

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

July 28, 2006

Billy O. McCarty, P.E.,  
BEAM Designs  
855 Polaris Blvd SE  
Rio Rancho, NM 87124

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Hastings Entertainment, [G-22 / D22]  
12501 Candelaria NE  
Engineer's Stamp Dated 07/27/06

Dear Mr. McCarty:

Based on the information provided on your submittal dated July 27, 2006, the above referenced project is approved for a 60-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding median, site signage and striping, and island curbing issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

BUILDING  
ENGINEERING  
AND  
MUNICIPAL  
DESIGNS



855 POLARIS BLVD., SE  
RIO RANCHO, NM 87124  
PHONE (505) 896-0391  
FAX (505) 994-3952  
beamdesigns@qwest.net

### TEMPORARY TRAFFIC CERTIFICATION

I, Billy O. McCarty, NMPE 13672, of the firm BEAM designs, hereby certify that the project is in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 12-22-05. The record information edited onto the original design document has been obtained by me. I further certify that I have personally visited the project site on 07-20-06 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for TEMPORARY CERTIFICATE OF OCCUPANCY.

Exceptions and Deficiencies that require corrections:

1. The median nose in Candelaria Road has not been reconstructed.
2. Site signage and striping is in the process of being placed but is not complete.
3. The island at the unloading area truck egress was constructed with standard instead of roll curb.

This must be reconstructed with roll curb to allow proper egress of truck traffic.

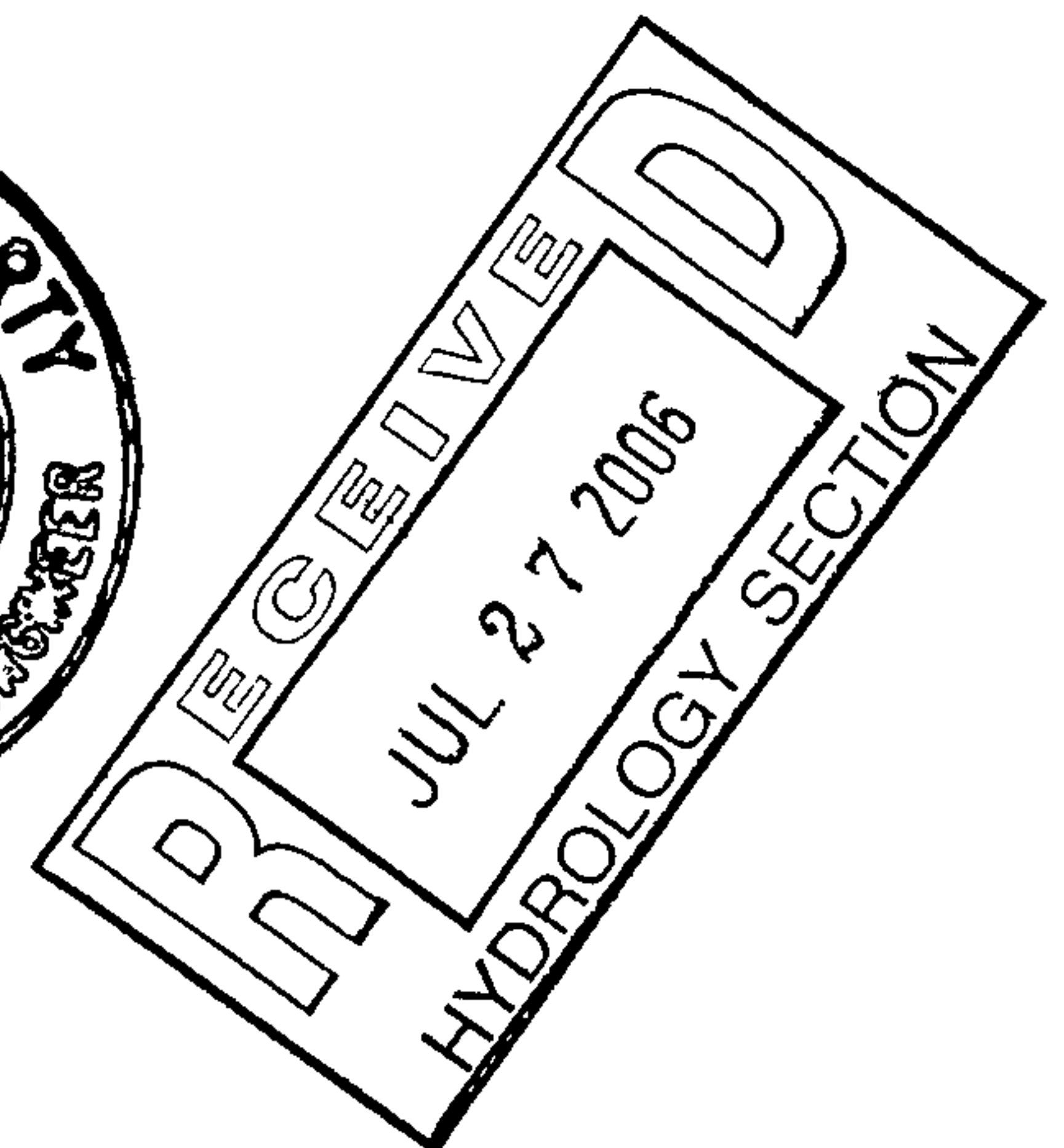
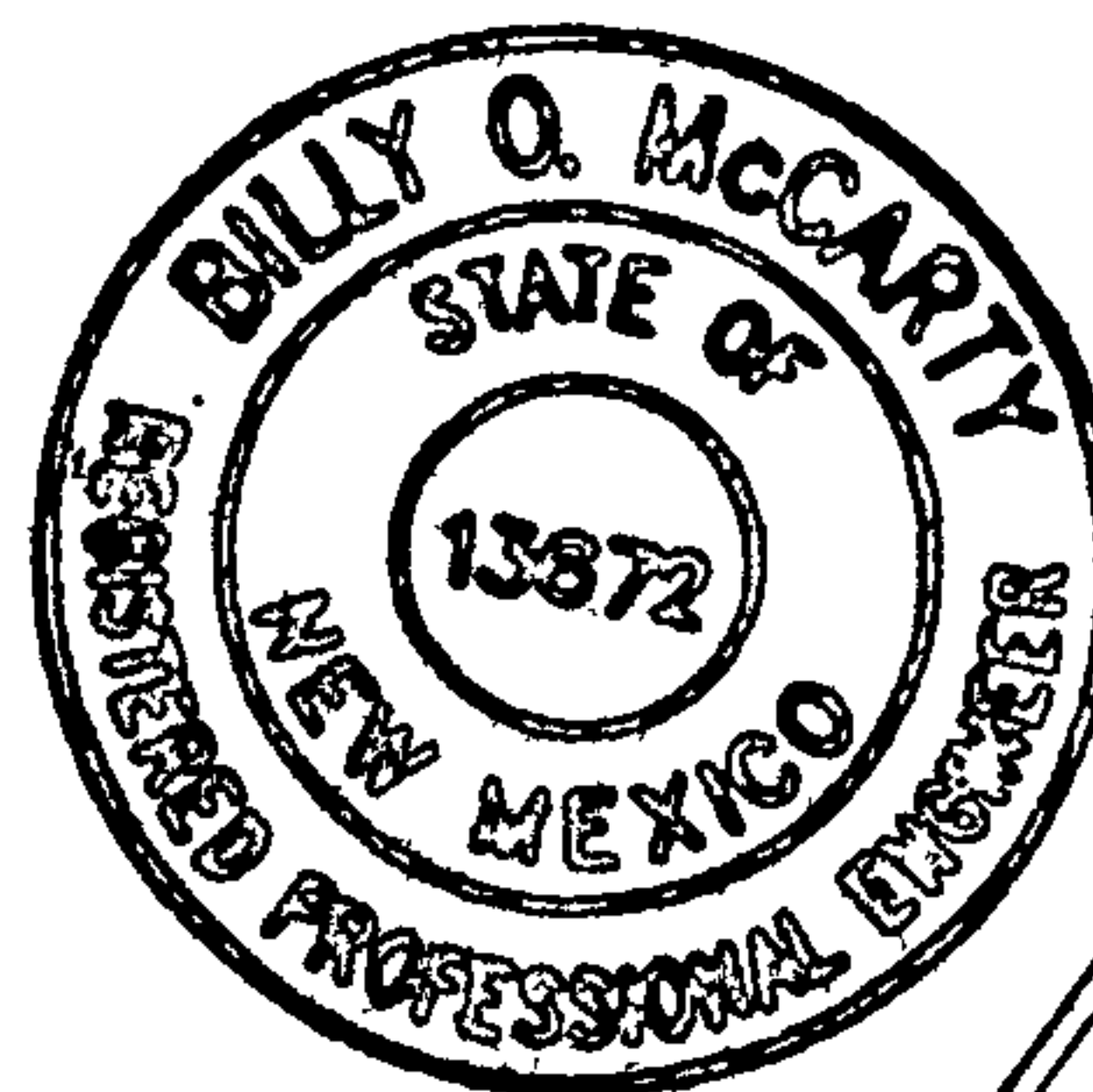
These items can be completed after the store is opened for business without compromising customer safety (while the construction is ongoing) but must be completed before a final certification for the permanent Certificate of Occupancy can be granted.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
Billy O. McCarty, P.E.

07-27-06

Date



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: HASTINGS ENTERTAINMENT

ZONE MAP/DRG. FILE #: G-22/D22

DRB #: \_\_\_\_\_ EPC#: 1002635

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT A, LANDS OF CANDERIA AND TRAMWAY SW

CITY ADDRESS: 12501 Candalaria NE

ENGINEERING FIRM: BEAM DESIGNS

ADDRESS: 855 POLARIS BLVD. SE

CITY, STATE: RIO RANCHO, NM

CONTACT: BILLY MCCARTY

PHONE: 896-0391

ZIP CODE: 87124

OWNER: GOZ G. SEAGARS

ADDRESS: 2586 KELLEYTOWN RD

CITY, STATE: HARTSVILLE, SC

CONTACT: \_\_\_\_\_

PHONE: (843) 332-9554

ZIP CODE: 29550

ARCHITECT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

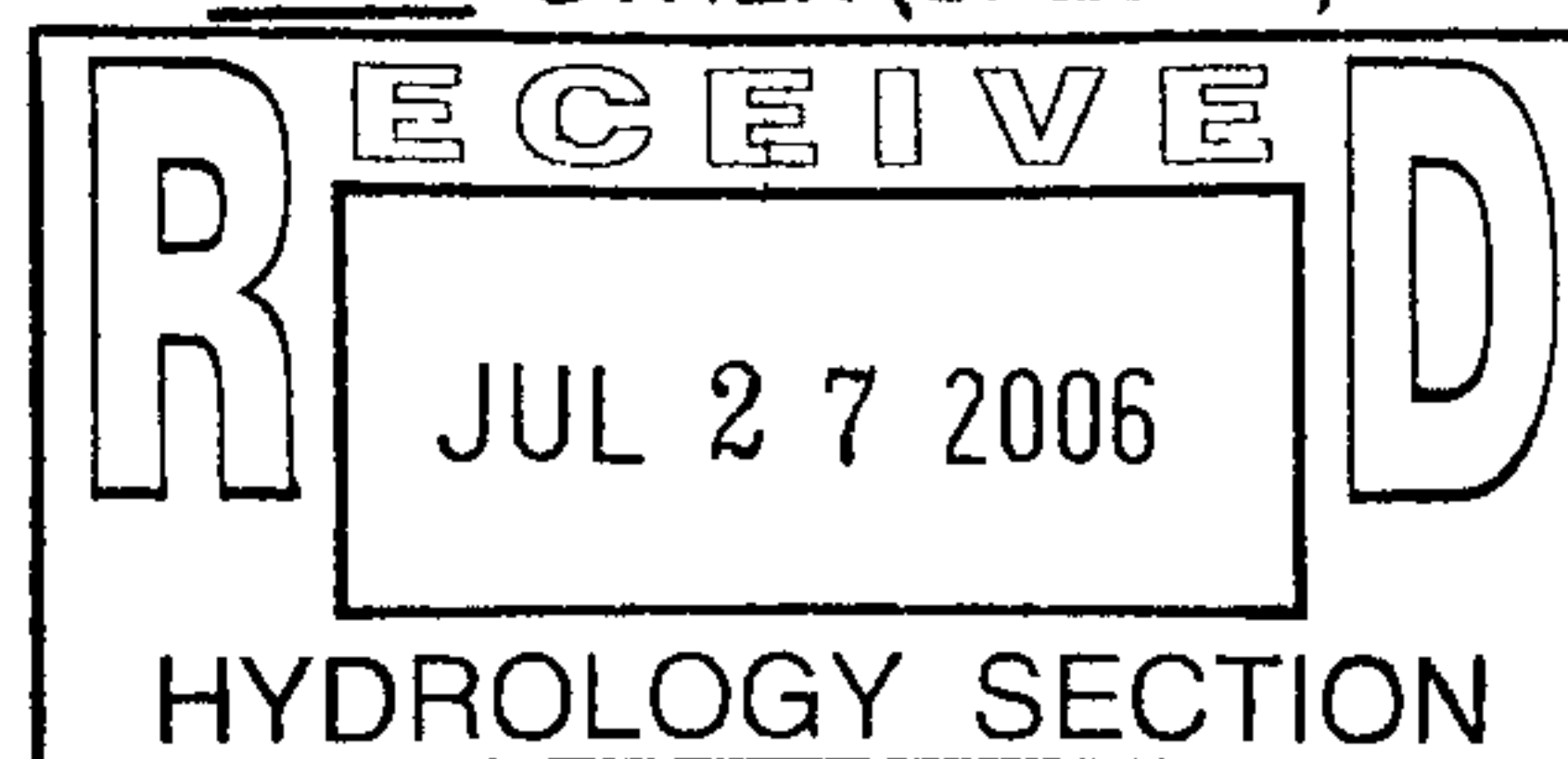
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 07-27-06

BY: Billy O'Connell

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



July 27, 2006

Mr. Billy McCarty, P.E.  
**BEAM DESIGNS.**  
855 Polaris Blvd. SE  
Rio Rancho, NM 87124

**Re: HASTINGS ENTERTAINMENT**  
**12501 Candelaria Road NE**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 01/06/2006 (G-22/D022)**  
**Certification dated 07/27/2006**

Dear Billy

P.O. Box 1293

Based upon the information provided in your submittal received 07/27/2006, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

Upon completion of all deficiencies, please resubmit an updated certification for Permanent C.O.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo  
Plan Reviewer, Planning Dept.- Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk  
File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: HASTINGS ENTERTAINMENT

ZONE MAP/DRG. FILE #: G-22 / 022

DRB #: \_\_\_\_\_ EPC#: 1002635

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT A. LANDS OF CANDERIA AND TRAMWAY SW

CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: BEAM DESIGNS

ADDRESS: 855 POLARIS BLVD. SE

CITY, STATE: RIO RANCHO, NM

CONTACT: BILLY MCCARTY

PHONE: 896-0391

ZIP CODE: 87124

OWNER: GOZ G. SEAGARS

ADDRESS: 2586 KELLEYTOWN RD

CITY, STATE: HARTSVILLE, SC

CONTACT: \_\_\_\_\_

PHONE: (843) 332-9554

ZIP CODE: 29550

ARCHITECT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

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CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

