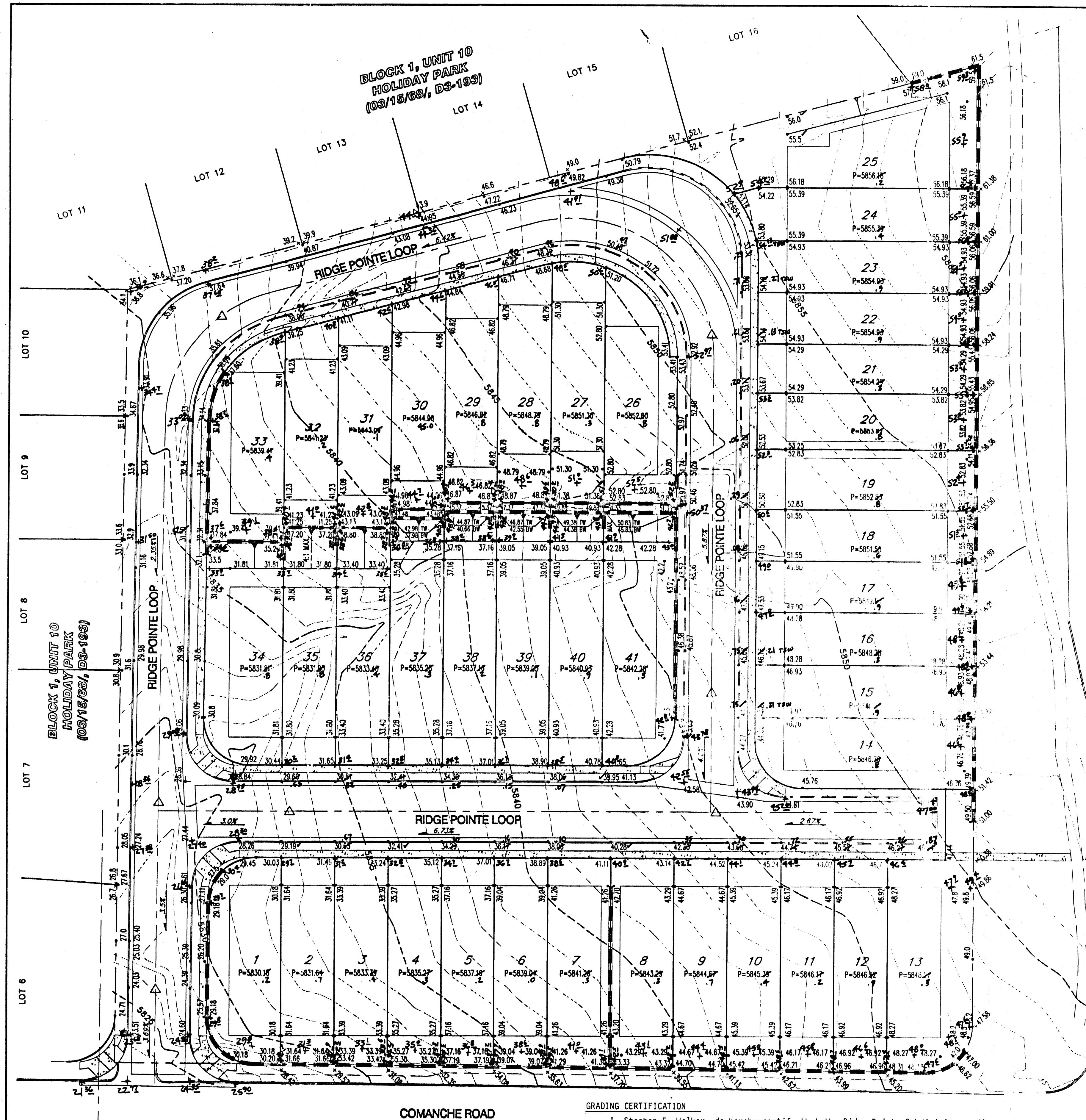




GRADING CERTIFICATION

I, Stephen E. Walker, do hereby certify that the Ridge Pointe Subdivision grading work is within substantial compliance to the grading plan prepared by Bohannon & Huston, Inc., dated May 6th, 2003; as shown by the "As-built" shots that are hand written on this plan.

Stephen E. Walker
Stephen E. Walker NMPS 6401
Walker Surveying Co.

