAIL B4/C5.1. MINIMUM WIDTH 4'
 12. REMOVE AND REPLACE ASPHALT PAVEMENT PER DETAIL B2/C5.1
 13. 4" WHITE PARKING LOT STRIPING
 14. RESERVED PARKING SYMBOL PER DETAIL THIS SHEET AND DETAIL A1/C5.1
 15. VAN ACCESSIBLE RESERVED PARKING SIGN PER DETAIL THIS SHEET
 16. ADA UNLOADING ZONE, 5' WIDE, 2.0% MAXIMUM SLOPE IN ANY DIRECTION AND DETAIL A1/C5.1
 17. REMOVE EXISTING SIDEWALK, CURB ACCESS RAMP AND CURB AND GUTTER. REPLACE CURB ACCESS RAMP PER NMDOT STANDARD DRAWING 608-001
 18. DETECTABLE WARNING SURFACE PER COA STD DWG 2440
 19. CONCRETE PAD FOR REFUSE BINS, SIMILAR TO SIDEWALK DETAIL B4/C5.1
 20. CONCRETE PAD FOR MECHANICAL UNITS PER CONCRETE STOOP DETAIL C3/C5.1
 21. CONCRETE PARKING BLOCK PER DETAIL D3/C5.1, SET AT 2' FROM WALL TO CENTERLINE OF BLOCK
 22. MINI SITE TRIANGLE
 23. PROVIDE TURNDOWN EDGE ON CONCRETE SIDEWALK WHERE ADJACENT TO NEW ASPHALT PAVEMENT
 24. CONCRETE HEADER CURB PER DETAIL A5/C5.1
 25. 4" WIDE WHITE PARKING STRIP IN PUBLIC ROW



autotroph

LAND DEVELOPMENT SECTION

No.	Description	Date

INCA APARTMENTS

ALBUQUERQUE, NEW MEXICO

TRAFFIC CIRCULATION LAYOUT

Project number: 1814

Date: 13 MAY 2019

TCL



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

WET
CONCRETE
A 10/10/1

Project Title: GAHP INCA **Building Permit #:** _____ **Hydrology File #:** G21D044
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 4, Lot 5, and Lot 6, Block 2 San Marcos Manor
City Address: 3701, 3705 and 3711 Inca Street NE

Applicant: The Design Group **Contact:** Dave Aube
Address: 120 Vassar Drive SE
Phone#: 505-998-6430 **Fax#:** 505-242-6881 **E-mail:** daube@designgroupnm.com
Owner: Greater Albuquerque Housing Partnership **Contact:** Miriam Hicks
Address: 320 Gold Avenue, SW, Suite 918
Phone#: 505-244-1614 **Fax#:** _____ **E-mail:** miriam@abqgahp.org

TYPE OF SUBMITTAL: _____ PLAT (_____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: ☒ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

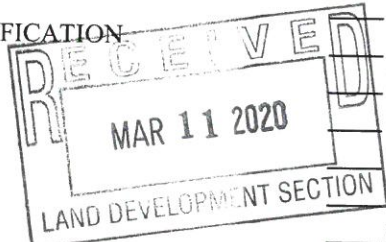
Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____



DATE SUBMITTED: 3-11-20 **By:** Dave Aube

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

03/11/2020 Issued By: E08375 365770

Permit Number: 2018 062 086

Category Code 970

Application Number: 18REV-62086, Review: Drain Plan-Lomr-Traffic Impact

Address:

Location Description: GAHP INCA

Project Number: null

Applicant
THE DESIGN GROUP
DAVID AUBE
120 VASSAR DR SE
ALBUQUERQUE NM 87106

Agent / Contact

Application Fees

REV Actions	\$110.00
TOTAL:	\$110.00

City of Albuquerque Treasury
Date: 3/11/2020 Office: AMEX
Stat ID: 11169 Cashier: E41709
Batch: 11169 Trans #: 28
Permit: 2018062086
Receipt Num 00625871
Payment total: \$110.00
0909 REV Actions \$110.00
VISA tendered : \$110.00