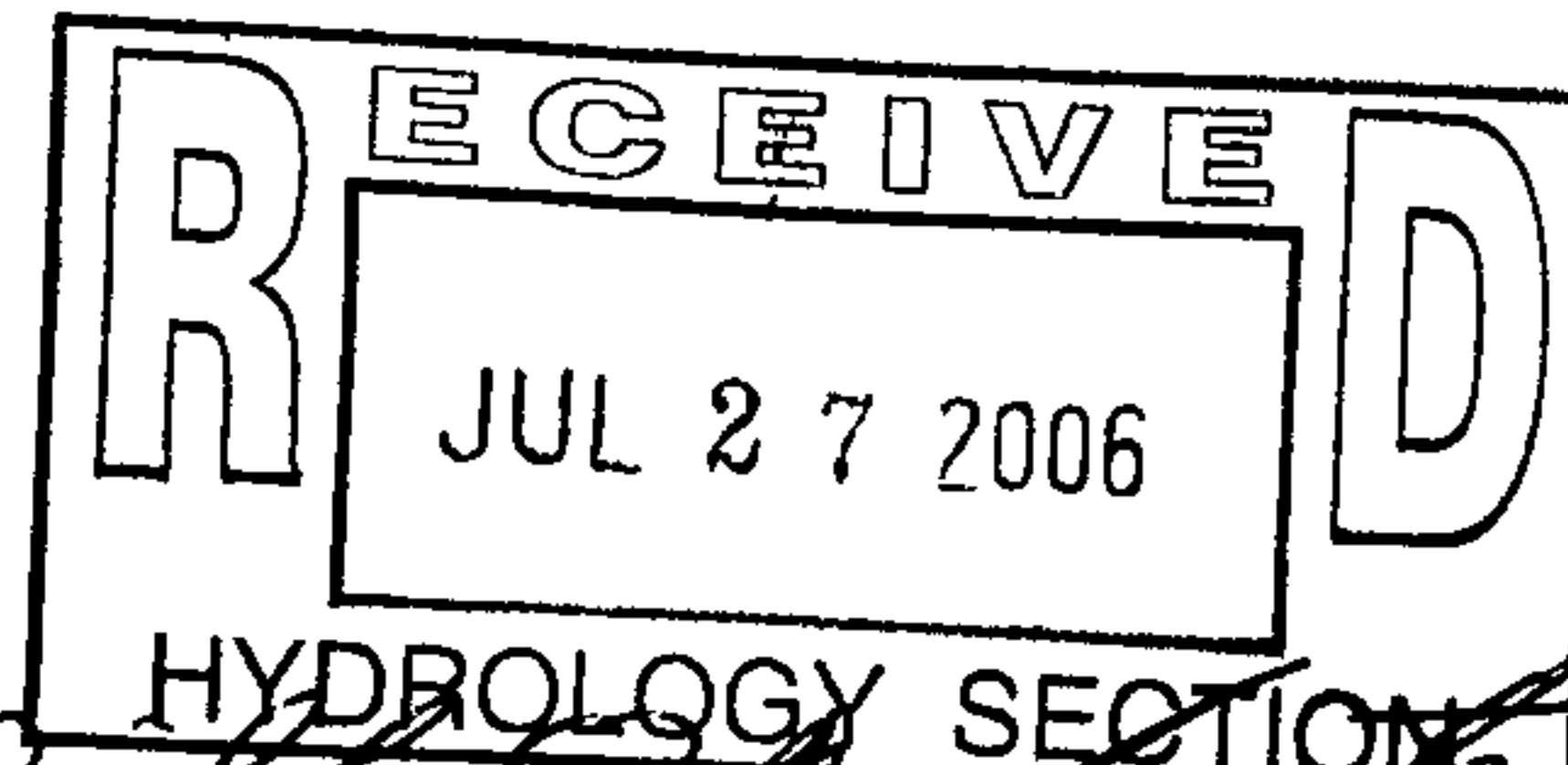
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- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

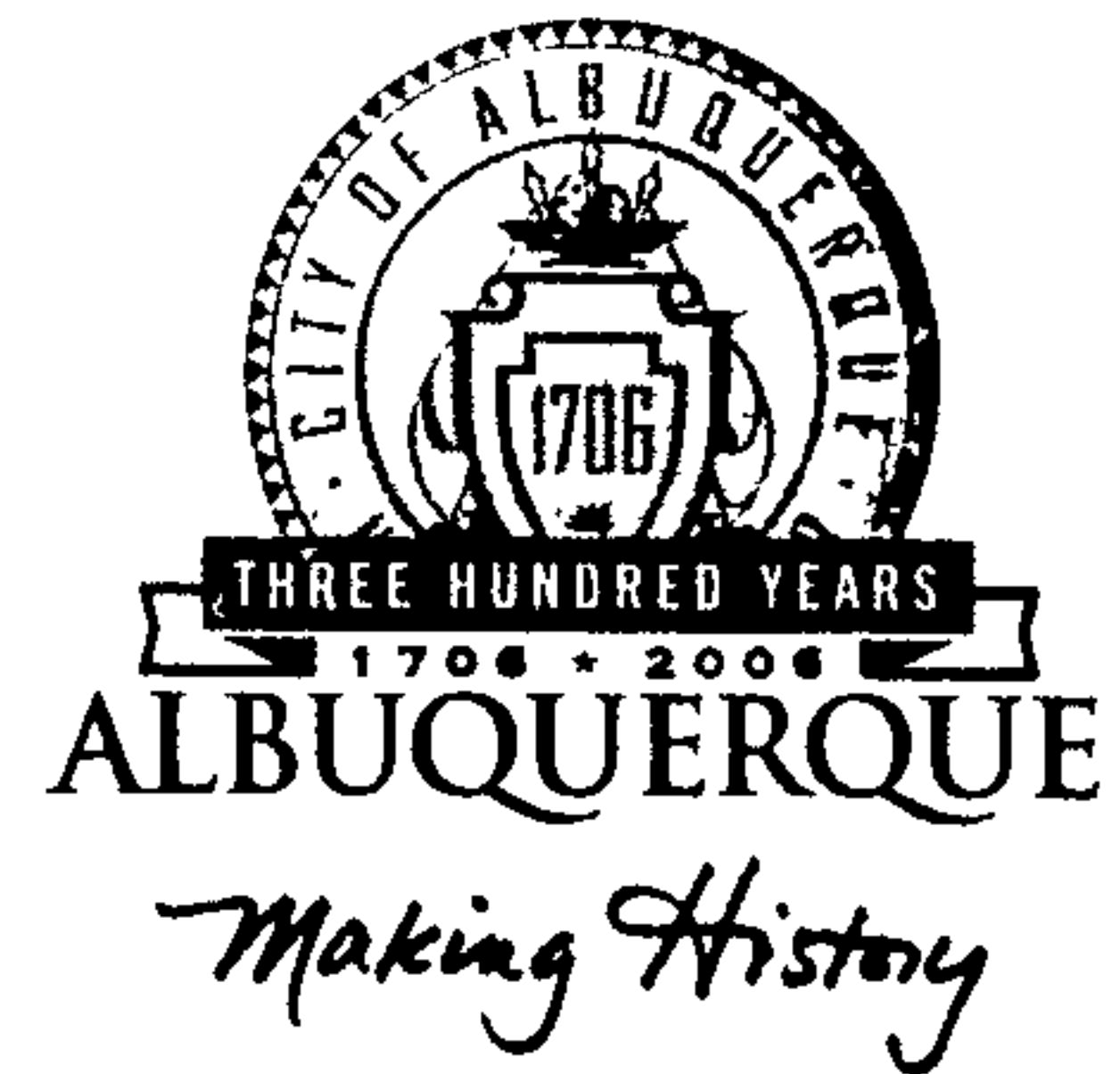


DATE SUBMITTED: 07-27-07 BY: Billy McCarty

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



January 19, 2006

Billy O. McCarty, P.E.  
BEAM Designs  
855 Polaris Blvd. SE  
Rio Rancho, NM 87124

**Re: Hastings Entertainment, 12501 Candelaria Dr. NE  
Grading & Drainage Plan-Engineer's Stamp dated 1-6-06 (G22-D22)**

Dear Mr. McCarty,

Based upon the information provided in your submittal dated 1-6-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Additionally, prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department Hydrology section at 768-3654 (Charles Caruso).

Albuquerque

If you have any questions, you can contact me at 924-3990.

New Mexico 87103

Sincerely,

Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Hydrology,  
Development and Building Services,  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

cc: Charles Caruso, DMD  
file



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: HASTINGS ENTERTAINMENT

ZONE MAP/DRG. FILE #: G-22 / D22

DRB #: \_\_\_\_\_ EPC#: 1002635

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT A. LANDS OF CANDERIA AND TRAMWAY SW

CITY ADDRESS: 12501 CANDELARIA RD. NE

ENGINEERING FIRM: BEAM DESIGNS

ADDRESS: 855 POLARIS BLVD. SE

CITY, STATE: RIO RANCHO, NM

CONTACT: BILLY MCCARTY

PHONE: 896-0391

ZIP CODE: 87124

OWNER: GOZ G. SEAGARS

ADDRESS: 2586 KELLEYTOWN RD

CITY, STATE: HARTSVILLE, SC

CONTACT: \_\_\_\_\_

PHONE: (843) 332-9554

ZIP CODE: 29550

ARCHITECT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

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ZIP CODE: \_\_\_\_\_

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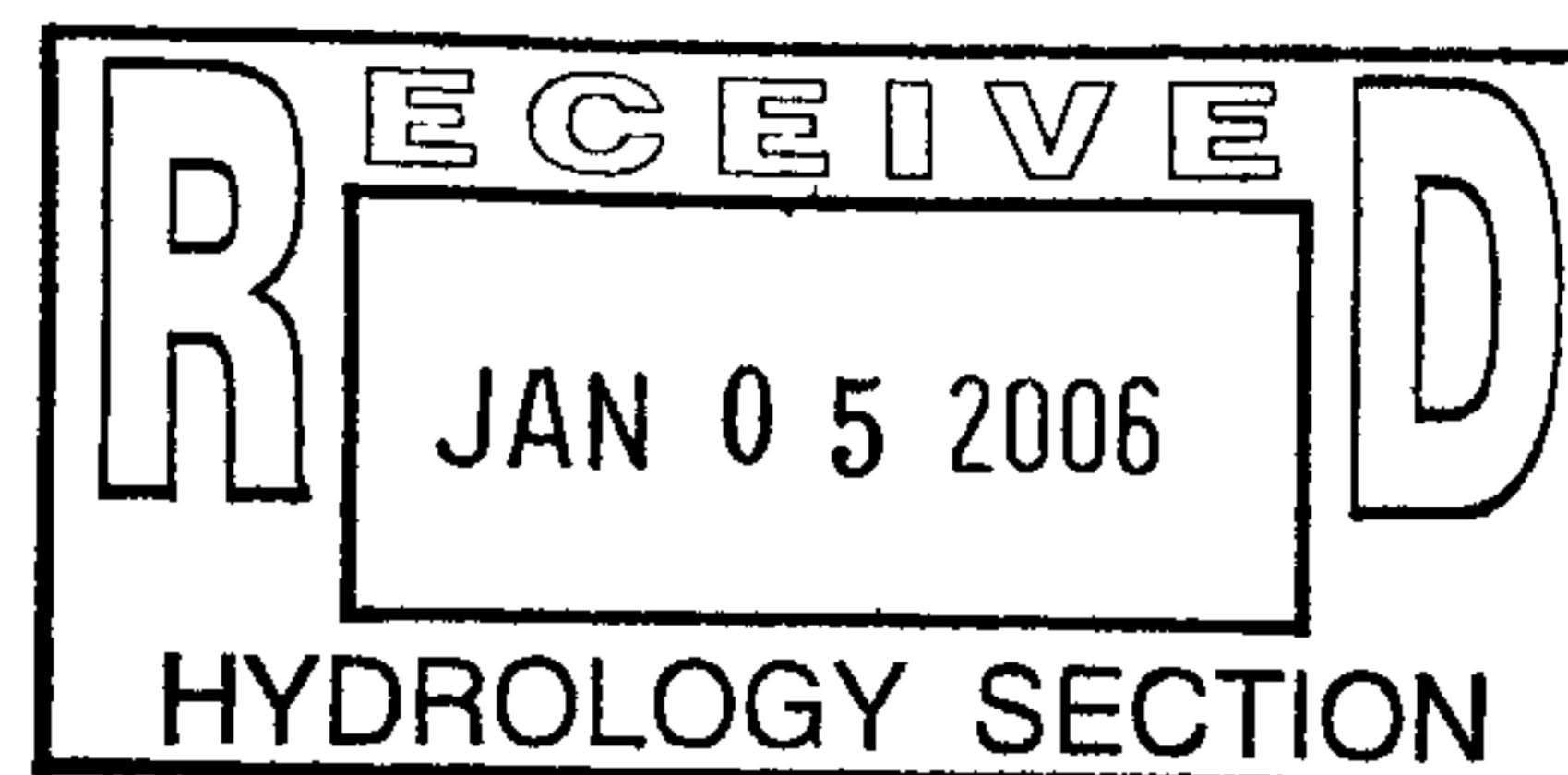
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- ☒ DRAINAGE PLAN ~~1<sup>st</sup> SUBMITTAL~~
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HAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



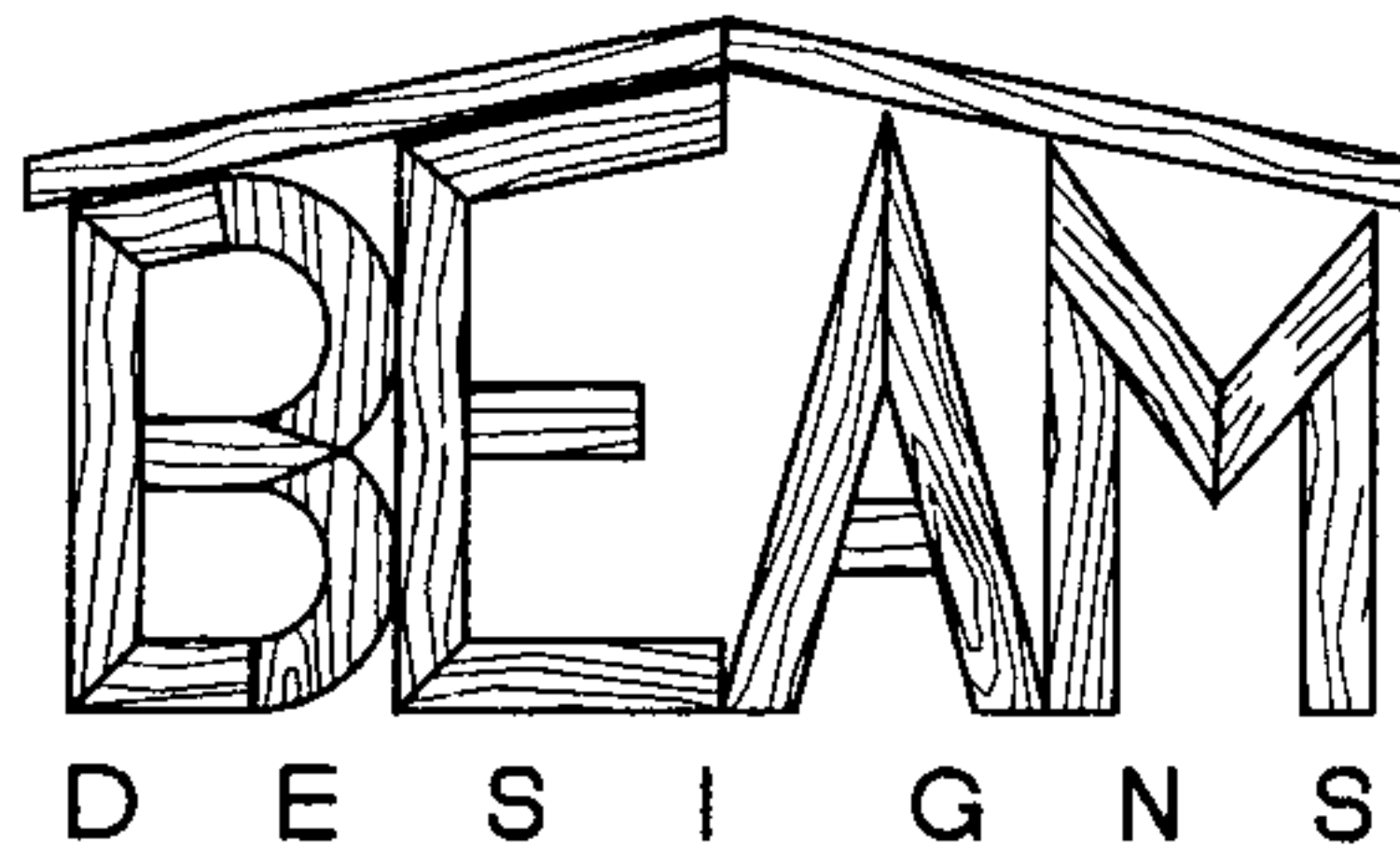
DATE SUBMITTED: 01-06-06

BY: Billy O McCarty

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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BUILDING  
ENGINEERING  
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DESIGNS