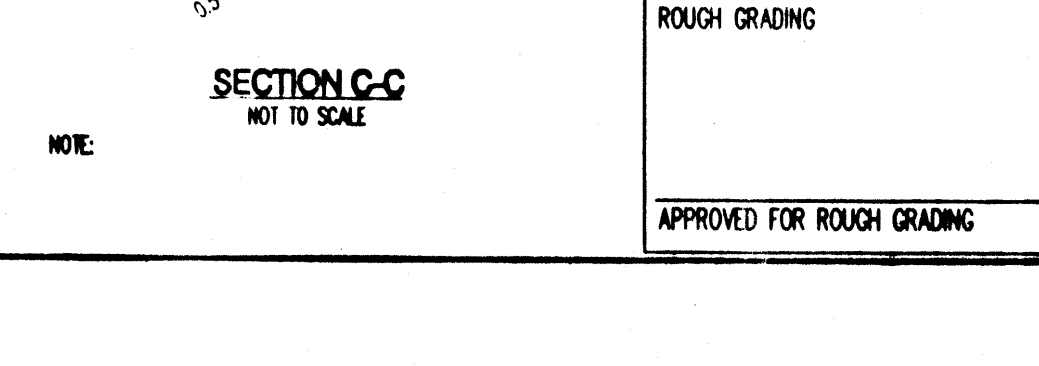
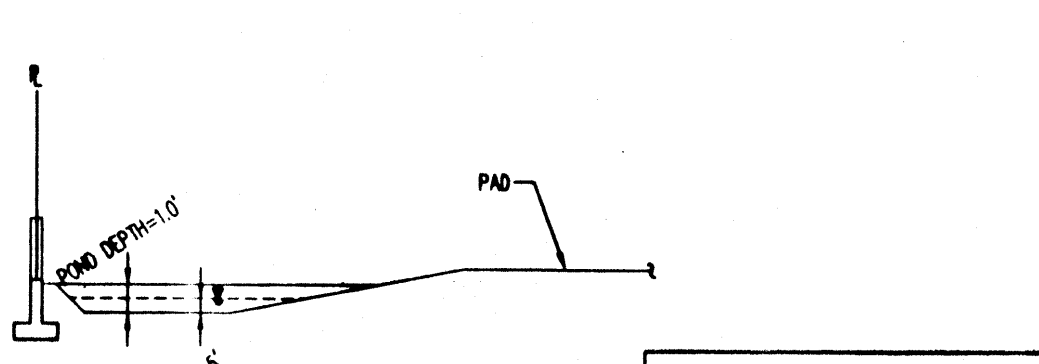
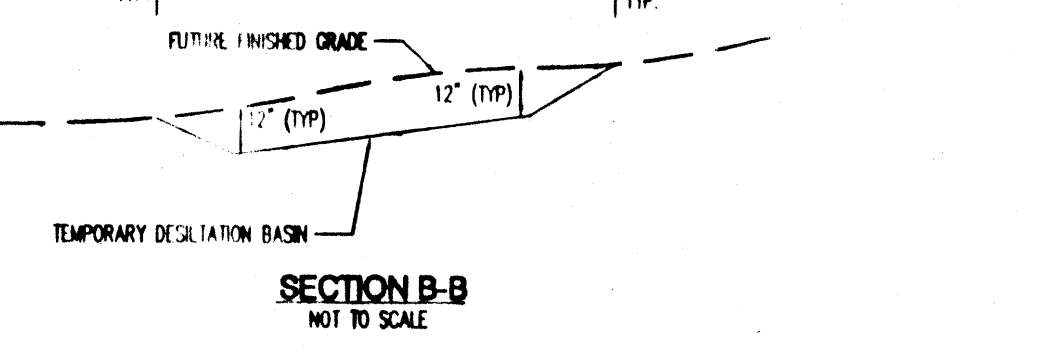
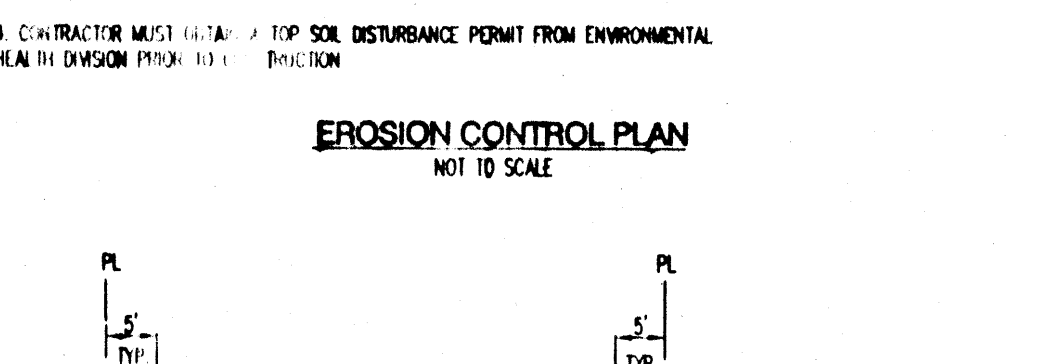
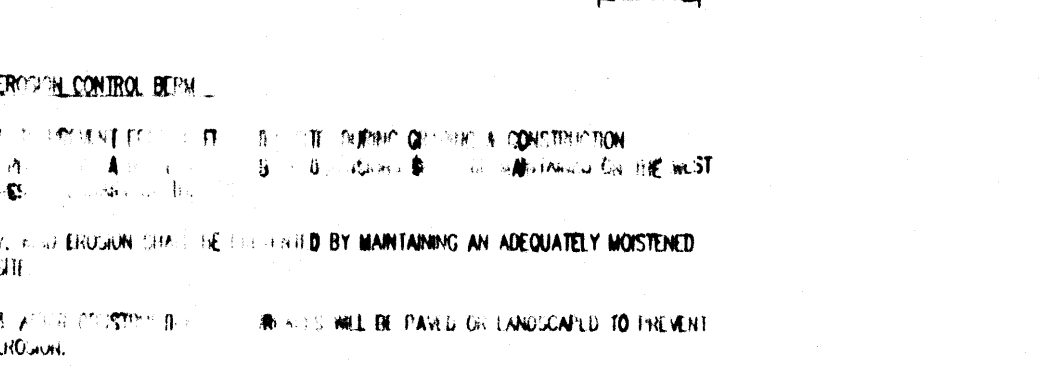
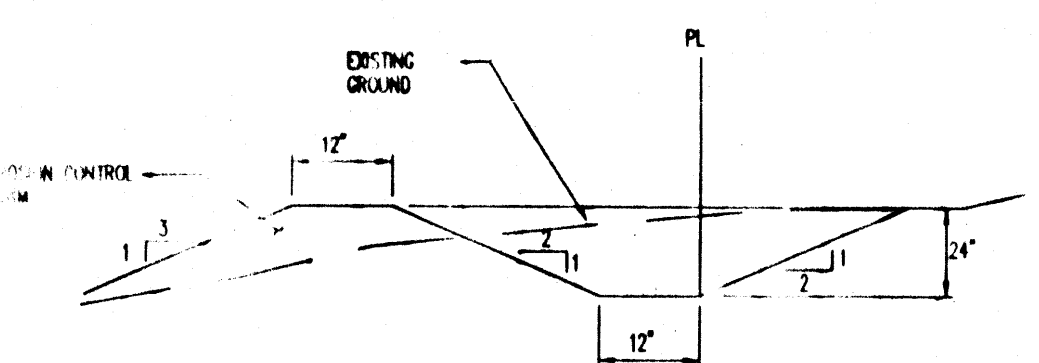
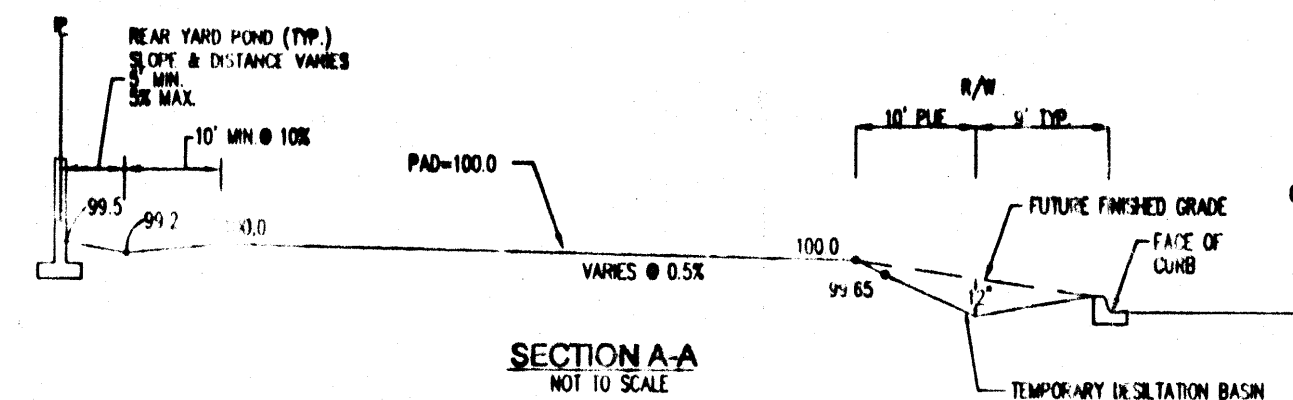
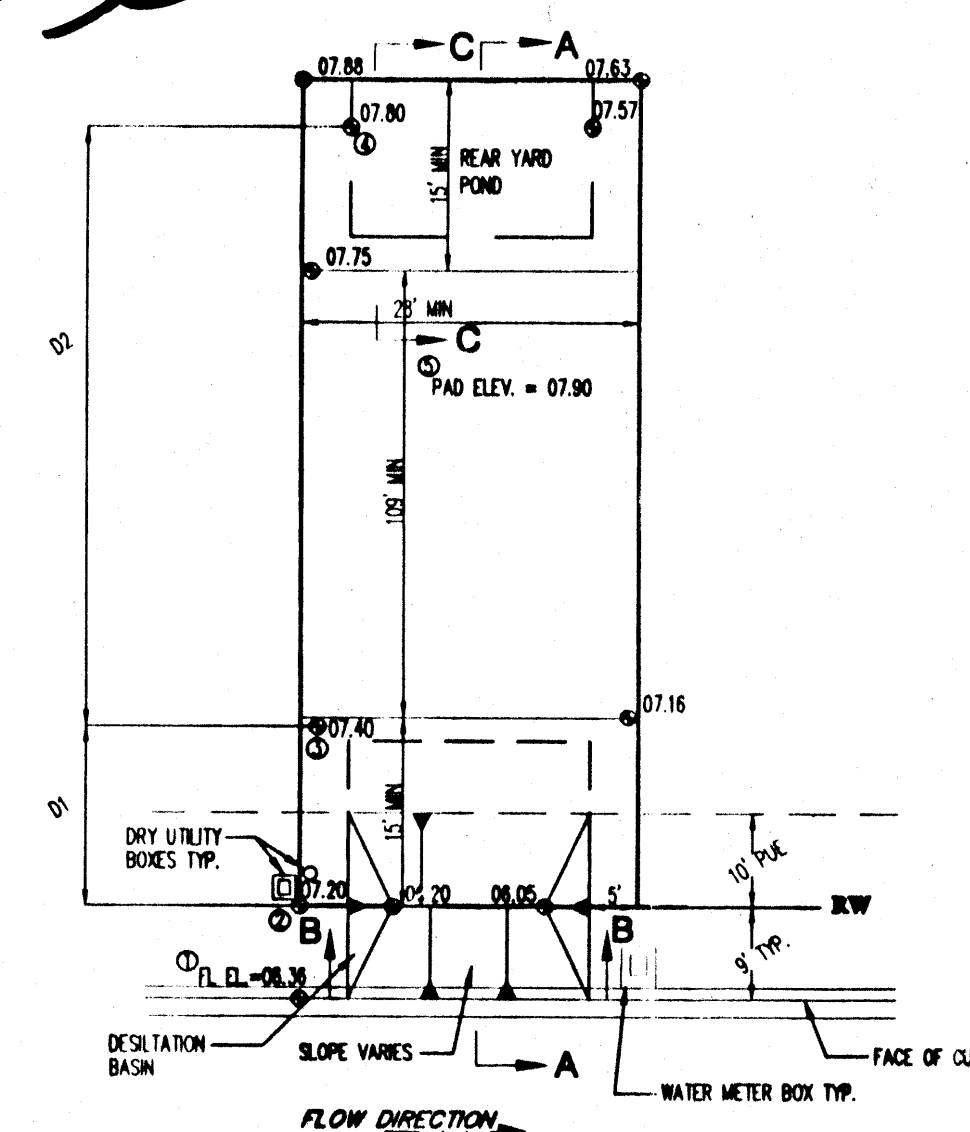
DRAINAGE CERTIFICATION

I, Richard L. Beltramo, NMPS 10586, of the firm Bohannon & Huston, Inc., hereby certify that this project has been graded and will drain in substantial compliance with the original design and in accordance with the design intent of the approved plan dated 05/06/03. The record information obtained on the original design document has been obtained by Walker Surveying Co., NMPS 6401. I further certify that I have personally visited the project site on 1/26/04 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a financial guaranty release.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

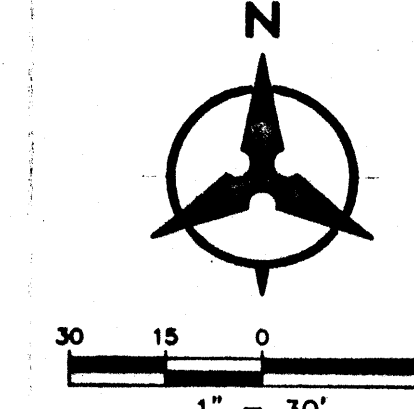
DATE: January 27, 2004

RICHARD L. BELTRAMO, NMPS 10586



GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT, BY WYHARD & ASSOCIATES, INC. DATED MARCH 12, 2003.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AS PER DETAIL, THIS SHEET, AND SETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



NOTE: ALL LOTS SHALL HAVE REAR YARD PONDING

1. CONTRACTOR IS TO MASS GRADE ROADS TO 2" BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BERM ON CURB.
2. FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL IS TO BE COORDINATED WITH.
3. HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

LEGEND

- (91.62) FUTURE SPOT ELEVATION
- 91.62 PROPOSED SPOT ELEVATION
- x 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- EXISTING CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GUTTER WALL, CONCRETE FILLED TO 1-FOOT DEPTH
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED CATTLE GUARD INLET
- WALL DRAIN

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEER NO. 82412 DATA - ADVANCED TECHNOLOGIES

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

**RIDGE POINTE SUBDIVISION
GRADING AND EROSION CONTROL PLAN**

Design Review Committee

City Engineer Approval

Update

Mo./Day/Yr. Mo./Day/Yr.

City Project No. 1000234

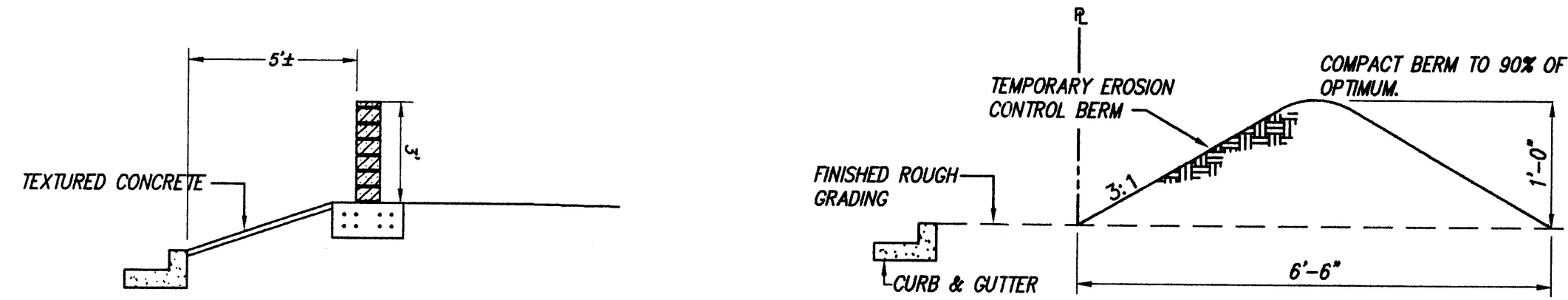
Zone Map No. G-11-Z

Sheet 1 of 1

1

710781

RECEIVED
JAN 28 2004
HYDROLOGY SECTION



SECTION B-B

EROSION CONTROL BERM DETAIL

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
5. ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.

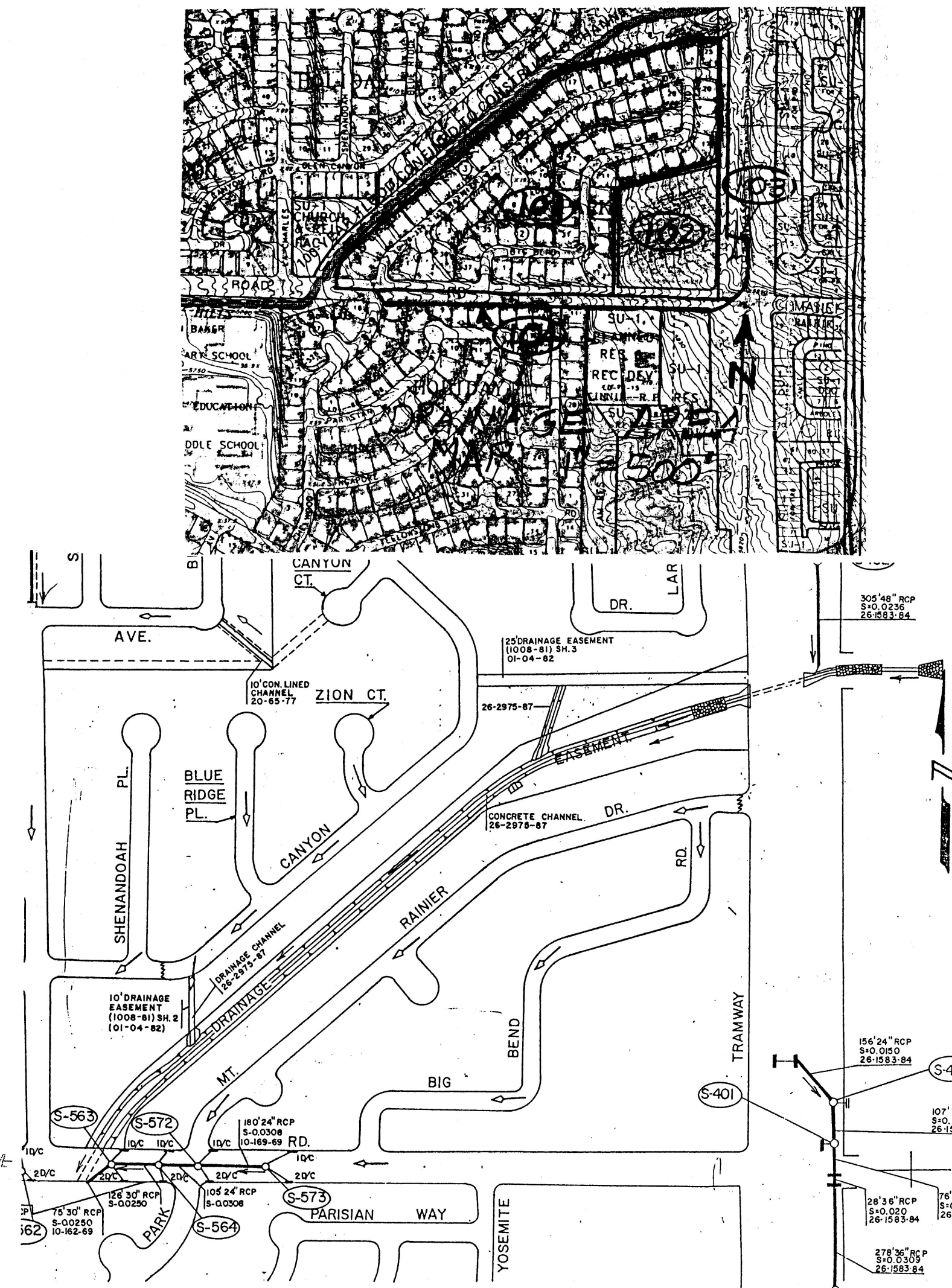
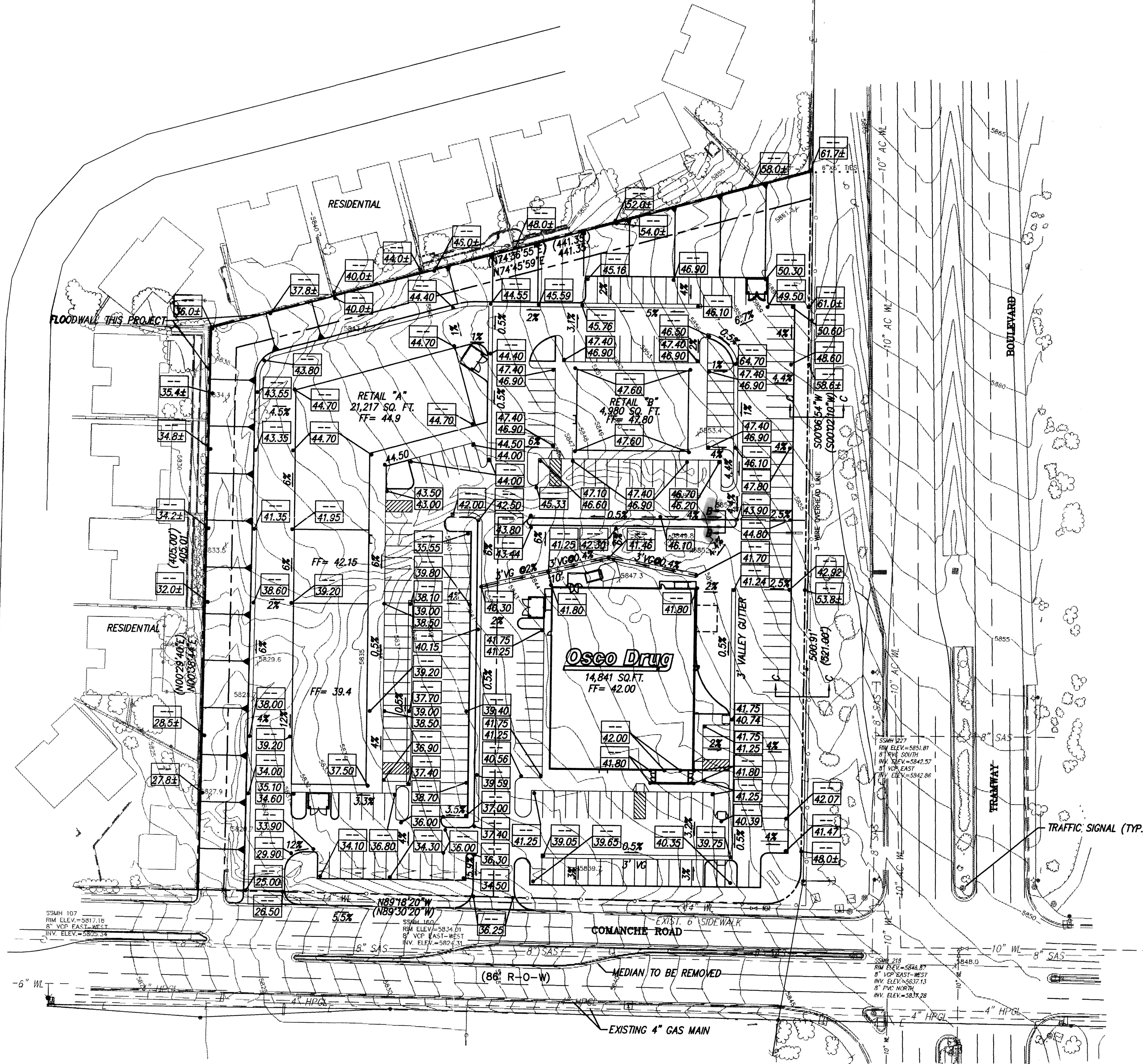
DRAINAGE NARRATIVE FOR OSCO @ TRAMWAY