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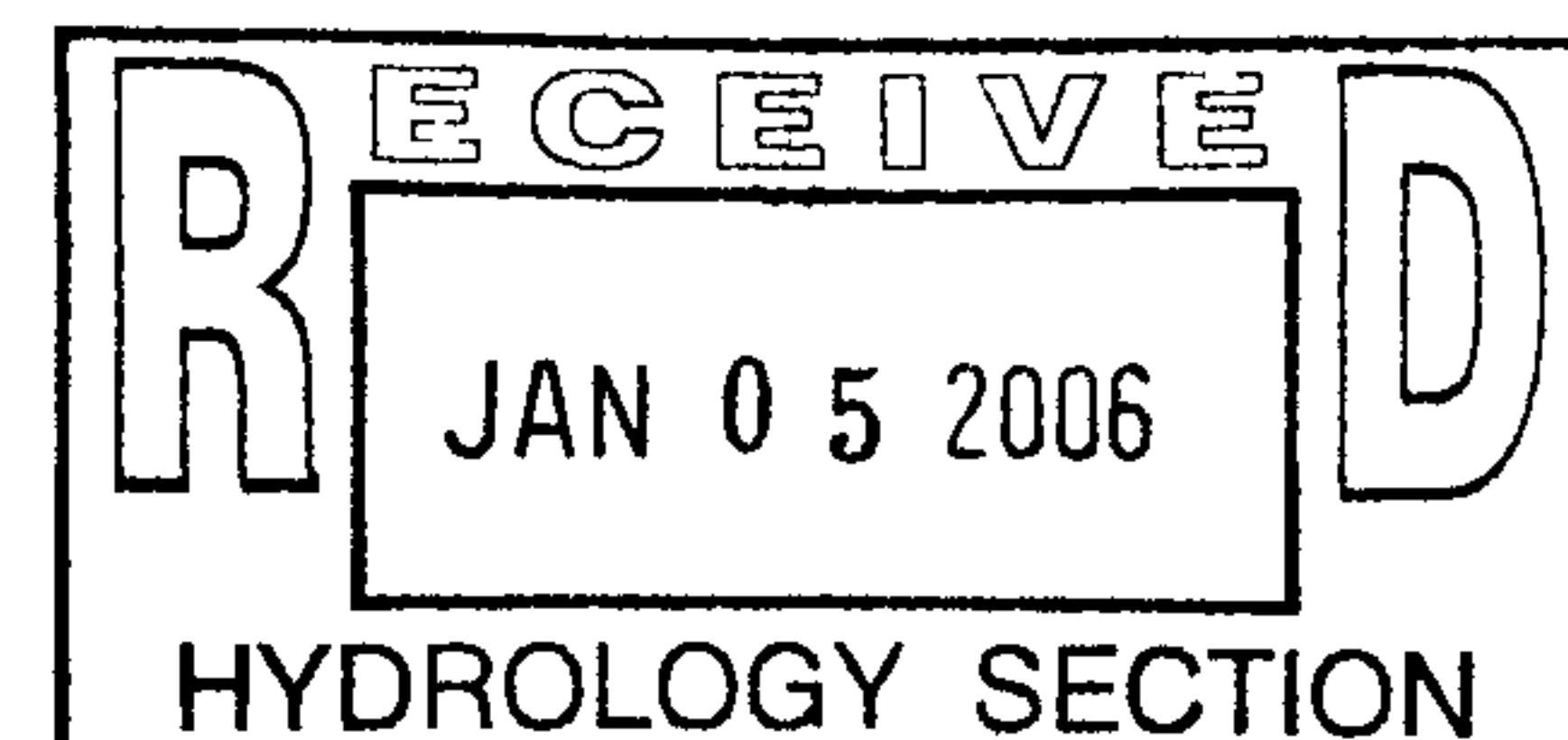
## ***TRANSMITTAL LETTER***

**TO:** City of Albuquerque Hydrology Dept.  
**FROM:** Billy O. McCarty, P.E. *BOM*  
**DATE:** January 6, 2006  
**RE:** Hastings Entertainment, 12501 Candelaria NE

### **ITEMS INCLUDED:**

- 1 Drainage Information Sheet
- 2 Grading and Drainage Plan Sheets

**COMMENTS:** Please complete your review of the attached Grading and Drainage Plan for Building Permit Approval.





## Site Visit Notes

**Date of Site Visit:** October 6, 2005

**Site Location:** 12501 Candelaria Rd. NE

**Site Visit By:** Phillip Lovato

**Purpose of Visit:**

Response to concerns stated in letter dated September 22, 2005 from Dawn Castillo, Member Tramway Highpoint Board of Directors. Of concern is pedestrian access to Mountainside Parkway located in drainage channel and debris from site at 12501 Candelaria Rd. NE washing onto Mountainside Parkway.

**Observations from Visit:**

1. Pedestrian access was designed to follow sidewalk and not through the rock drainage swale.
2. Two drainage outlets from above mentioned site penetrate through the screen along Mountainside Parkway. These outlets are adequately armored with large rock and no erosion was observed.
3. Erosion of the site was observed north of the sidewalk penetration through the site wall at the northwest corner of the site. It is possible that debris could wash out over the sidewalk and down the slope to Mountainside Parkway. This site visit followed a significant rainstorm the night before and no debris or sediment was observed on Mountainside Parkway.

**Conclusions:**

1. Brad to respond to Dawn's letter and the above mentioned property owner.
2. Minor grading to lower the rock riprap swale along southern edge of the sidewalk at northwest corner of site should be adequate to resolve debris and sedimentation washing into Mountainside Parkway.

September 22, 2005

Brad Bingham  
Hydrologist  
City of Albuquerque  
P. O. Box 1293  
Albuquerque, NM 87102

The Tramway Highpoint Homeowner's Association would like to request that the City of Albuquerque, review the drainage plan for the old Ekards store at the corner of Tramway and Candelaria. The pedestrian access to Mountainside Parkway on the west side of the site is either by design or by mistake <sup>is</sup> the drainage channel for about 20% to 30% of the parking lot. The pedestrian access sidewalk turns to the north in a right angle but the slope continues over our landscaping and onto Mountainside Parkway. The amount of dirt washed from the Ekards site onto our street is considerable. We would like to have this problem rectified as soon as possible. The property manager Marylin/Lisa are aware of the situation as is Bob Feinberg the listing agent for the lease to Hastings. Both are with Grubb/Ellis 883-7676.

Sincerely,

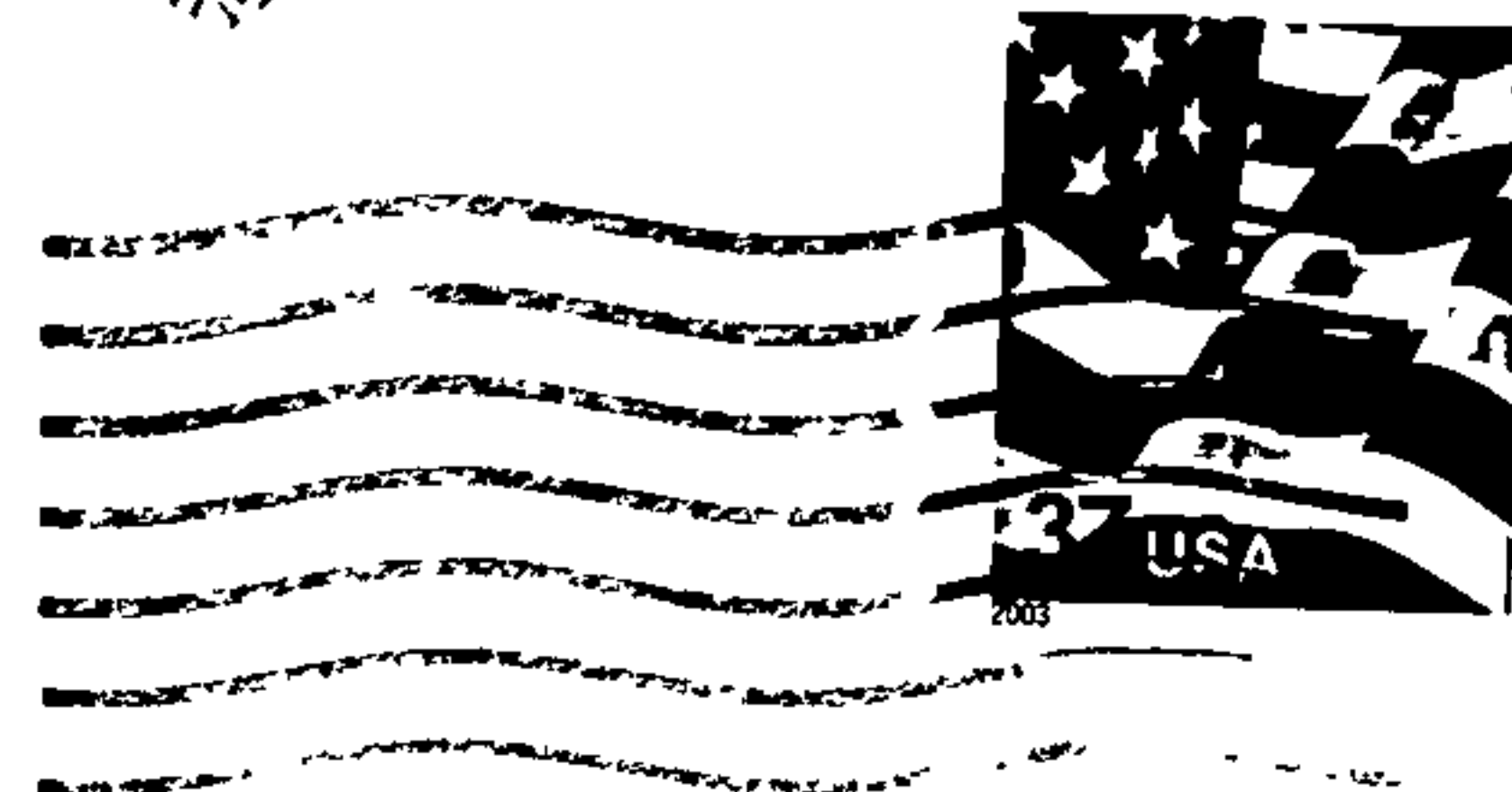
A handwritten signature in black ink, appearing to read "Dawn Castillo". The signature is fluid and cursive, with a large, stylized initial "D".

Dawn Castillo (238-1402)  
Member  
Tramway Highpoint Board of Directors

Tramway HighPoint HOA  
12415 Smokey Mt Way NE  
Alb NM 87111

Running

City of Albuquerque  
Brad Bringham Hydrologist  
PO Box 1293  
Albuquerque NM 87102



87102-1293







# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 24, 2004

Ms. Celia S. Tomlinson, P.E.  
**RHOMBUS P.A., INC.**  
2620 San Mateo Blvd. NE  
Suite B  
Albuquerque, NM 87110

**Re: ECKERD DRUG STORE – TRAMWAY BLVD AND CANDELARIA RD.**  
**Northwest Corner of Tramway Blvd. and Candelaria Rd. NE**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 12/05/2004 (G-22/D022)**  
**Certification dated 06/12/2004**

Dear Celia,

Based upon the information provided in your submittal received 06/24/2004, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

BLP

C: Phyllis Villanueva  
{File}

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

G22/D22  
#22

PROJECT TITLE: ECKERD DRUG STORE ZONE MAP/DRG. FILE #: \_\_\_\_\_  
 DRB #: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: SE 1/4 S3 T10N. R4E  
 CITY ADDRESS: NWC TRAMWAY & CAJALAGUA

ENGINEERING FIRM: RHOMBUS P.A. Inc. CONTACT: CELIA TOMLINSON  
 ADDRESS: 2620-B SAN MATEO NE PHONE: 881-6690  
 CITY, STATE: ALBUQ, NM 87110 ZIP CODE: 87110

OWNER: ECKERD DRUG STORE CONTACT: UNK  
 ADDRESS: \_\_\_\_\_ PHONE: NA  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: NA

ARCHITECT: ARCHICON L.C. CONTACT: NA  
 ADDRESS: 4041 N. CENTRAL SUITE C-100 PHONE: NA  
 CITY, STATE: PHOENIX AZ 85012 ZIP CODE: NA

SURVEYOR: RHOMBUS P.A. CONTACT: CELIA TOMLINSON  
 ADDRESS: 2620-B SAN MATEO NE PHONE: 881-6690  
 CITY, STATE: ALBUQ, NM 87110 ZIP CODE: 87110

CONTRACTOR: JAYNES CORP CONTACT: BRIAN BLACKBURN  
 ADDRESS: 2906 PROSPECT BLVD NE PHONE: 345-8591  
 CITY, STATE: ALBUQ NM 87107 ZIP CODE: 87107

CHECK TYPE OF SUBMITTAL:

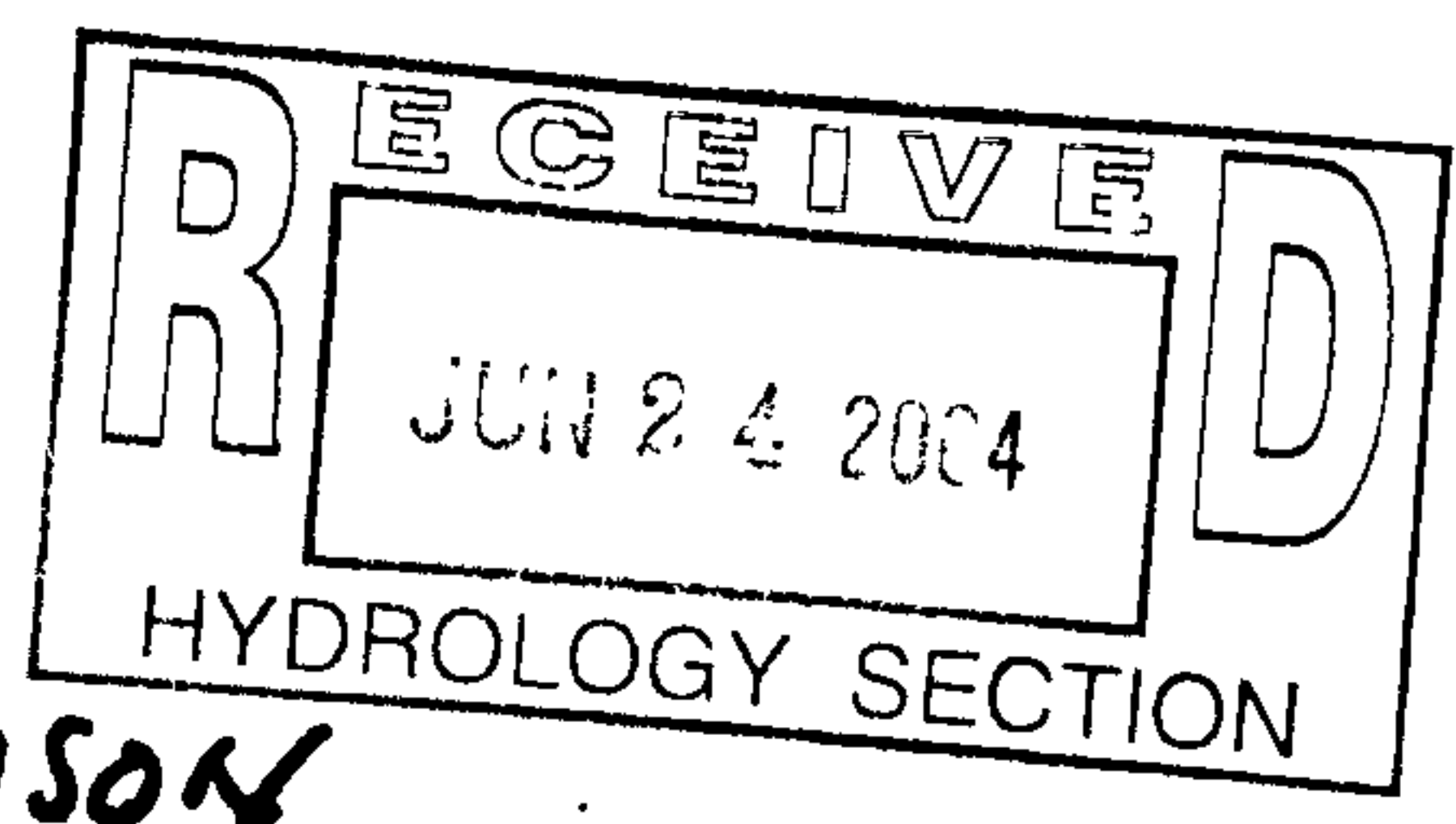
☐ DRAINAGE REPORT  
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☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