THIS 5.7 ACRE COMMERCIAL SITE IS THE LAST LOT TO BE DEVELOPED IN AN ALREADY ESTABLISHED PART OF TOWN (IE. AN INFILL PROJECT). NO OFFSITE DRAINAGE ENTERS THIS PROPERTY. IT IS BOUNDED ON THE EAST BY TRAMWAY BLVD, ON THE NORTH AND WEST BY HOLIDAY PARK RESIDENTIAL SUBDIVISION AND ON THE SOUTH BY COMANCHE ROAD.

THE STORMWATER OUTFALL IS VIA SURFACE DRAINAGE TO COMANCHE ROAD WHICH IS A DESIGNATED "COLLECTOR". COMANCHE DRAINS TO A BATTERY OF INLETS AT THE NORTH GLENWOOD HILLS ARROYO 1300' WEST OF THIS SITE. AT THE FIRST INLET THE 100 YEAR FLOW IN THE NORTH HALF OF COMANCHE ROAD IS ABOUT 85 CFS AT 2.8% SLOPE (INCLUDING ABOUT 25 CFS FROM THIS SITE) AND IS 0.78' DEEP AT 7.0 FPS. IT APPEARS THAT THE DOWNSTREAM FACILITIES HAVE ENOUGH CAPACITY TO ACCOMMODATE THIS DEVELOPMENT.

HYDROLOGY SUMMARY

BASIN ID	AREA ACRE	AREA SQ. MILE	CONTRIBUTING BASINS	LAND TREATMENT				Q100 INCREMENTAL	Q100 CUMULATIVE
				A	B	C	D		
101	24.68	0.0385625	102, 103	-	40	20	40	97.53 CFS	133.50
102	5.74	0.008969	103	-	0	10	90	28.96 CFS	35.97
103	1.84	0.002875	-	-	60	-	40	7.01 CFS	-
104	1.72	0.00269	-	-	0	10	90	8.70 CFS	-



VICINITY MAP ZONE MAP: G-22

ACS BENCHMARK

ACS Aluminum Tablet stamped "3-G23"
 Geographic Position (NAD 1927)
 N.M. State Plane Coordinates (Central Zone)
 X = 426,072.10 Y = 1,500,295.60
 Ground-to-Grid Factor = 0.9996265
 Δα = -0°08'32"
 NGVD 1929 Elevation = 5849.59

LEGAL DESCRIPTION

Lot lettered "A" in Block numbered One (1) of HOLIDAY PARK, UNIT 10, City of Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 15, 1968, in Map Book D3, folio 193. Excepting any portion relinquished for Access rights to the City of Albuquerque as noted in Book Misc. 990, page 570, and in Book Misc. 997, page 571, records of Bernalillo County, New Mexico.

LEGEND

- △ 5865.64 HORIZONTAL VERTICAL CONTROL
- INDEX CONTOUR
- DEPRESSION INDEX CONTOUR
- INTERMEDIATE CONTOUR
- DEPRESSION INTERMEDIATE CONTOUR
- SPOT ELEVATION
- PERMANENT BUILDING
- CONCRETE SLAB
- ASPHALT PARKING
- CURB AND GUTTER
- UNSURFACED TRAIL
- SIDEWALKS
- ASPHALT EDGE
- DRIVEWAY
- CROSSWALK OUTLINE
- POST
- SIGN SINGLE POST
- TREE
- BUSH OR SHRUB
- UNIDENTIFIED LINE
- UNIDENTIFIED SPOT
- MASONRY WALL
- CHAINLINK FENCE
- BOARD/RAIL FENCE
- RAILROAD TIE BARRIER
- SANITARY SEWER MANHOLE
- DROP INLET
- ELECTRICAL LINE/POLE
- ANCHOR AND GUY WIRE
- STREET LIGHT
- TRAFFIC CONTROL BOX
- TRAFFIC SIGNAL
- WATER LINE
- WATER VALVE
- GAS LINE
- SANITARY SEWER LINE
- FIRE HYDRANT
- WATER METER
- ACCESS CONTROL LINE

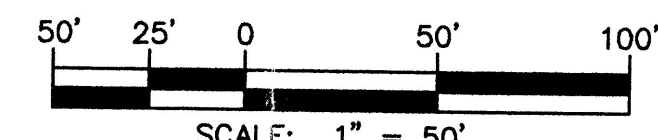
Osco Drug

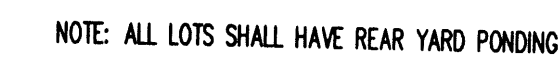
CONCEPTUAL PLAN GRADING & DRAINAGE

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 8063GD50 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: JDH Drawn: FSM Checked: DMG Sheet 1 of 1
 Scale: 1" = 50' Date: 5-28-98 Job: 98063

James D. Goodwin
 11674
 5-29-98
 REGISTERED PROFESSIONAL ENGINEER
 NEW MEXICO

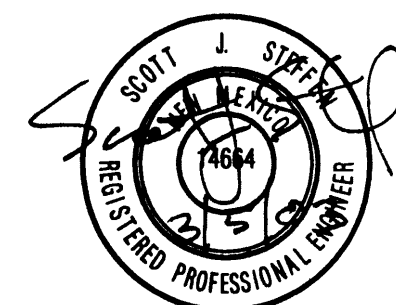
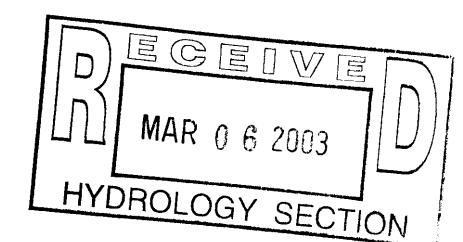
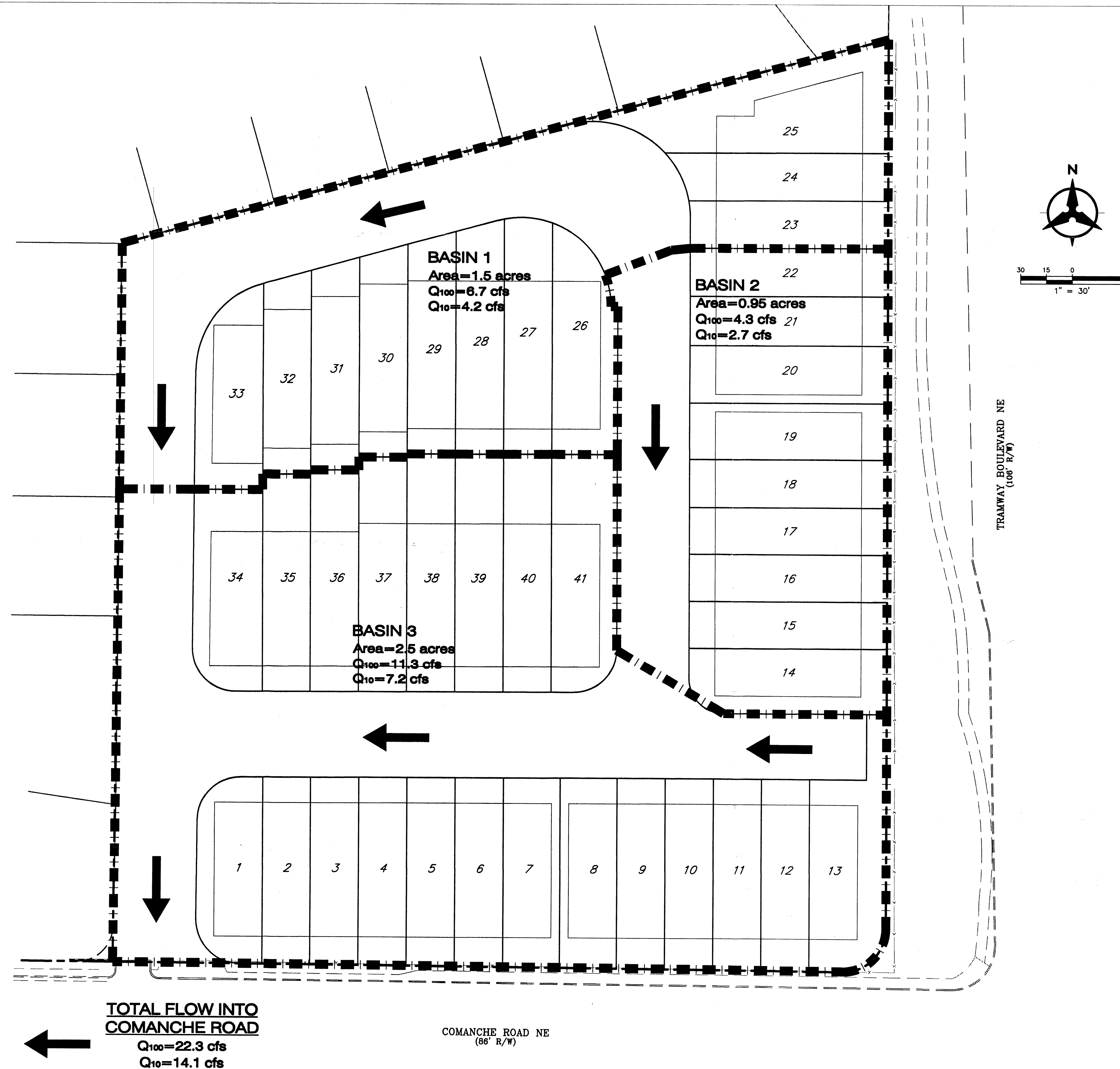