AS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☐ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 6/24/04 BY: CELIA TOMLINSON

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Courtyard I  
7500 Jefferson NE  
Albuquerque, NM  
87109-4335

www.bhinc.com

voice: 505.823.1000  
fax: 505.798.7988  
toll free: 800.877.5332

June 22, 2004

Ms. Arlene V. Portillo  
Plan Checker, Planning Department  
City of Albuquerque  
600 2nd Street NW - 4th Floor  
Albuquerque, NM 87103

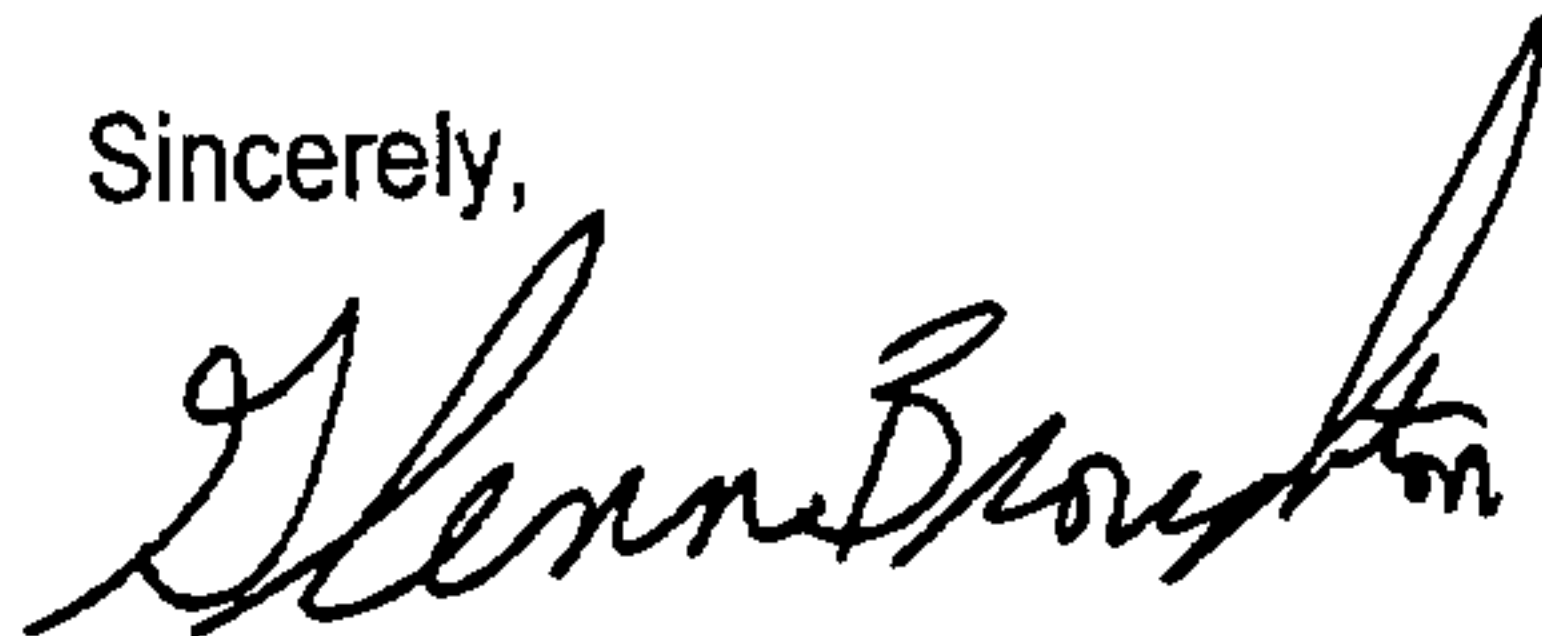
Re: Eckerd Drug Store, Northwest Corner of Tramway Blvd & Candelaria Rd  
(G-22/D022)

Dear Arlene:

This letter is in reference to your review letter dated June 15, 2004 to Celia Tomlinson with Rhombus PA, Inc. This letter authorizes Rhombus PA, Inc. to certify the grading and drainage plan and traffic circulation layout for the above reference site. Rhombus PA, Inc. will be the engineer of record to certify the 'As-Built' grading and site layout.

If you have any questions regarding this matter, please feel free to contact me.

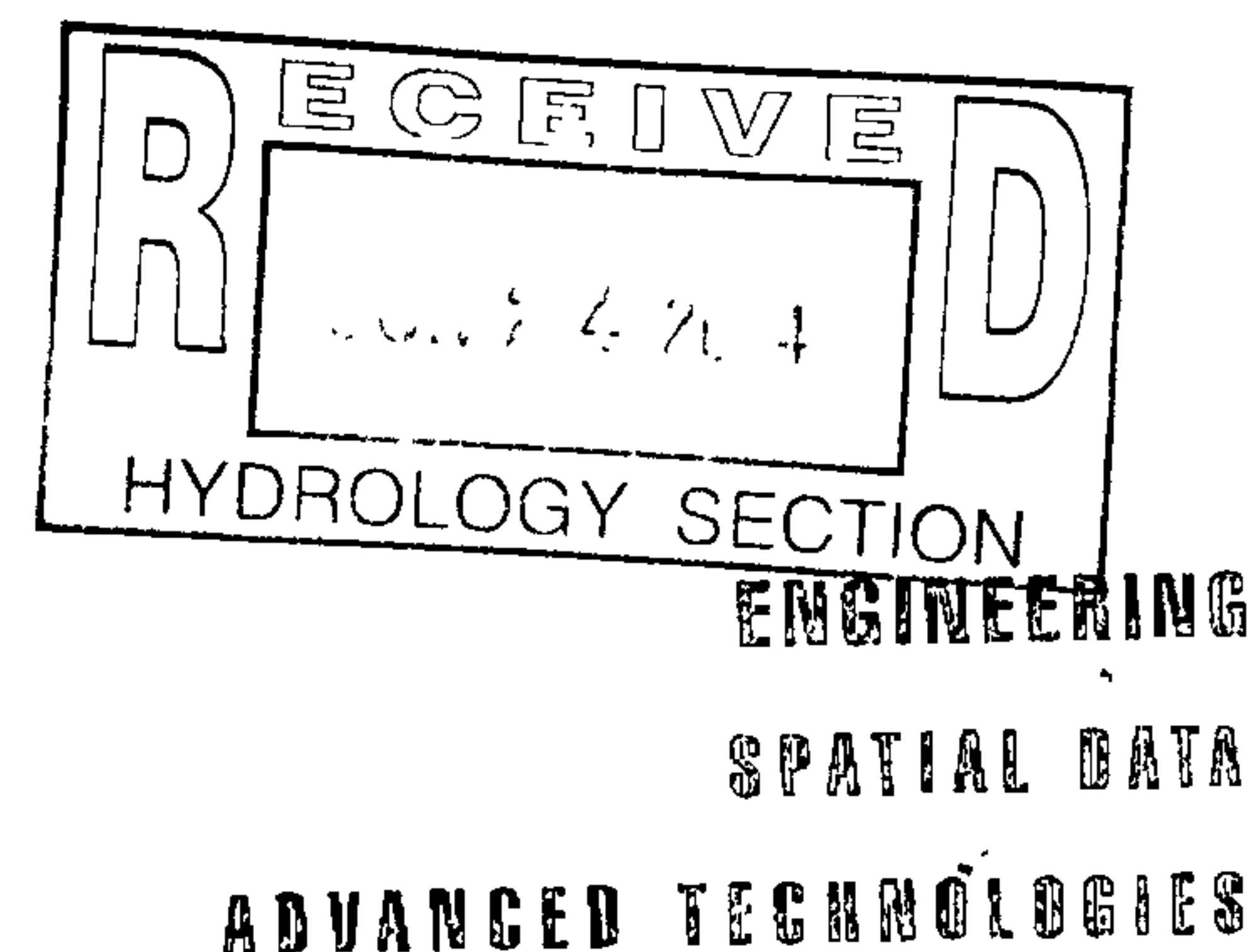
Sincerely,



Glenn S. Broughton, P.E.  
Project Manager  
Community Development and Planning

GSB/am

cc: Celia Tomlinson, PE, Rhombus PA, Inc.  
Brain O'Connell, Jaynes Corp.





**Bohannon**  **Huston** INC.

Courtyard  
7500 Jefferson NE  
Albuquerque, NM  
87109-4335

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toll free: 800.877.5335

June 22, 2004

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Plan Checker, Planning Department  
City of Albuquerque  
600 2nd Street NW - 4th Floor  
Albuquerque, NM 87103

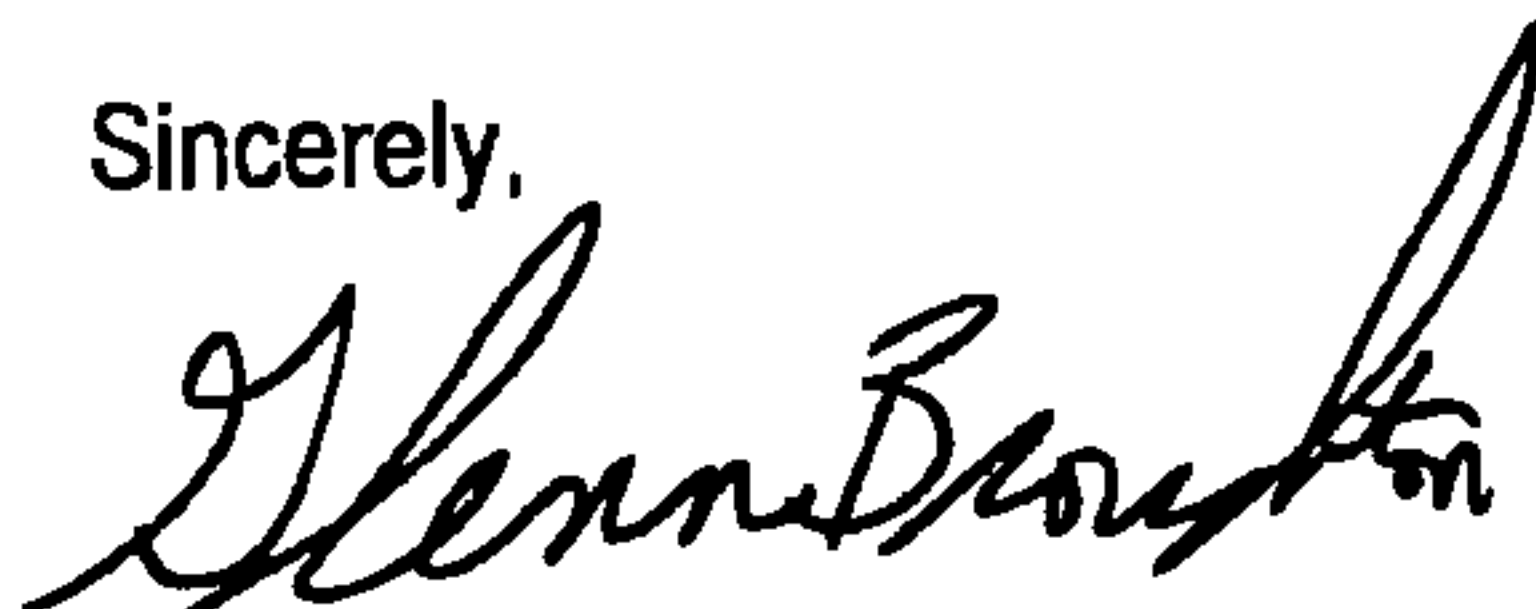
Re: Eckerd Drug Store, Northwest Corner of Tramway Blvd & Candelaria Rd  
(G-22/D022)

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This letter is in reference to your review letter dated June 15, 2004 to Celia Tomlinson with Rhombus PA, Inc. This letter authorizes Rhombus PA, Inc. to certify the grading and drainage plan and traffic circulation layout for the above reference site. Rhombus PA, Inc. will be the engineer of record to certify the 'As-Built' grading and site layout.

If you have any questions regarding this matter, please feel free to contact me.

Sincerely,



Glenn S. Broughton, P.E.  
Project Manager  
Community Development and Planning

GSB/am

cc: Celia Tomlinson, PE, Rhombus PA, Inc.  
Brain O'Connell, Jaynes Corp.



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department  
Transportation Development Services Section***

June 23, 2004

Celia S. Tomlinson, P.E.  
2620 San Mateo Ne, Ste B  
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Eckerd Drug Store , [G-22 / D22]  
Tramway & Candelaria  
Engineer's Stamp Dated 06/24/04

Dear Mr. Tomlinson:

The TCL / Letter of Certification submitted on June 24, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
(Hydrology file)  
CO Clerk

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Eckerts Drug Store ZONE MAP/DRG. FILE #: G22/D22  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_

CITY ADDRESS: Tramway & Candelaria (Tramway)

ENGINEERING FIRM: Rhombus  
ADDRESS: 2620 B San Mateo  
CITY, STATE: Albq, NM

CONTACT: Celia Tomlinson  
PHONE: \_\_\_\_\_  
ZIP CODE: 87110

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

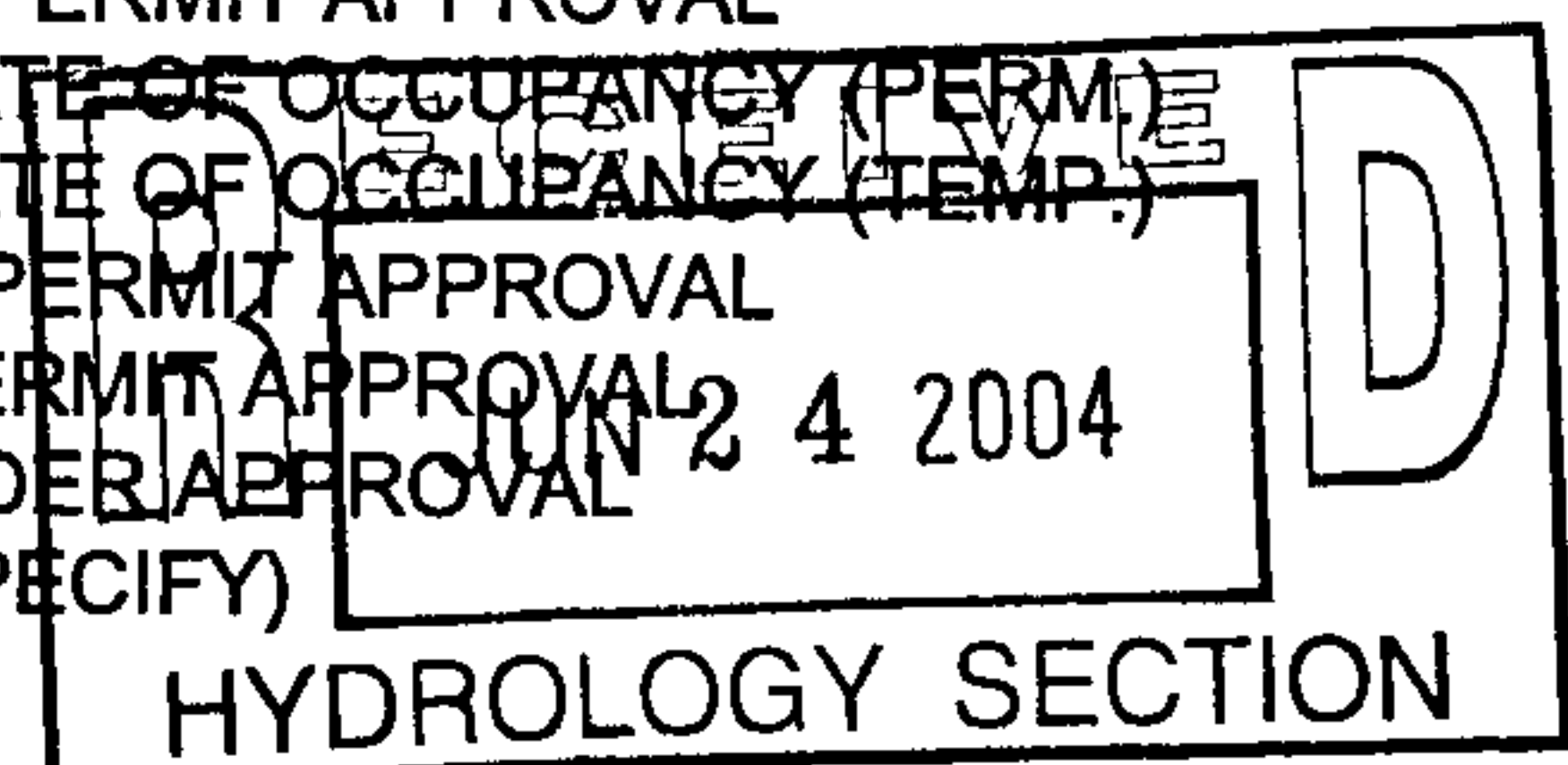
CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_



## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: \_\_\_\_\_ BY: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:


1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

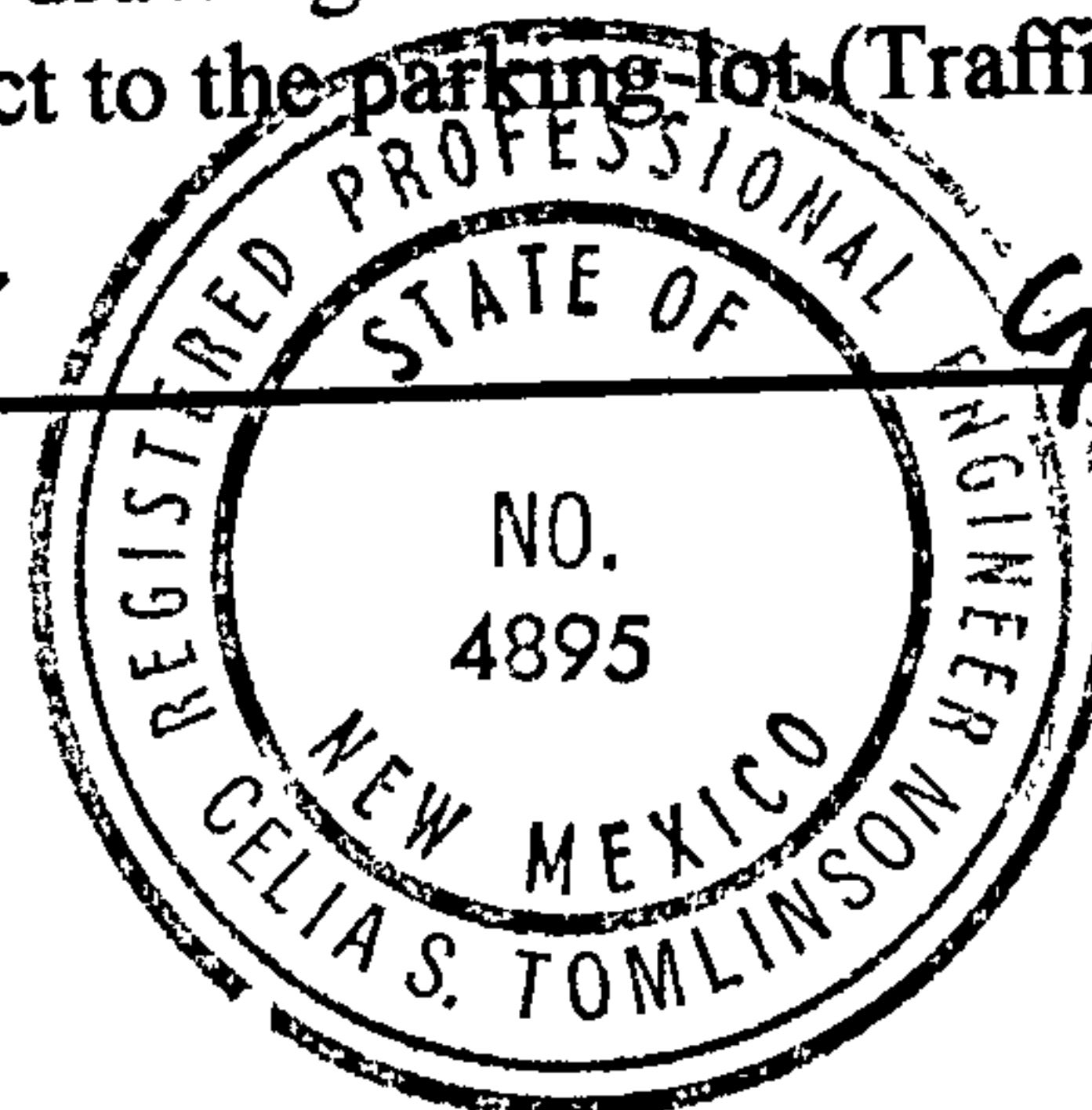





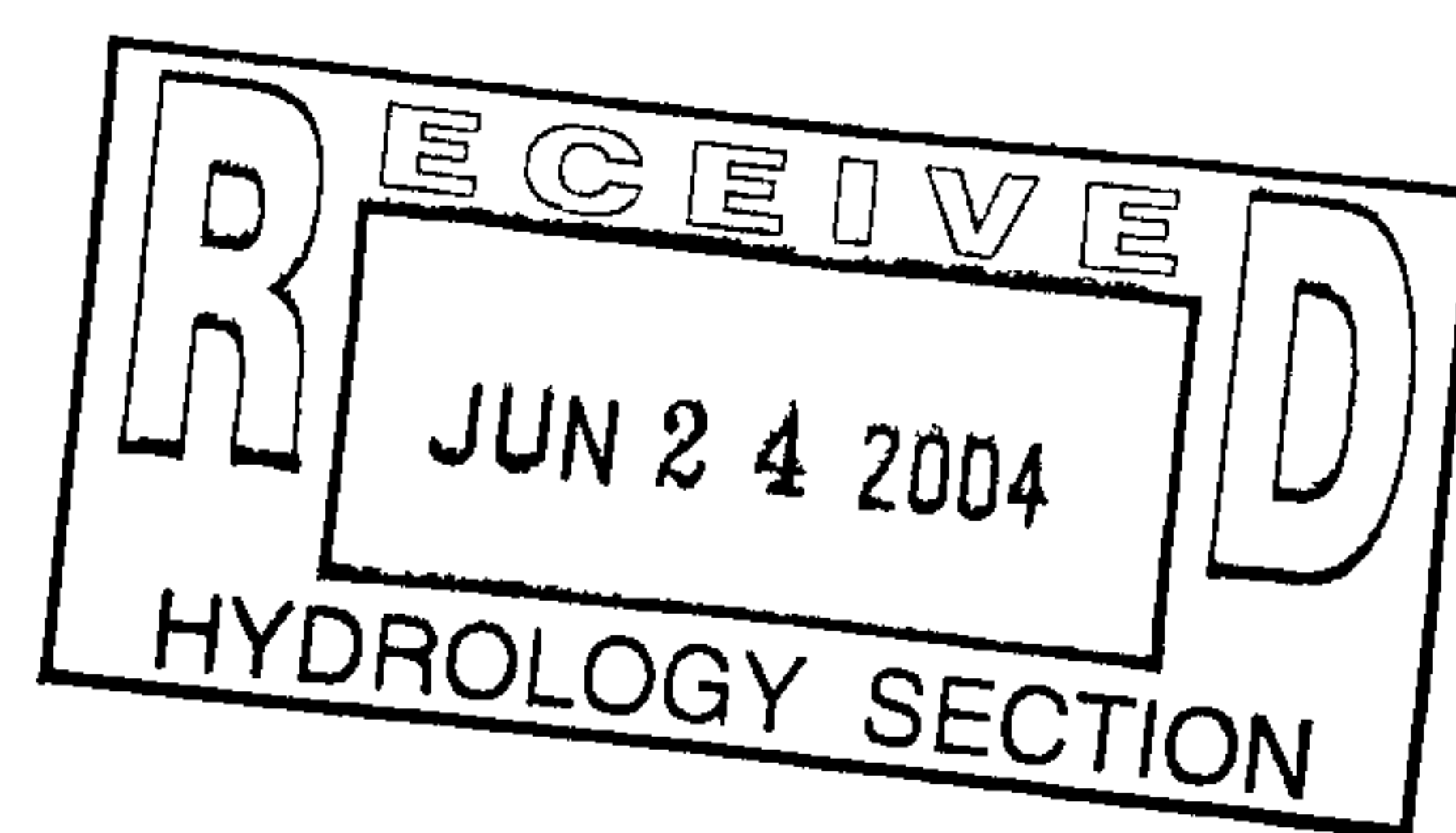
AS-BUILT PARKING LOT (TRAFFIC CIRCULATION LAYOUT)  
SUBSTANTIAL COMPLIANCE  
PROFESSIONAL ENGINEER'S CERTIFICATION:

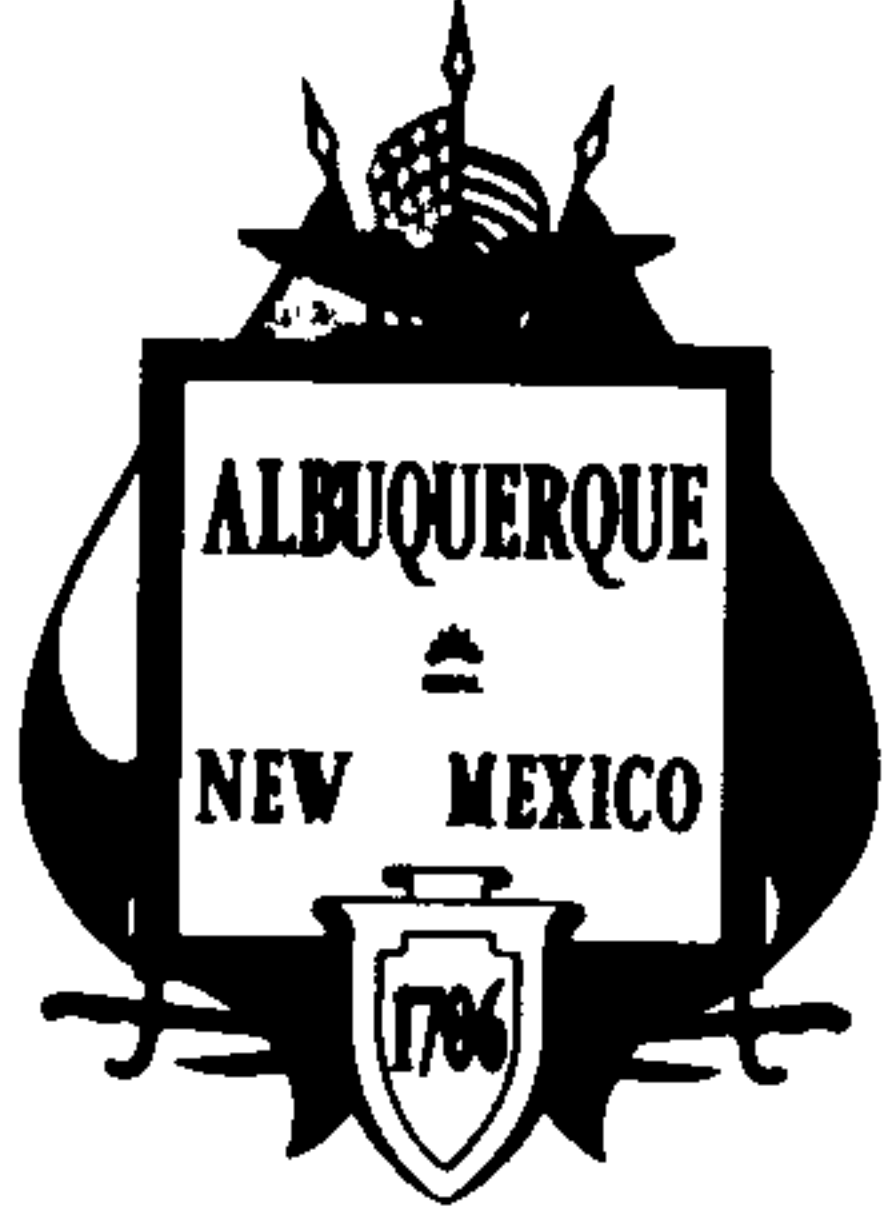
I, Celia Tomlinson, a duly certified Registered Professional Engineer under the laws of the State of New Mexico, do hereby certify that the information shown on the Eckerd's Drugstore NWC Tramway Boulevard & Candelaria NE Plan dated 10/30/03 under Glenn S. Broughton PE's signature "As-built" drawing, is in substantial compliance with the approved construction plans with respect to the parking lot (Traffic Circulation Layout).

  
Celia S. Tomlinson, NMPE No. 4895



  
Date





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 15, 2004

Celia Tomlinson, P.E.  
**RHOMBUS PA, INC.**  
2620-B San Mateo Blvd. NE  
Albuquerque, NM 87110

**Re: ECKERD DRUG STORE**

**Northwest Corner of Tramway Blvd. and Candelaria Rd.**

**Certificate of Occupancy Verification dated 06/12/2004 (G-22/D022)**

Dear Celia:

Based upon the information provided in your submittal received 06/15/2004, the above referenced certification cannot be approved until the following comments are addressed:

1. Since the approved Grading and Drainage Plan was stamped by Glenn Broughton, PE, Bohannon-Huston, Inc. (BHI), you must obtain, in writing, authorization from Mr. Broughton, BHI indicating Rhombus PA, Inc. is the Engineer of Record to certify the As-Built.
2. On As-Built Certification, the approved plan date should read 12/05/03 not 12/30/03.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo

Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

*BUB*

C: file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

G-22/D022

#1-22

PROJECT TITLE: ECKERD DRUG STORE ZONE MAP/DRG. FILE #:                       
 DRB #: NA EPC#: NA WORK ORDER#: NA

LEGAL DESCRIPTION: SE 1/4 S3 T10N. R4E.  
 CITY ADDRESS: NWC TRAMWAY & CAJUELA

ENGINEERING FIRM: RHOMBUS P.A. Inc.  
 ADDRESS: 2620-B SAN MATEO NE  
 CITY, STATE: ALBUQ, NM 87110

CONTACT: CELIA TOMLINSON  
 PHONE: 881-6690 F: 881-6896  
 ZIP CODE: 87110

OWNER: ECKERD DRUG STORE  
 ADDRESS: NA  
 CITY, STATE: NA

CONTACT: UNK  
 PHONE: NA  
 ZIP CODE: NA

ARCHITECT: ARCHICON L.C.  
 ADDRESS: 4041 N. CENTRAL SUITE C-100  
 CITY, STATE: PHOENIX AZ 85012

CONTACT: NA  
 PHONE: NA  
 ZIP CODE: NA

SURVEYOR: RHOMBUS P.A.  
 ADDRESS: 2620-B SAN MATEO NE  
 CITY, STATE: ALBUQ. NM 87110

CONTACT: CELIA TOMLINSON  
 PHONE: 881-6690  
 ZIP CODE: 87110

CONTRACTOR: JAYNES CORP  
 ADDRESS: 2906 Broadway Blvd NE  
 CITY, STATE: ALBUQ NM 87107

CONTACT: BRIAN BLANCHARD  
 PHONE: 345-8591  
 ZIP CODE: 87107

## CHECK TYPE OF SUBMITTAL:

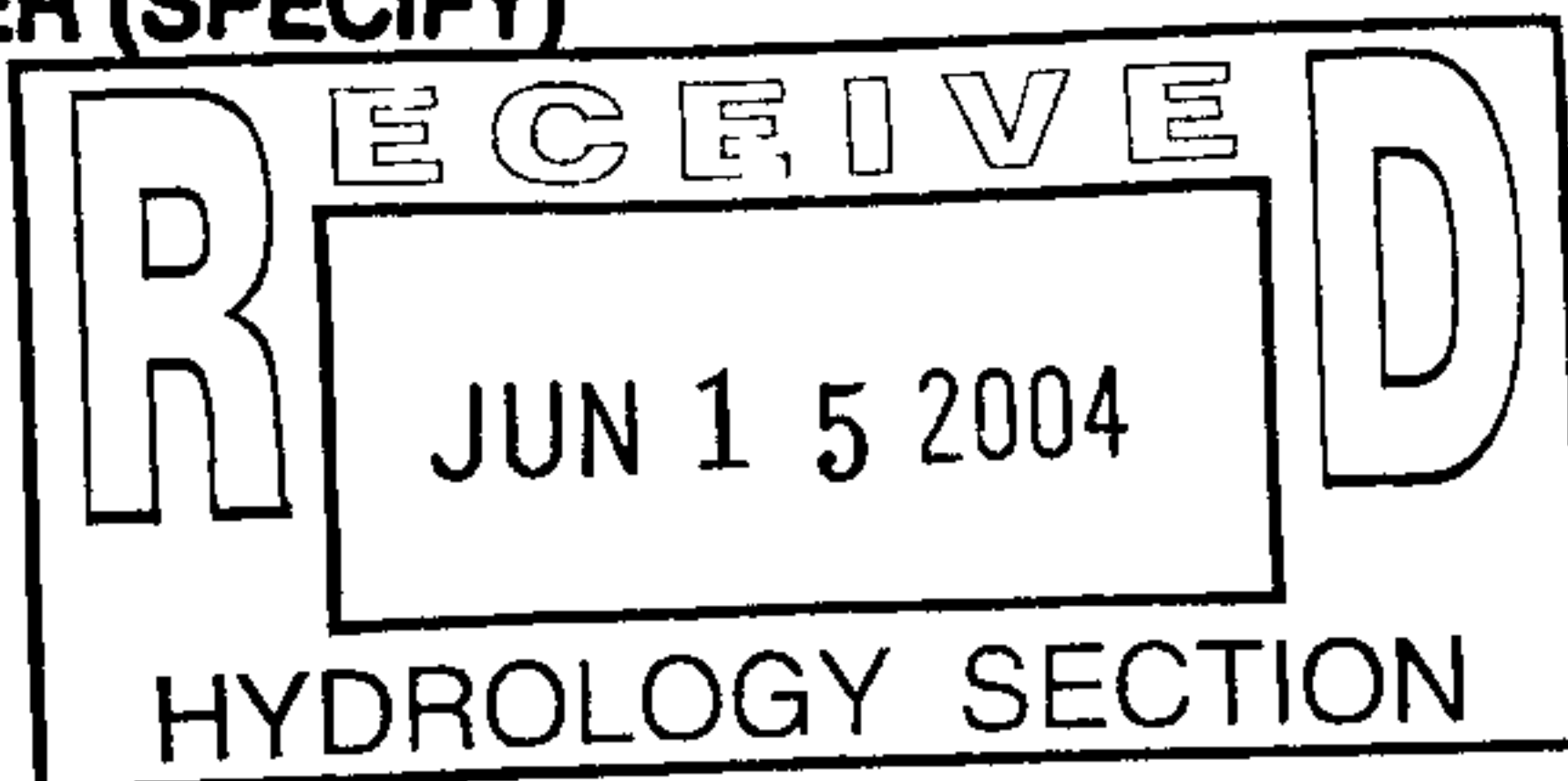
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
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- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
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- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## VAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 6/14/04 BY: CELIA TOMLINSON

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2019年12月

2019年12月

2019年12月10日 星期三  
2019年12月11日 星期四

2019年12月12日 星期五  
2019年12月13日 星期六

2019年12月14日 星期日  
2019年12月15日 星期一

2019年12月16日 星期二  
2019年12月17日 星期三

2019年12月

2019年12月18日 星期四  
2019年12月19日 星期五

2019年12月20日 星期六  
2019年12月21日 星期日

2019年12月22日 星期一  
2019年12月23日 星期二

2019年12月24日 星期三  
2019年12月25日 星期四

2019年12月26日 星期五  
2019年12月27日 星期六

2019年12月28日 星期日

2019年12月29日 星期一



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 5, 2004

Glenn Broughton, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE – Courtyard 1  
Albuquerque, NM 87109

**Re: Eckerd Drug Store, NW Corner of Tramway and Candelaria, Grading and  
Drainage Plan**

**Engineer's Stamp dated 12-05-03 (G22/D22)**

Dear Mr. Broughton,

Based upon the information provided in your submittal received 1-05-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions regarding this permit please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

3LB

C: Charles Caruso, Public Works Hydrology  
File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: Eckerd Drug Store ZONE MAP/DRG. FILE # H22/D05  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract "I" of the Plat for Zoning of Land in Section 3, T10N, R4E, N.M.P.M.  
CITY ADDRESS: N.W. Corner of Tramway & Candelaria

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Glenn Broughton  
ADDRESS: 7500 Jefferson NE – Courtyard I PHONE: (505) 823-1000  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRNG. PLAN (amendment)
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

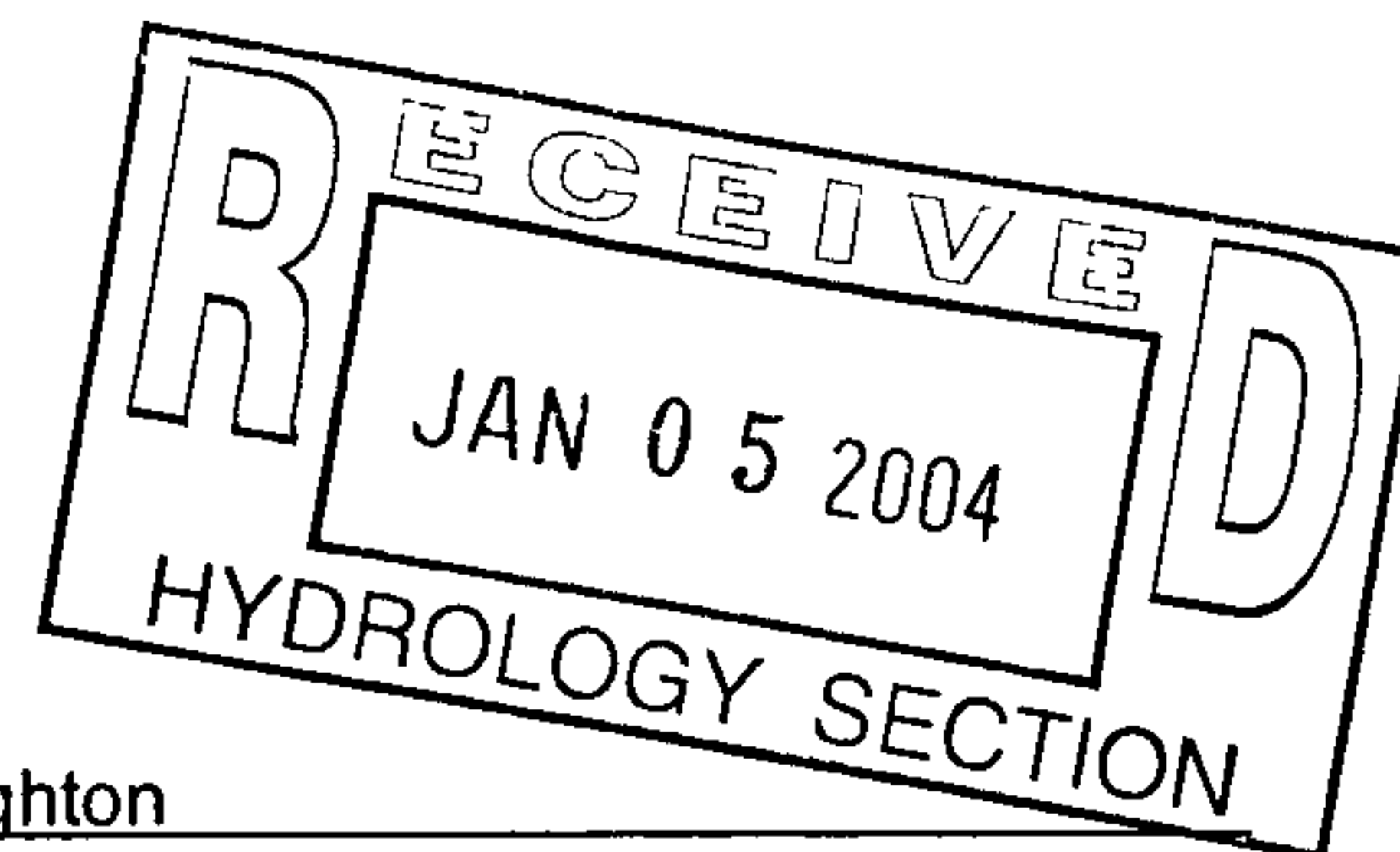
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) SO19

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 12/31/03 BY: BHI, Glenn Broughton



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000

facsimile: 505.798.7988

toll free: 800.877.5332

## CLIENT/COURIER TRANSMITTAL

To: Kristal Metro  
City of Albuquerque Hydrology  
600 Second St NW 2<sup>nd</sup> Floor  
Albuquerque, NM 87102

Requested by: Glenn Broughton

Date: December 31, 2003

Time Due: ☐ This A.M.  
☒ This P.M.

☐ Rush

☐ By Tomorrow — Monday 1-5:04 PM  
4:00 PM

Phone: 924-3981

Job No.: 030268

Job Name: Eckerd - Tramway & Candelaria

### DELIVERY VIA

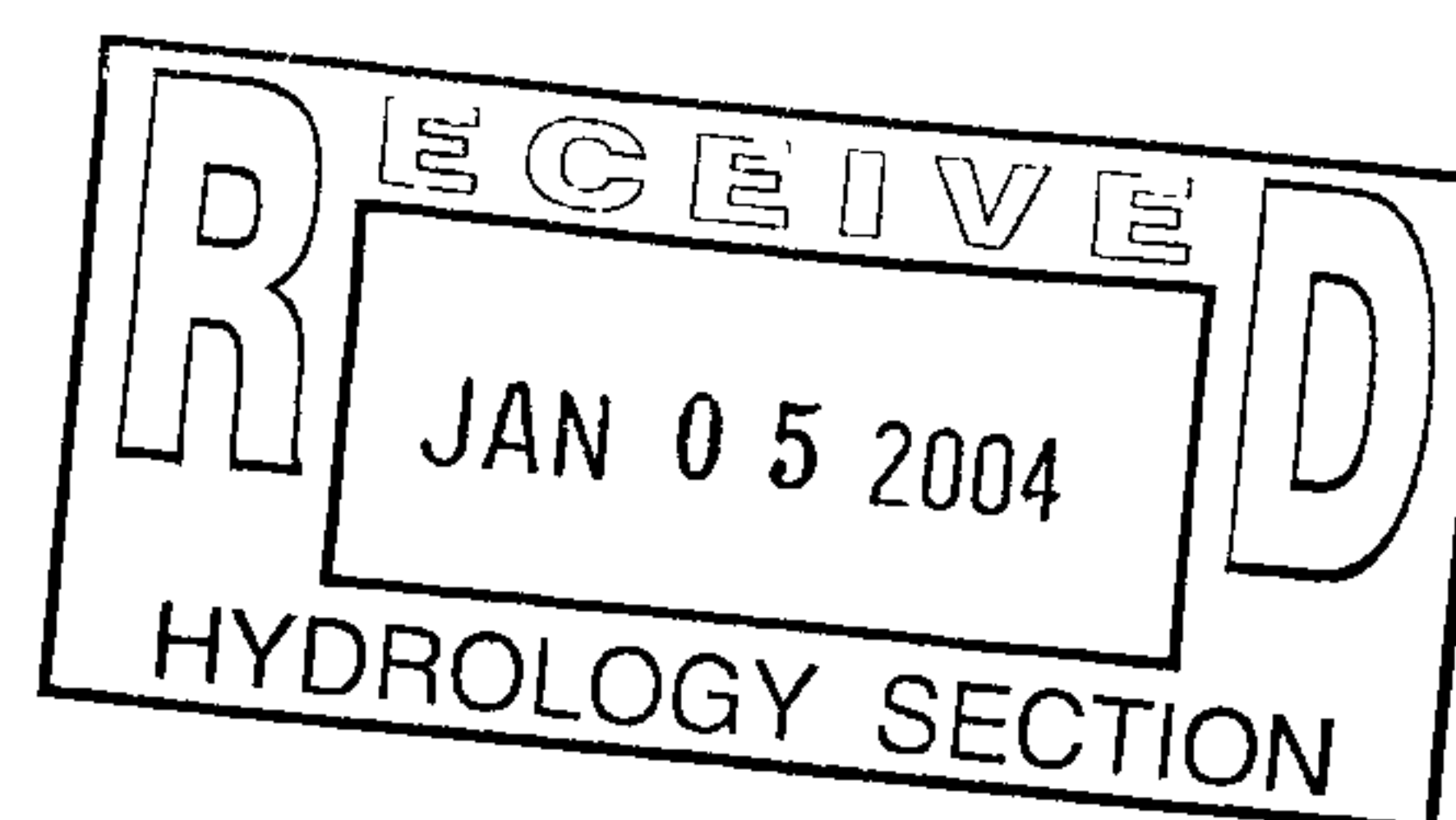
☒ Courier ☐ Federal Express  
☐ Mail ☐ UPS  
☐ Other

### PICK UP

Item: \_\_\_\_\_

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Grading & Drainage Plan
2	1	Miscellaneous Details

### COMMENTS / INSTRUCTIONS



REC'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_ TIME: \_\_\_\_\_

ENGINEERING 

SPATIAL DATA 

ADVANCED TECHNOLOGIES 



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 30, 2003

Glenn Broughton, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE – Courtyard 1  
Albuquerque, NM 87109

**Re: Eckerd Drug Store, NW Corner of Tramway and Candelaria, Grading and  
Drainage Plan**

**Engineer's Stamp dated 12-05-03 (G22/D22)**

Dear Mr. Broughton,

Based upon the information provided in your submittal received 12-05-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

~~A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.~~

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions regarding this permit please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services  
BUB

C: Matt Cline, Arroyo Maintenance  
Pam Lujan, Excavation Permits  
Charles Caruso, Public Works Hydrology  
File

*See  
1/5/04  
letter*

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

G-22/022

PROJECT TITLE: Eckerd Drug Store ZONE MAP/DRG. FILE # ~~122/D05~~  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract "I" of the Plat for Zoning of Land in Section 3, T10N, R4E, N.M.P.M.  
CITY ADDRESS: N.W. Corner of Tramway & Candelaria

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Glenn Broughton  
ADDRESS: 7500 Jefferson NE - Courtyard I PHONE: (505) 823-1000  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

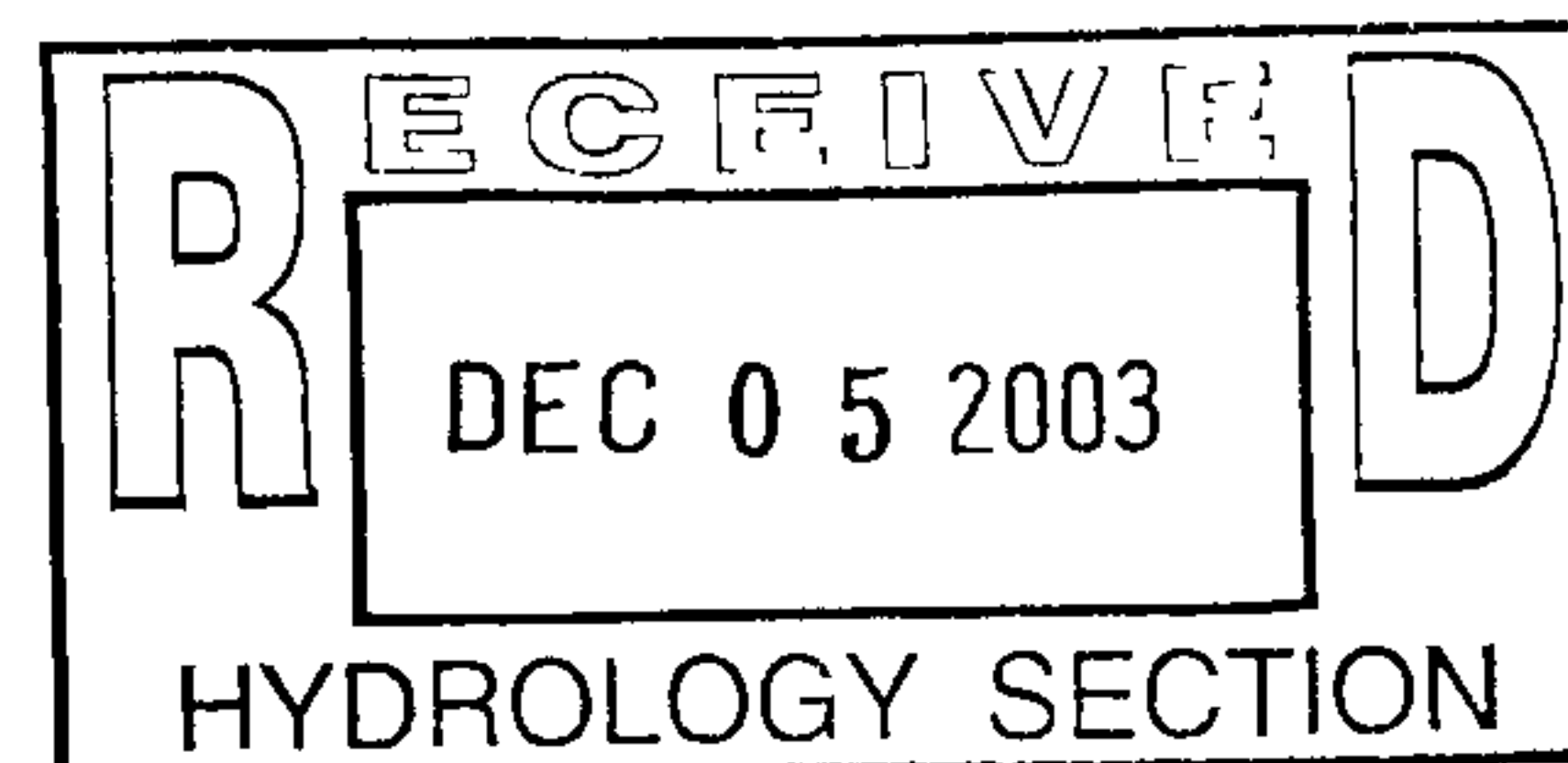
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRNG. PLAN (amendment)
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) SO19