BASIN MAP

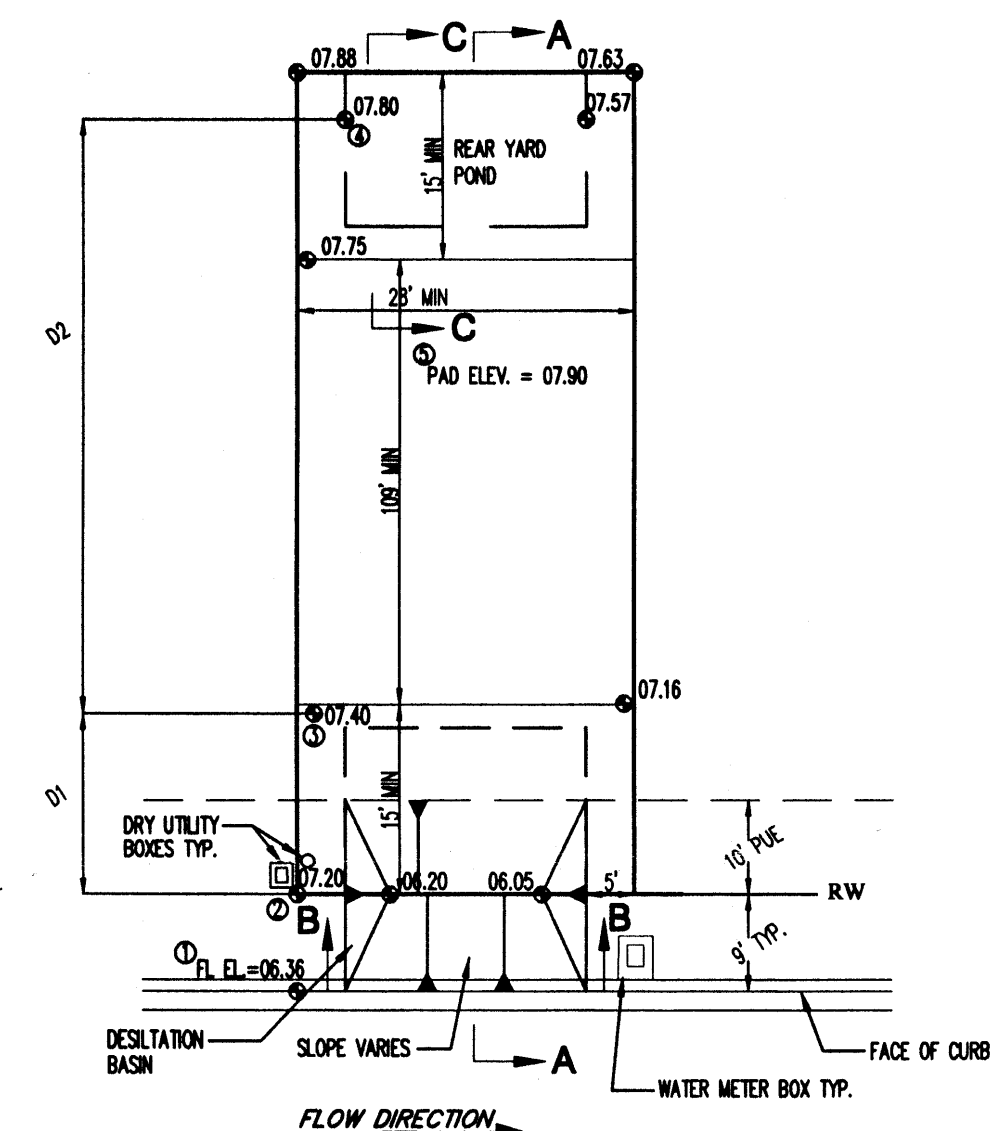
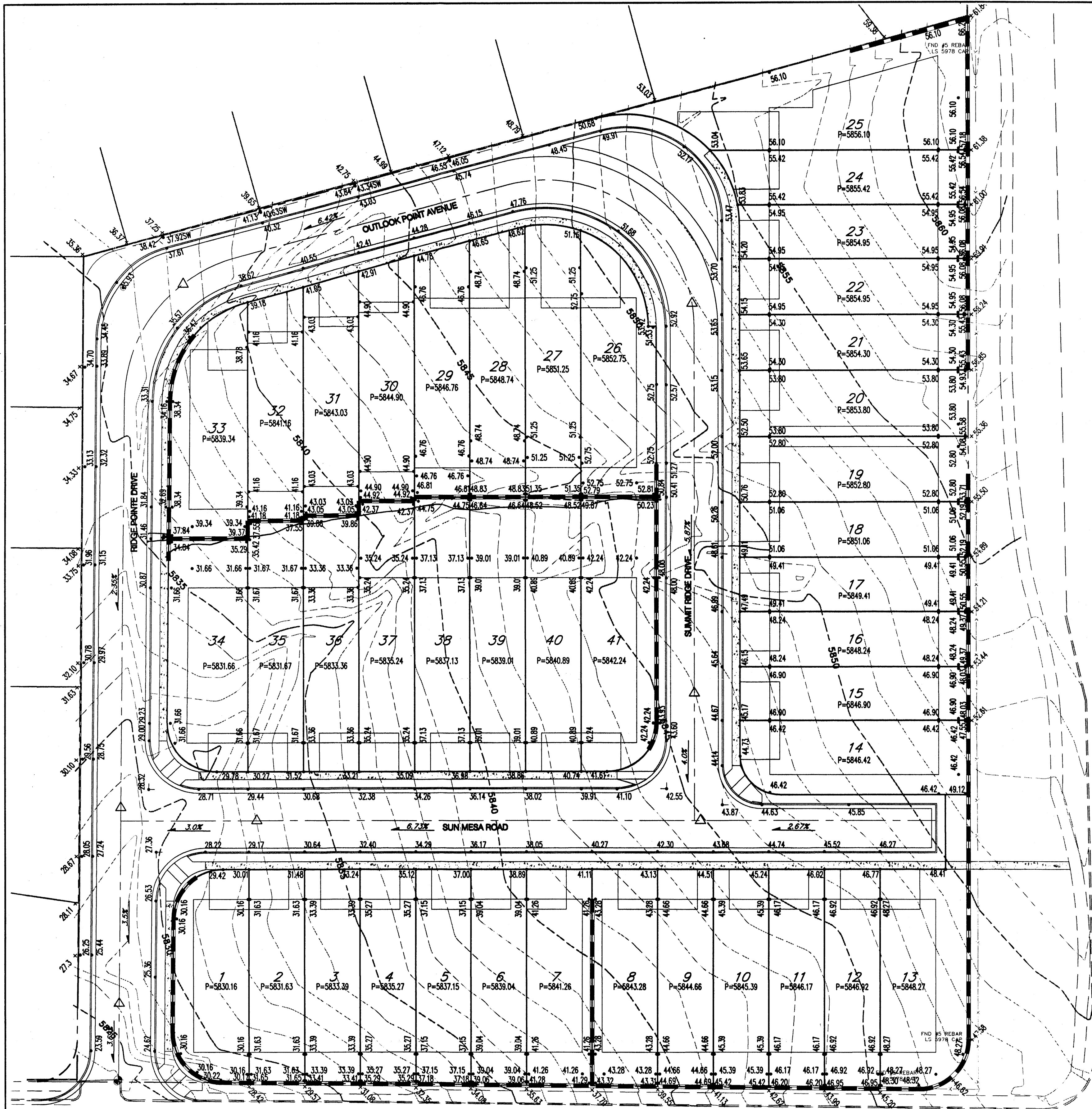
RIDGE POINTE SUBDIVISION

MARCH 2003

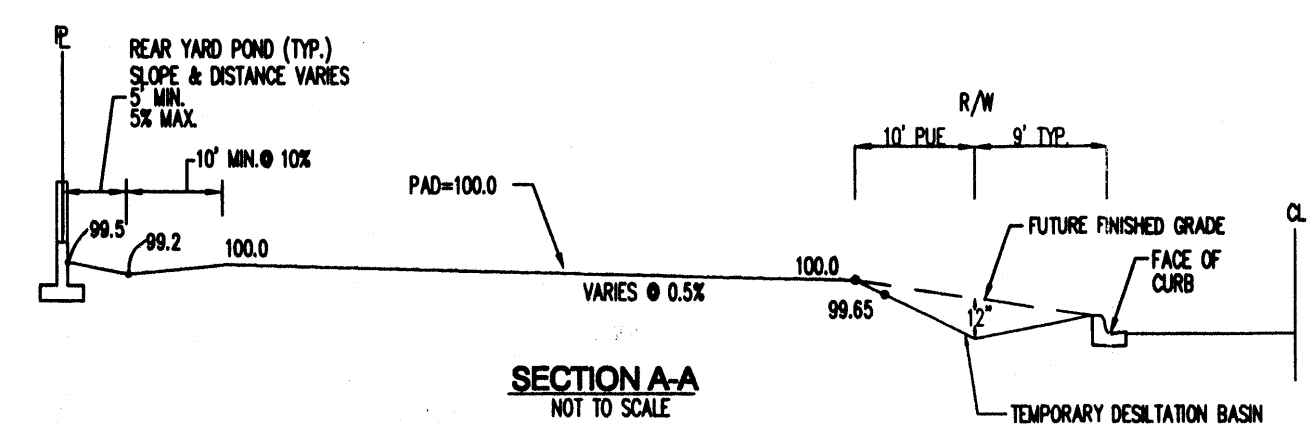


Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

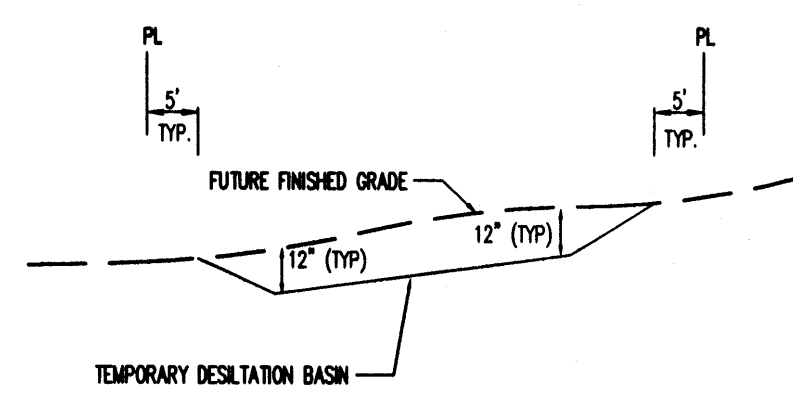


RIDGE POINT
TYPICAL LOT GRADE DETAIL
WITH DESILTATION BASIN FOR SEDIMENTATION CONTROL
NOT TO SCALE

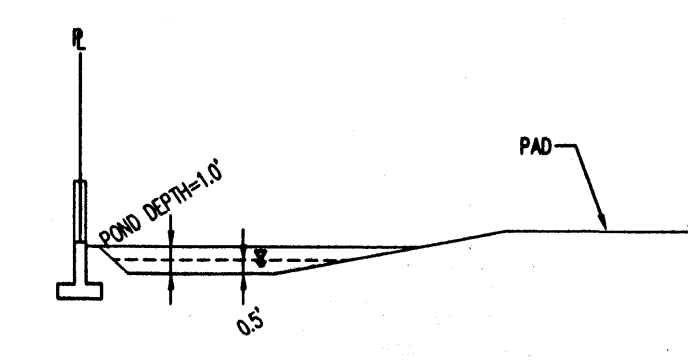


NOTE:

1. CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
2. FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
3. HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

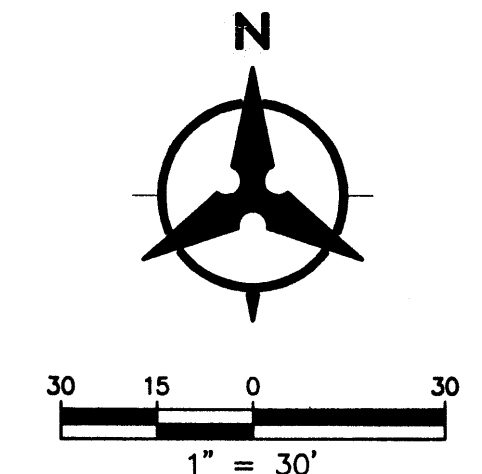


SECTION B-B
NOT TO SCALE



SECTION C-C
NOT TO SCALE

NOTE:



NOTE: ALL LOTS SHALL HAVE REAR YARD PONDING

GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT. /
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AS PER DETAIL, SHEET 3B, AND METTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
8. ALL ELEVATIONS SHOWN WITH " (") ARE FUTURE MCMAHON BLVD. ELEVATION.

LEGEND

- (91.62) FUTURE SPOT ELEVATION
- 91.62 PROPOSED SPOT ELEVATION
- x 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- ===== EXISTING CURB & GUTTER
- ===== PROPOSED MOUNTABLE CURB & GUTTER
- ===== PROPOSED STANDARD CURB & GUTTER
- 5470- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- ===== PROPOSED RETAINING WALL
- ===== PROPOSED GARDEN WALL, CONCRETE FILLED TO 1-FOOT DEPTH
- ===== PROPOSED SLOPE
- ===== PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED CATTLE GUARD INLET
- WALL DRAIN

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

RIDGE POINT SUBDIVISION

Design Review Committee	City Engineer Approval	City Project No.	Zone Map No.	Sheet	Of
			G-22-Z		X

AS-BUILT INFORMATION	
CONTRACTOR	DATE
BY	DATE
BY	DATE
BY	DATE
BY	DATE

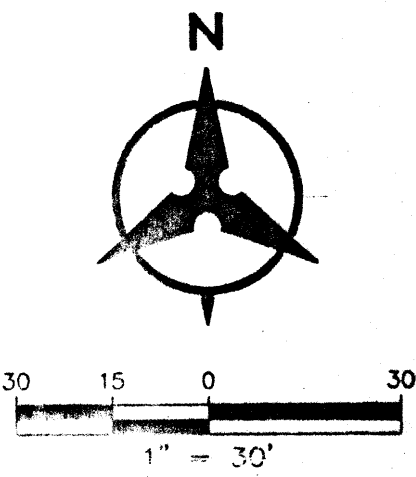
BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
NO.	DATE

ENGINEER'S SEAL	

REMARKS	
No.	Date

PRELIMINARY PLAT FOR
RIDGE POINTE SUBDIVISION
SECTION 3, T. 10 N., R. 4 E., N.M.P.M.
ALBUQUERQUE NEW MEXICO
FEBRUARY 20, 2003



LEGAL DESCRIPTION
LOT A, BLOCK 1 HOLIDAY PARK, UNIT 10

GENERAL NOTES

- EXISTING ZONING: SU-1 FOR PRO. MAXIMUM OF 60 DWELLING UNITS.
PROPOSED DEVELOPMENT: SU-1 FOR PRO. MAXIMUM OF 60 DWELLING UNITS
- PROPOSED NET ACREAGE: 4.57 ACRES
NUMBER OF LOTS: 41 D.U.
PROPOSED DENSITY: 8.97 D.U./ACRE
- MIN. LOT DIMENSIONS: 28'x109' MIN.
MINIMUM LOT AREA: 3052 SQ. FT.
- ALL STREETS, UTILITIES, AND STORM DRAIN IMPROVEMENTS AREA TO BE PUBLIC, AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO SU-1 ZONING REQUIREMENTS
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO COMANCHE ROAD NE., AND/OR TRAMWAY BLVD. NE.

SITE DATA

ZONE ATLAS NO.	G-22-Z
ZONING	SU-1 FOR PRO.
MILES OF FULL WIDTH STREETS CREATED	0.38 MILES
NO. OF EXISTING PARCELS	1
NO. OF LOTS CREATED	41
DENSITY	8.97

SURVEY NOTES

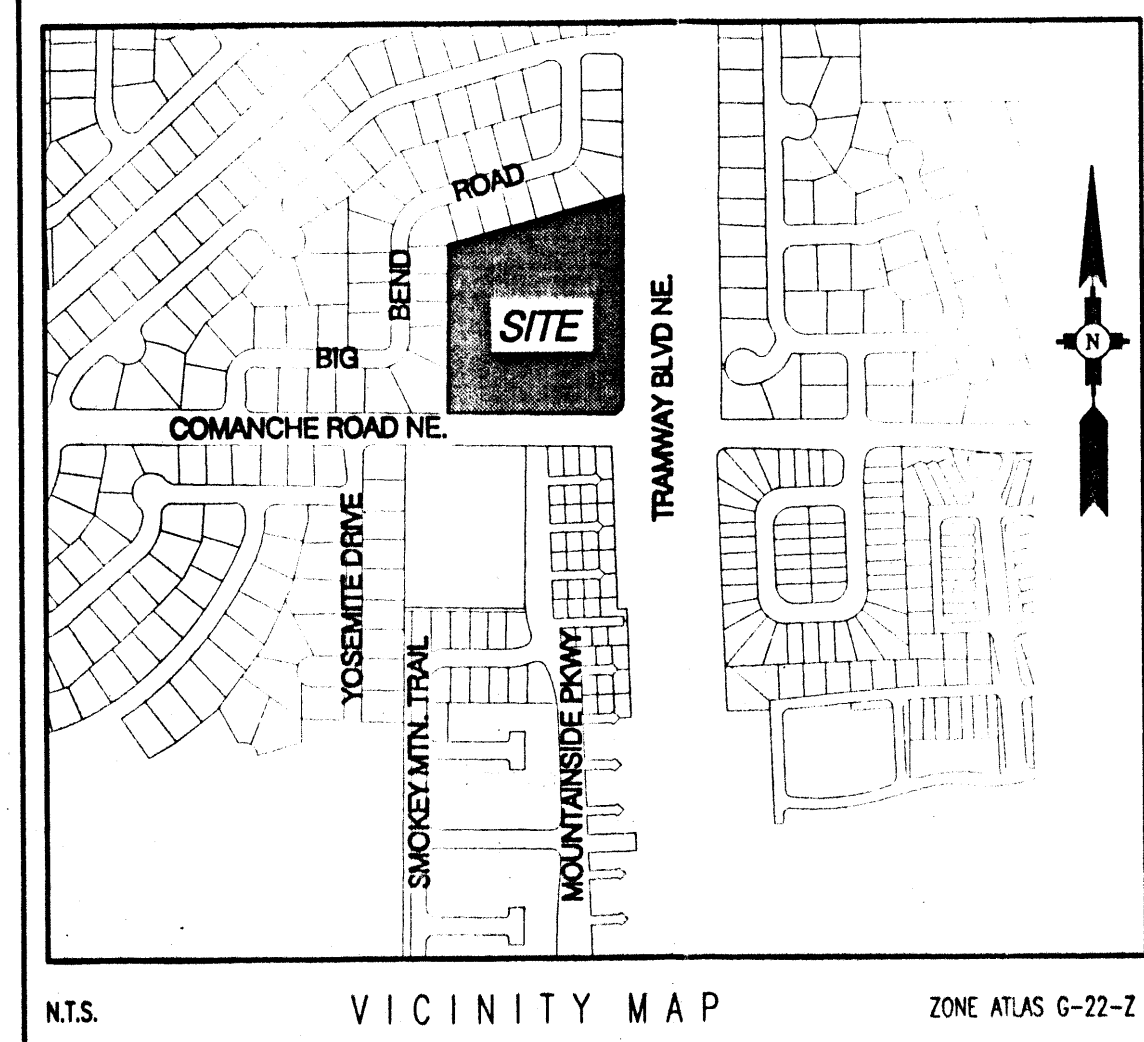
- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.TS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THIS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