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 12/05/03 BY: BHI, Glenn Broughton

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



## CLIENT/COURIER TRANSMITTAL

To: Brad Bingham, P.E.  
Drainage Section  
Municipal Development Department  
City of Albuquerque  
600 Second Street NW - 2<sup>nd</sup> Floor West

Requested by: Glenn Broughton - am

Date: December 5, 2003

Time Due: ☐ This A.M.  
☒ This P.M.  
☐ Rush \_\_\_\_\_  
☐ By Tomorrow

Phone: 924-3986

Job No.: 03 0268

Job Name: Eckerd - Candelaria & Tramway

### DELIVERY VIA

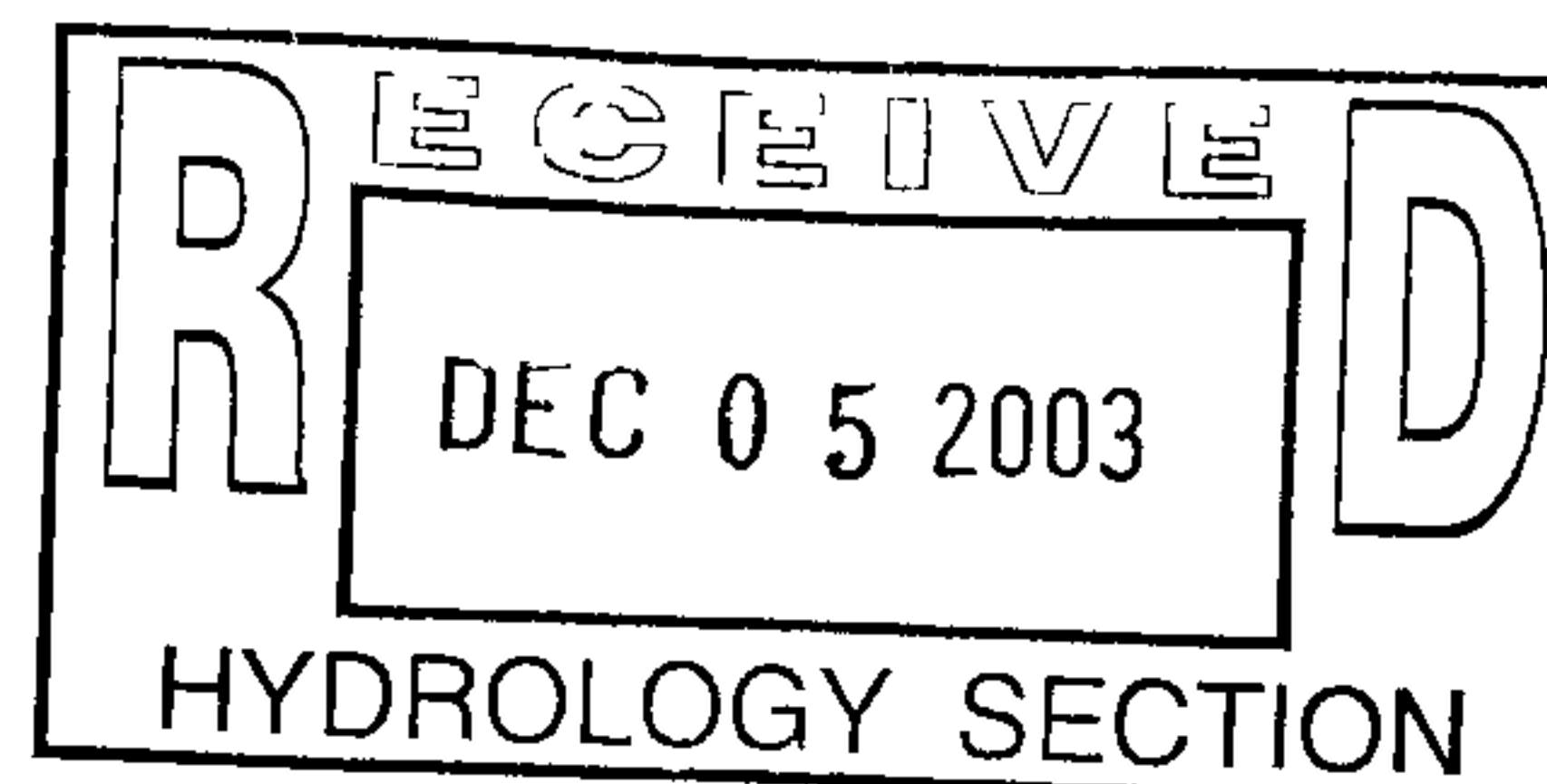
☒ Courier ☐ Federal Express  
☐ Mail ☐ UPS  
☐ Other

### PICK UP

Item: \_\_\_\_\_

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Submittal letter dated 12/5/03.

### COMMENTS / INSTRUCTIONS



REC'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_ TIME: \_\_\_\_\_

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Courtyard I  
7500 Jefferson NE  
Albuquerque, NM  
87109-4335  
[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000  
fax: 505.798.7988  
toll free: 800.877.5332

December 5, 2003

Brad Bingham, P.E., Senior Engineer  
Hydrology Development Section  
COA Planning Department  
P O Box 1293  
Albuquerque, NM 87103

G-22 / D22

Re: Eckerd Drug Store, Candelaria & Tramway - Grading and Drainage Plan (G-18/D-05)

Dear Brad:

Attached for your review is one copy of the revised grading and drainage plan for the above referenced project. The comments on the letters dated December 1, 2003 have been incorporated into the revised drawings:

- The public work order plans for this project include: new curb returns from Candelaria to the project site, westbound right turn lane, median modifications for a eastbound left turn lane, utilities within the public right of way, and sidewalk culvert. *is this clearly called out?*
- The grading plan has been revised to convey off site and on site drainage to Candelaria. No construction will occur within Mountainside Parkway. ✓
- Sidewalk culvert in Section A-A has been revised ✓

*Need a hardline  
spillway capable  
of passing 100%  
6 hr. storm*

The pond shown on the drawings is intended to serve as a water harvesting / sediment control pond, not a detention pond. *? OK*

The drainage basin table and drainage management narrative has been revised to more clearly address off site flows. Total peak discharge shown on the Drainage Management Plan does include off site flows. ✓

- The water harvesting pond outlet pipes have been revised to 4-6" PVC pipes. *check width*

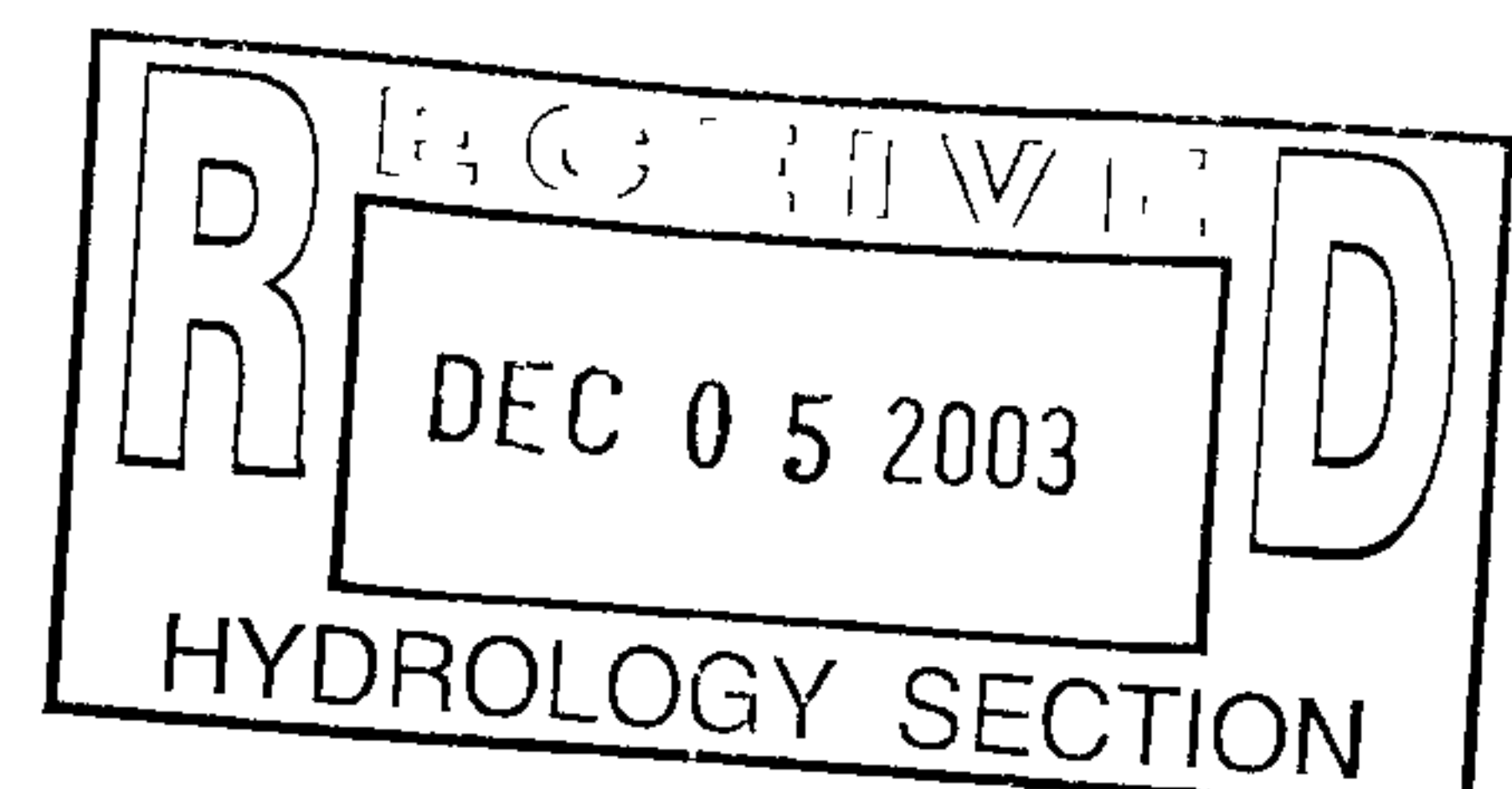
If you have questions regarding this submittal, please give me a call.

Sincerely,

*Glenn S. Broughton*

Glenn S. Broughton, P.E.  
Project Manager  
Community Development and Planning

GSB/am  
Enclosures



cc: Chad Hagle, Tricor Southwest Corporation

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 1, 2003

Glenn Broughton, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE – Courtyard 1  
Albuquerque, NM 87109

**Re: Eckerd Drug Store, NW Corner of Tramway and Candelaria, Grading and  
Drainage Plan**

**Engineer's Stamp dated 10-30-03 (G22/D22)**

Dear Mr. Broughton,

Based upon the information provided in your submittal received 10-31-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. What is to be constructed with the work order versus the building permit?
2. Written permission from the Tramway Highland Neighborhood Association will be required to do work on their street (Mountainside Parkway). It may be prudent to drain all runoff to Candelaria.
3. In section A-A, the steel plate for the proposed culvert does not extend to the property line.
4. This site would qualify as an infill site (i.e. no ponding required). The increase in flow to Candelaria, compared to the entire basin, will not adversely impact the storm drain system.
5. Is the offsite flow included in the proposed flow values?
6. In section A-A, 2-8" PVC pipes tie in to the double sidewalk culvert. However, the proposed culvert is not tall enough to tie in to 8" PVC pipe.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: file



**CLIENT/COURIER TRANSMITTAL**

**To:** Brad Bingham  
City of Albuquerque Hydrology  
600 Second Street NW, 2nd Floor West  
Albuquerque, NM 87102

**Requested by:** Glenn Broughton

**Date:** October 31, 2003

**Time Due:** ☒ This A.M.  
☐ This P.M.  
☐ Rush \_\_\_\_\_  
☐ By Tomorrow

**Phone:** 924-3986

**Job No.:** 030268

**Job Name:** Eckerd - Tramway & Candelaria

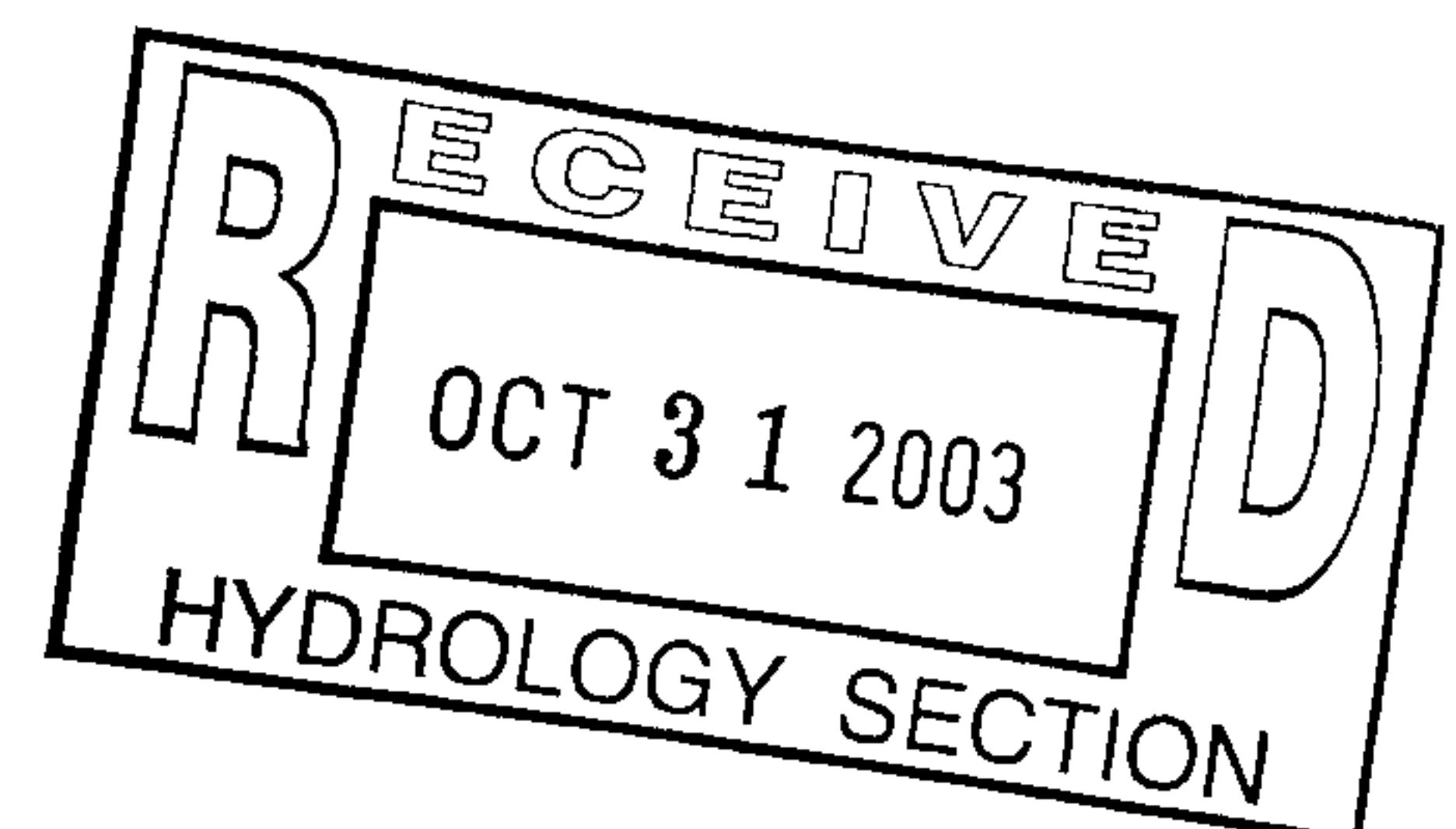
**DELIVERY VIA**

☒ Courier ☐ Federal Express  
☐ Mail ☐ UPS  
☐ Other

**PICK UP**

**Item:** \_\_\_\_\_

<b><u>ITEM NO.</u></b>	<b><u>QUANTITY</u></b>	<b><u>DESCRIPTION</u></b>
1	1	Drainage & Transportaion Information Sheet
2	1	Horizontal Control & Traffic Circulation Plan
3	1	Drainage Management Plan
4	1	Grading & Drainage Plan
5	1	Details

**COMMENTS / INSTRUCTIONS**

**REC'D BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_ **TIME:** \_\_\_\_\_

**ENGINEERING ▲**

**SPATIAL DATA ▲**

**ADVANCED TECHNOLOGIES ▲**



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 2, 2003

Glen Broughton, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE – Courtyard 1  
Albuquerque, NM 87109

**Re: Eckerd Drug Store, NW Corner of Tramway and Candelaria, Traffic  
Circulation Layout**

**Engineer's Stamp dated 10-30-03 (G22/D22)**

Dear Mr. Broughton,

The above referenced plan is not approved through the TCL process. Due to the existing zoning, this project is site plan controlled and will need to be submitted through the DRB.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

*sub*

C: file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

*W. B. H.*  
G-22/D22

PROJECT TITLE: Eckerd Drug Store ZONE MAP/DRG. FILE # 112214  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract "I" of the Plat for Zoning of Land in Section 3, T10N, R4E, N.M.P.M.  
CITY ADDRESS: N.W. Corner of Tramway & Candelaria

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Glenn Broughton  
ADDRESS: 7500 Jefferson NE - Courtyard I PHONE: (505) 823-1000  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRNG. PLAN (amendment)
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

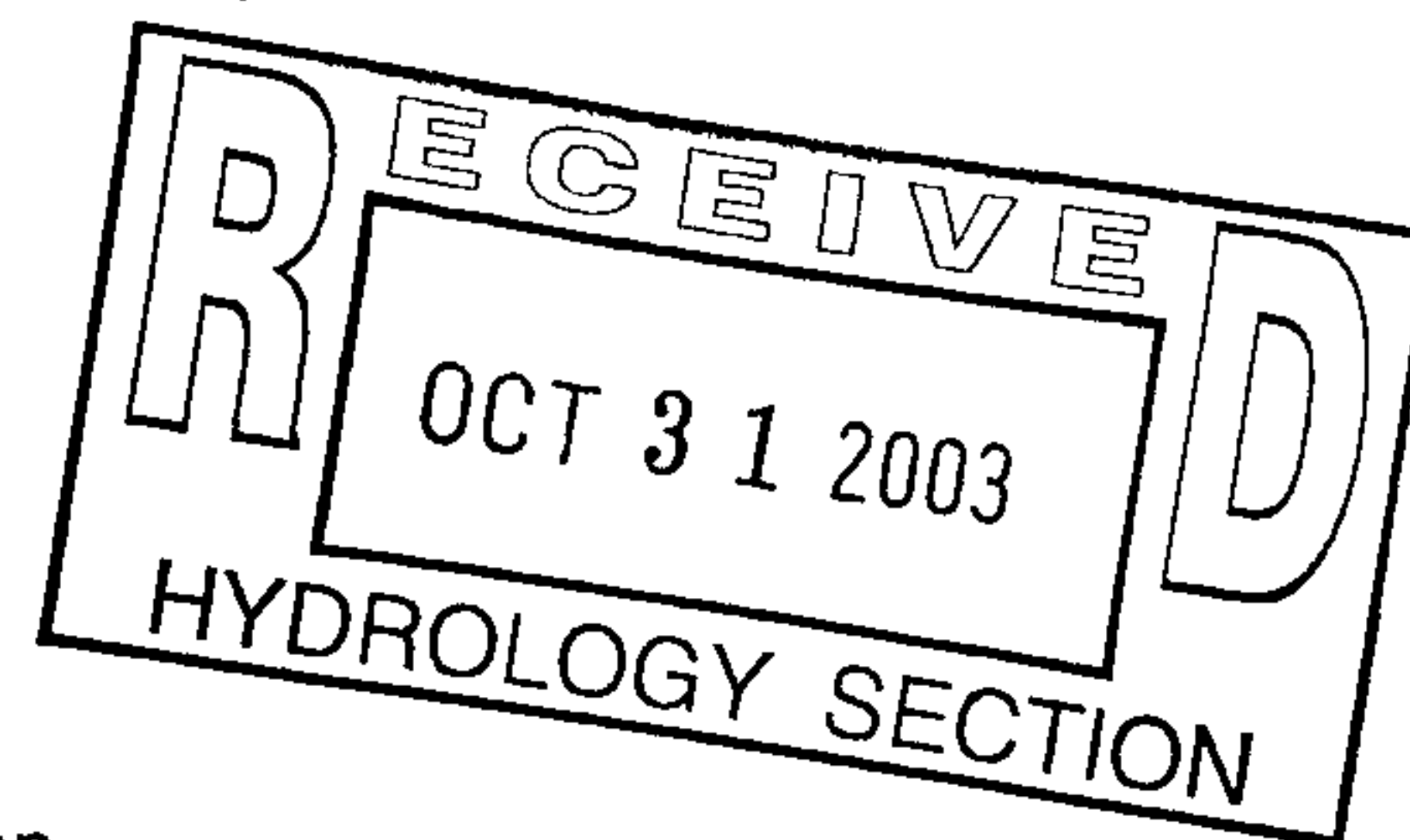
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) SO19

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 09/09/03 BY: BHI, Glenn Broughton



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 3, 2003

Glenn Broughton, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson NE – Courtyard 1  
Albuquerque, NM 87109

**Re: Eckerd Drug Store, Tramway & Candelaria, Site Development Plan  
Engineer's Stamp dated 9-09-03 (G22/D22)**

Dear Mr. Broughton,

Based upon the information provided in your submittal dated 9-09-03, the above referenced plan is approved for Site Development Plan for Building Permit.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

G-22 / D22

PROJECT TITLE: Eckerd Drug Store ZONE MAP/DRG. FILE # ~~1422~~  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract "I" of the Plat for Zoning of Land in Section 3, T10N, R4E, N.M.P.M.  
CITY ADDRESS: N.W. Corner of Tramway & Candelaria

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Glenn Broughton  
ADDRESS: 7500 Jefferson NE - Courtyard I PHONE: (505) 823-1000  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

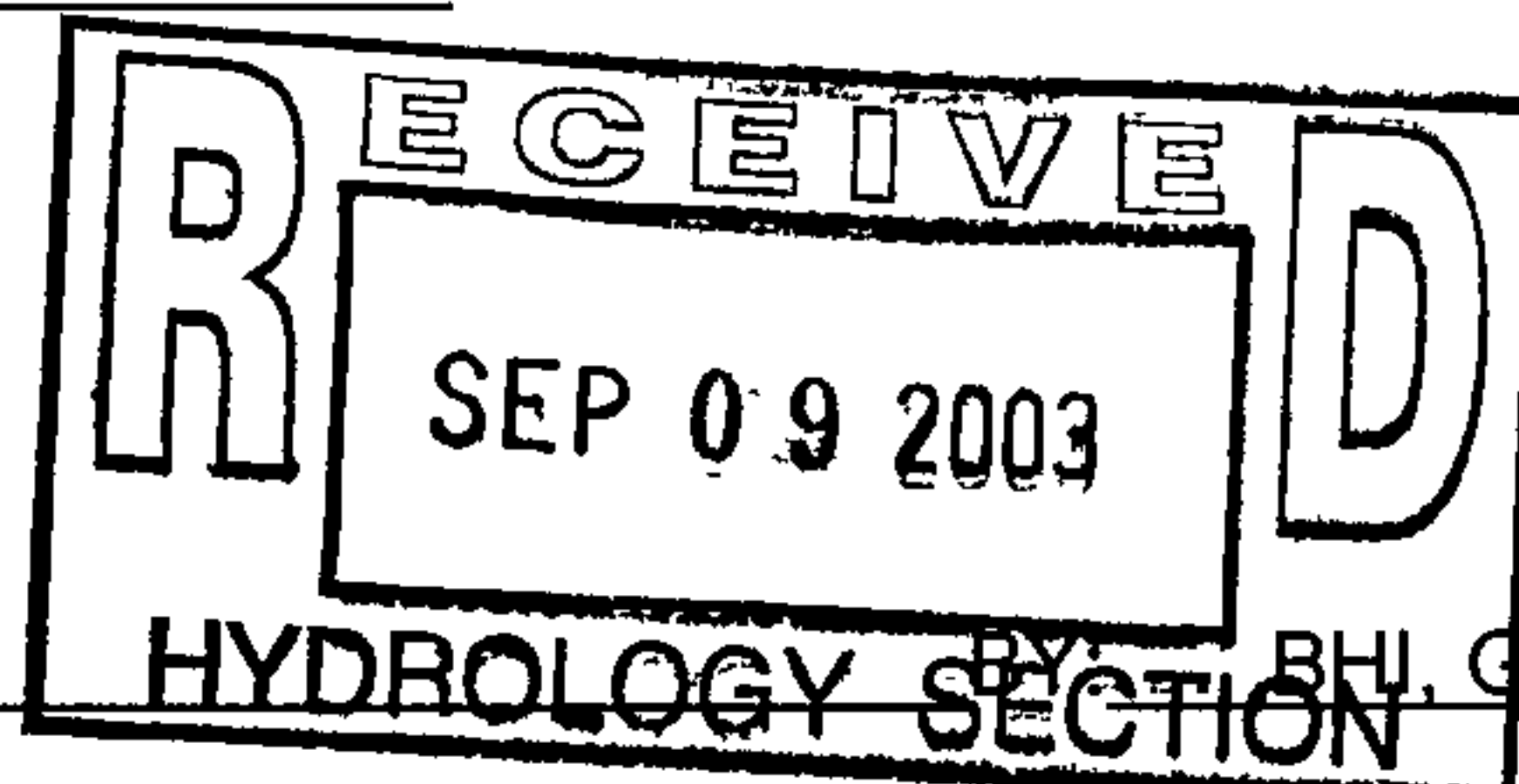
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRNG. PLAN (amendment)  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
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☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) SO19

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 09/09/03 BY: BHJ, Glenn Broughton

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Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335  
[www.bhinc.com](http://www.bhinc.com)

## CLIENT/COURIER TRANSMITTAL

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

To: Brad Bingham  
City of Albuquerque  
Planning Dept.  
600 Second St. NW  
2<sup>nd</sup> Floor West  
ph: 924-3986

Requested By: Rich Banker

Date: **September 9, 2003**

Time Due: ☒ This A.M. ☐ This P.M.  
☐ Rush \_\_\_\_ ☐ By Tomorrow

Job No.: 030268 002 jrt

Job Name: Eckerd Drug Store

### DELIVERY VIA

☒ Courier ☐ Federal Express  
☐ Mail ☐ UPS  
☐ Other \_\_\_\_\_

### PICK UP

Item: \_\_\_\_\_  
\_\_\_\_\_

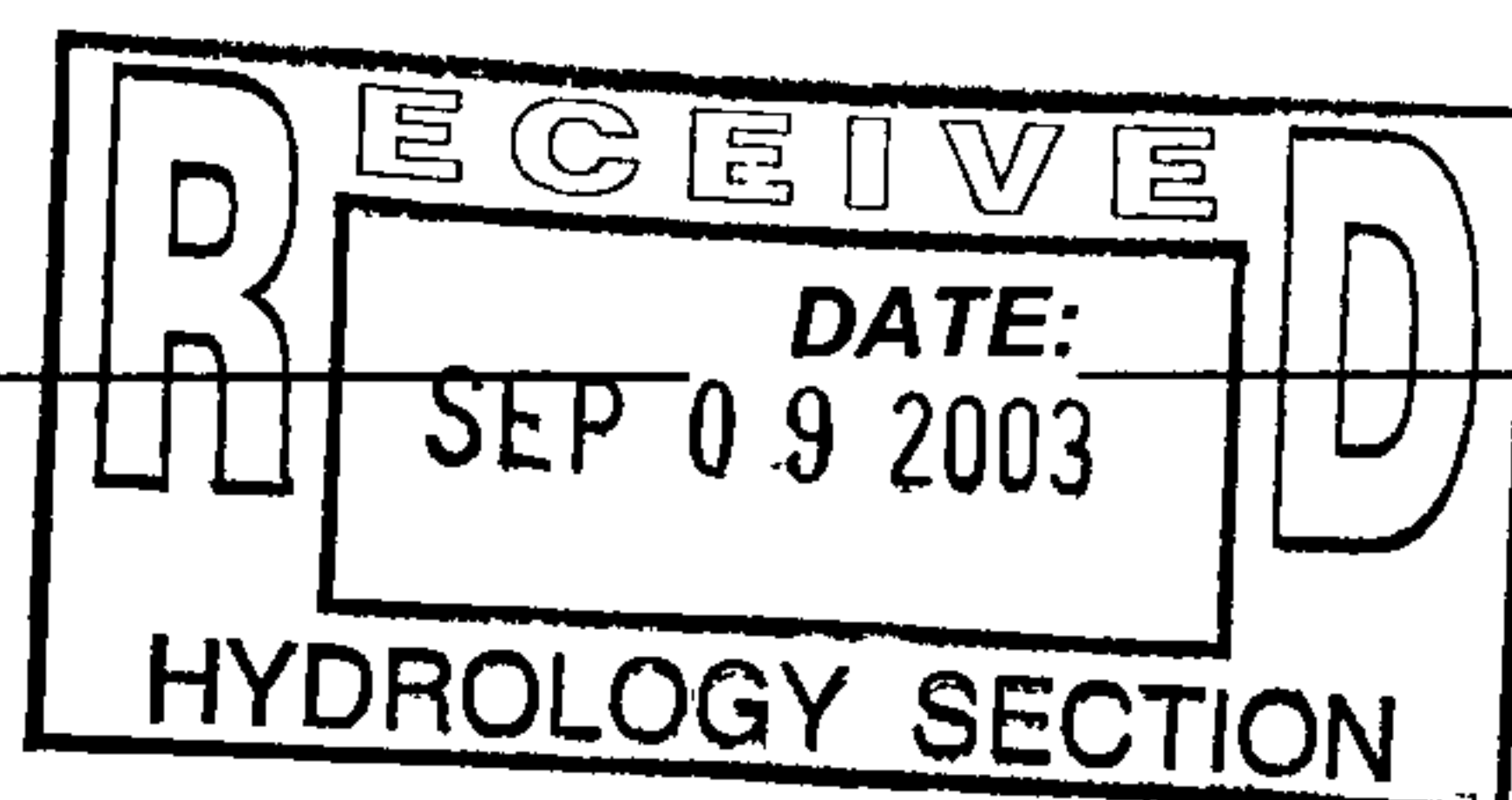
<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Copy of Grading, Drainage & Utility Plan
2	1	Drainage Info Sheet

### COMMENTS / INSTRUCTIONS

For your review...

Rich

REC'D BY: \_\_\_\_\_



TIME: \_\_\_\_\_

ENGINEERING σ  
SPATIAL DATA σ  
ADVANCED TECHNOLOGIES σ