Mike Williams 2-20-03
CITY SURVEYOR DATE

Mike Williams 2/20/03
OWNER DATE

Bohannon & Huston
Court yard | 7500 Jefferson St NE Albuquerque, NM 87109-4336
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



ACS BRASS TABLET STAMPED "3-G23" 1984
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 426,072.10 Y= 1,500,295.60
Ground-to-Grid Factor = 0.9996265
Δα = -00°08'32"
SLD 1929 Elevation = 5849.59

LEGEND

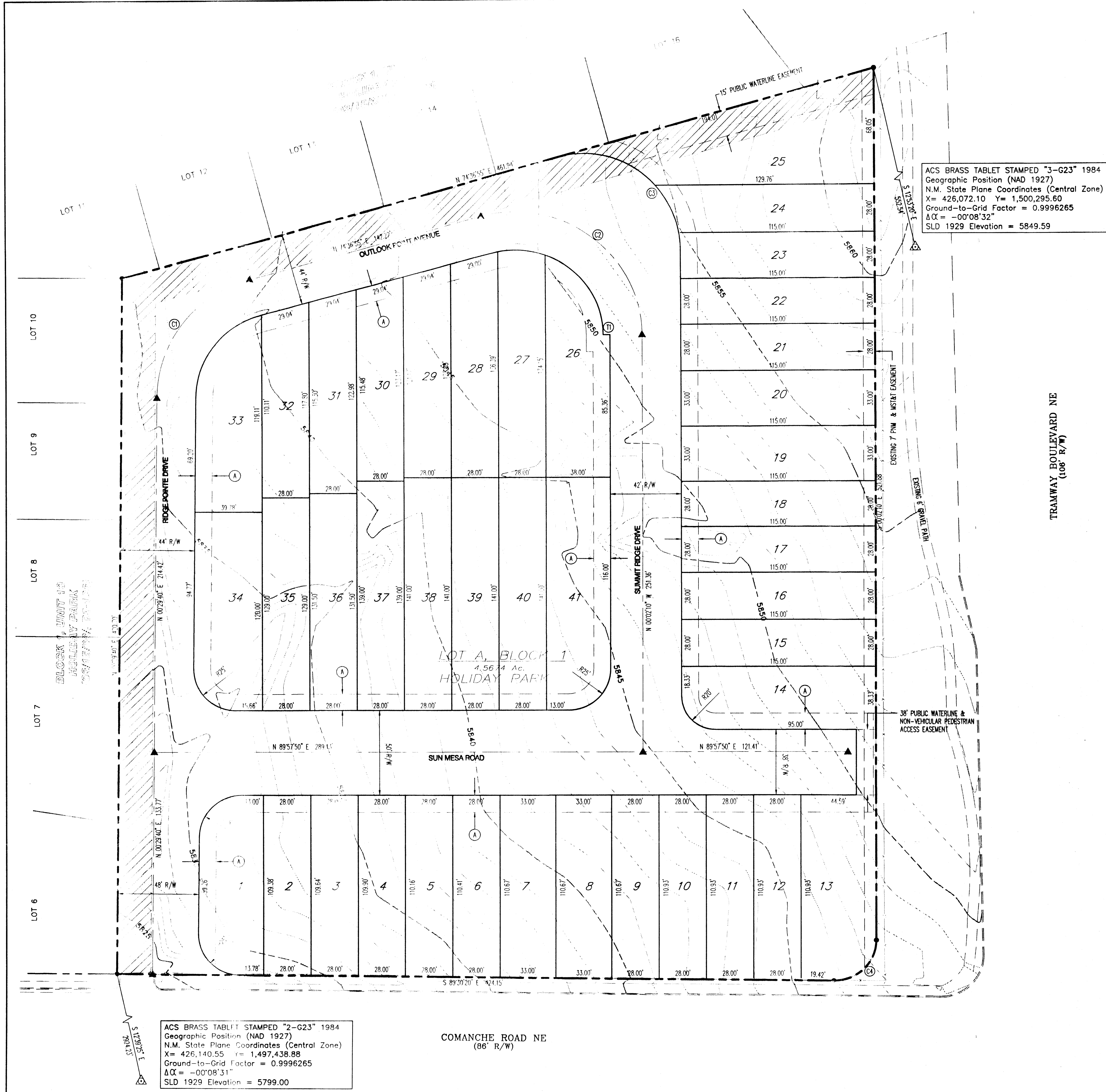
- SUBDIVISION BOUNDARY LINE
- EXISTING SUBDIVISION BOUNDARY
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT TO BE INSTALLED
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- EXISTING 20' ALLEY WAY TO BE VACATED PER THIS PLAT
- EXISTING FENCE LINE

KEYED NOTES

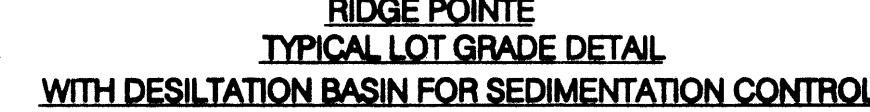
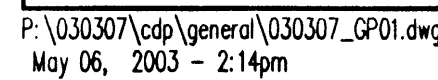
- ▲ 10' PUBLIC UTILITY EASEMENT

ID	ARC	RADIUS	DELTA	TANGENT
C1	97.02'	75.00'	74°07'15"	56.64'
C2	137.90'	75.00'	105°20'55"	88.36'
C3	104.80'	57.00'	105°20'55"	74.75'
C4	39.50'	25.00'	90°31'50"	25.23'

ID	BEARING	LENGTH
T1	N89°57'50"E	4.00'

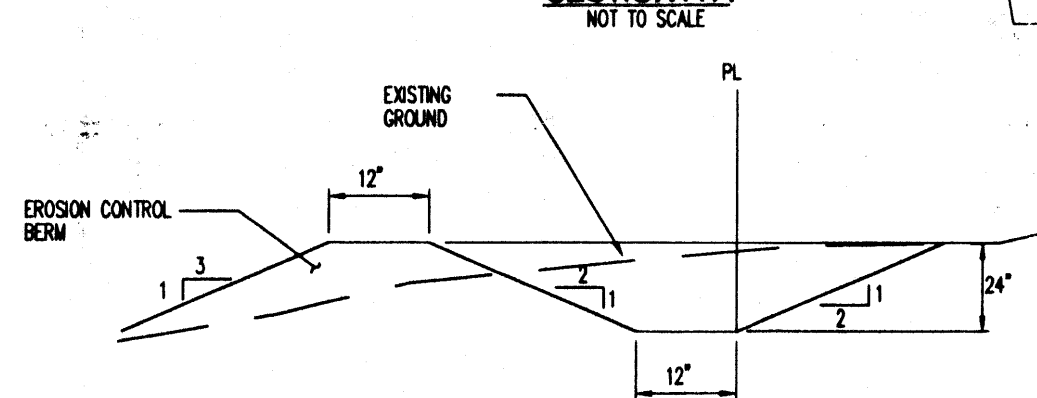


ACS BRASS TABLET STAMPED "2-G23" 1984
Geographic Position (NAD 1927)
N.M. State Plane Coordinates (Central Zone)
X= 426,140.55 Y= 1,497,438.88
Ground-to-Grid Factor = 0.9996265
Δα = -00°08'31"
SLD 1929 Elevation = 5799.00



NOTE:

1. CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
2. FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
3. HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADE AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.



EROSION CONTROL BERM

1. TO PREVENT EROSION FROM THE SITE, DURING GRADING & CONSTRUCTION OPERATIONS, A BERM OF THE ABOVE DIMENSIONS SHALL BE MAINTAINED ON THE WEST WEST BOUNDARY OF THE SITE.
2. WIND EROSION SHALL BE PREVENTED BY MAINTAINING AN ADEQUATELY MOISTENED SITE.
3. AFTER CONSTRUCTION ALL SURFACES WILL BE PAVED OR LANDSCAPED TO PREVENT EROSION.
4. CONTRACTOR MUST OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION

EROSION CONTROL PLAN
NOT TO SCALE



SECTION C-C

ROUGH GRADING	(±0.5')
---------------	---------

APPROVED FOR ROUGH GRADING _____ DATE _____

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOLS REPORT, BY VINYARD & ASSOCIATES, INC. DATED MARCH 12, 2003.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DIST. CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMUS AS PER DETAIL. THIS SHEET, AND METTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

[illegible]